
ORDINANCE NO. 2025-20**ORDINANCE TO CREATE THE PLANNED UNIT DEVELOPMENT OVERLAY
DISTRICT FOR THE DEVELOPMENT REFERRED TO AS BUBBLE'S FOAM FARM**

The Village Board of the Village of Pewaukee, Waukesha County, Wisconsin, do ordain as follows:

SECTION I

WHEREAS, the Village of Pewaukee allows Planned Unit Developments (PUD's) pursuant to Division 18 of Chapter 40 of the Municipal Code of the Village of Pewaukee; and

WHEREAS, the lands/development known as Lot #1 of Certified Survey Map (CSM) #5382 recorded in the Waukesha County Register of Deeds office are presently zoned B-2 Downtown Business District; and

WHEREAS, the Village has received a petition from Bubble's Foam Farm, hereinafter referred to as the Petitioner, for creation of a PUD hereinafter referred to as the Bubble's Foam Farm PUD, which PUD will, amongst other conditions and restrictions, permit carwash type use on Lot #1 of CSM #5382; and

WHEREAS, the Petitioner has presented evidence to the Village, including, but not limited to, a Planned Unit Development petition demonstrating the proposed development proposed code deviations; and

WHEREAS, the Petitioner acknowledges that, due its unique characteristics, the proposed development site would benefit from the flexibility in development design provided by a PUD overlay district; and

WHEREAS, the Village Planning Commission did, at a meeting on October 9, 2025, review this proposed planned unit development and made its recommendation to the Village Board including that (1) the proposed development site does present unique characteristics which materially limit the potential development options for this site; (2) the proposed development site would benefit from flexibility of overall development design, providing benefit to both petitioner and the Village; and (3) that this PUD should be created to, amongst other conditions and restrictions, permit the use "automobile service use – car wash" for **only** Lot #1 of #5382, a 1.08-acre parcel located at the northeast corner of Capitol Drive and Simmons Avenue in the Village of Pewaukee; and

WHEREAS, this matter was the subject of a public hearing held before the Village Board on October 21, 2025; and

WHEREAS, the procedure for the creation of a PUD Overlay District has been followed in compliance with Division 18 of Chapter 40 of the Village of Pewaukee Municipal Code

SECTION II

The Village Board of the Village of Pewaukee, having reviewed the petition for creation of a PUD and the rezoning of Lot # 1 of CSM #5382 a 1.08-acre parcel located at the northeast corner of Capitol Drive and Simmons Avenue in the Village of Pewaukee to B-2 with a PUD Overlay District, and having considered the recommendation of the Plan Commission as well as the comments of the public made at the public hearing which occurred on October 21, 2025.

NOW THEREFORE, the Village Board hereby finds that the proposed creation of a PUD and rezoning to B-2 with a PUD Overlay District for Lot # 1 of CSM #5382, a 1.08-acre parcel located at the northeast corner of Capitol Drive and Simmons Avenue in the Village of Pewaukee, satisfies the conditions of Section 40.365 of the Village of Pewaukee Municipal Code. Therefore, Lot # 1 of CSM #5382, a 1.08-acre parcel located at the northeast corner of Capitol Drive and Simmons Avenue in the Village of Pewaukee is hereby rezoned from B-2 Downtown Business to B-2 Downtown Business with a Planned Unit Development Overlay as follows:

1. (a) Purpose: The PUD is intended to facilitate a car wash development. The development design flexibility offered by the PUD is necessary due to the unique proposed development site which materially limit available development opportunities. The unique characteristics are partly evidenced in the Planned Unit Development petition submitted by the Petitioner, reviewed by the Village, and attached hereto as Exhibit "A".

Unless otherwise specified by this ordinance, any standard not listed herein shall be regulated in accordance with the current Zoning Ordinance and underlying B-2 Zoning District.

(b) Boundaries: The boundaries of this PUD are described as follows: Lot # 1 of CSM #5382, a 1.08-acre parcel located at the northeast corner of Capitol Drive and Simmons Avenue in the Village of Pewaukee.

(c) Principal Use: " automobile service use – car wash" is permitted for **only** Lot # 1 of CSM #5382, a 1.08-acre parcel located at the northeast corner of Capitol Drive and Simmons Avenue in the Village of Pewaukee.

(REMAINING DEPARTURES FROM B-2, broken out as 1-5.)

1. Code deviation to allow a 5,453 sq. ft. building in the B-2 Downtown Business District.
2. Code deviation to allow building elevations with primary building materials less than the code required 70% of solid portion of any elevation to be clad in a mixture of common size brick, native stone or cedar siding / cement resign siding.
3. Code deviation to allow Stucco / EFIS as primary building material on the first-floor elevations.
4. Code deviation to allow the proposed building not to be placed along the sidewalk in conjunction with dense landscaping per section 40.275(6)
5. Approval of using standing seam metal roofing.
6. Plan Documents. Petitioner agrees that the development's architecture, site layout, fencing, landscaping, exterior lighting, grading, drainage, stormwater management and similarly related plans shall be as represented in the plan documents which have been reviewed and approved by the Village Plan Commission and/or Village Board where required by the Village of Pewaukee Municipal Code, marked as Exhibit "A" attached hereto and made a part hereof by reference. No modification or alteration shall be made to the standards represented in said plan documents without the prior review and approval of the Plan Commission.
7. Other Development and Operation Conditions. Any development commenced under this PUD shall be bound by all of the following conditions:
 - 1) That all conditions made by the Plan Commission at their meeting of October 9, 2025 are met.
 - 2) This approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Pewaukee Plan Commission.
 - 3) The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission, Village Engineer and Village Planner for the site plan, and other documentation.
 - 4) Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
 - 5) This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a modification or amendment consistent with Section 40.366 of the Village code with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.

- 6) The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
- 7) The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
- 8) The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.
- 9) Proposed signage shall be added to the plan to ensure circulation of the site as intended to deter drivers from navigating the site incorrectly. In addition to adding signage at potential conflict points within the site.
- 10) Revise the northern access point to meet the minimum driveway width of 22 feet for two-way traffic per the Village code.
- 11) Spot elevations and grading callouts shall be added to further detail the proposed grading for the site; including but not limited to the following locations:
 - a. Curb geometric points, showing top of pavement/flange grades and top of curb grades.
 - b. Potential grade breaks in proposed pavement and curb and gutter.
 - c. Boundaries between proposed pavement types.
 - d. Match points
 - e. ADA parking stall and accessible aisle which may include a grading detail.
 - f. Building corners
 - g. Site features e.g. the proposed dumpster enclosure
- 12) Provide more detail on the grading plan and proposed hydrology exhibit to better depict drainage divides. For example, CB 5 appears to be on-grade, but the drainage divide extends past the inlet.
- 13) Revise the rainfall file in the WinSLAMM modeling to use Milwaukee rather than Madison. Winter range dates should also be revised consistent with NR 151.12(1)(b).
- 14) It does not appear that the second step of the “Other Device” is checked on to remove pollutants from off-site areas. Verify that under the Tools -> Program Options tab, that the box stating “If Other Device pollutant load reductions values are set to 1, remove off-site pollutant loads from pollutant load percent reduction calculations” is checked. An additional text line stating this will appear in both the input and output reports once turned on.
- 15) Pavement and roof areas are modeled as disconnected in WinSLAMM but appear to drain directly to on-site storm sewer via sheet flow across pavement. These areas should be modeled as connected with the next submittal.
- 16) The Up-Flo Filter input data has not been provided with the WinSLAMM modeling. Submit the modeling information with the next submittal.
- 17) Provide a detail for the Up-Flo Filter in the civil plans with the next submittal.

- 18) The pipe run CB 2 – FES 1 does not include any roof area in the storm sewer calculation spreadsheet.
- 19) Revise with the next submittal or provide an explanation for why there should be no roof area included.
- 20) Submit .mdb WinSLAMM files and post-drainage basin delineations in CAD or GIS format at the time of final submittal. Include a reference to the horizontal coordinate system used for the basin delineations.
- 21) The Stormwater Management Memo shall be stamped by a licensed engineer in the State of Wisconsin for the final submittal.
- 22) A maintenance agreement for storm water management practices will be required. This agreement shall be between the Village and the responsible party to provide maintenance of storm water practices beyond construction completion.
- 23) Since the project will be disturbing more than one acre, a WDNR Construction Site Stormwater Permit (NOI) is required and should be provided when it is available.
- 24) The next submittal shall consist of detailed civil engineering plans of the site including but not limited to:
 - a. Proposed erosion control measures.
 - b. Site Details
 - c. Utility Details
 - d. Detailed site and grading plan based on aforementioned comments.
 - e. Material specifications.
- 25) A response memorandum addressing each of the above comments listed must be included in the next submittal. Note, that these comments are not all encompassing and that further comments may arise during future submittals.
- 26) Provide grit removal system to remove dirt, sand, etc. prior to discharge to public sanitary sewer. Submit specifications and maintenance agreement for to be submitted, reviewed, approved, and recorded prior to issuance of building permit.
- 27) Landscape plan: Some proposed shrubs are shown in public right of way. Move the proposed shrubs on to the private property.
- 28) In public right of way, any sidewalk panels with cracks, spalling or missing pieces or misaligned panels must be removed and replaced by Applicant. Village Engineering staff or designated representative to mark panels for removal. Show on drawing for review and approval. Based on initial review, there are 8 panels along Simmons Dr and 1 panel along Capitol Drive. There are 13 panels along the back of curb along Simmons that need to be removed and restored with turf. A right of way permit is needed to remove or replace sidewalk and to follow Village sidewalk specification.
- 29) Provide pdf copy of ALTA Survey.
- 30) A storm water permit will be needed.

31) Remove unused driveway approaches and restore to full head concrete curb and gutter.

5. Any and all changes to this use and/or the related development plans not heretofore approved and requiring approval by the Village Plan Commission and/or Village Board under applicable Village ordinances, the PUD, and/or any development agreement, and/or including but not limited to site, structure, signage, lighting, and landscaping plans for instance, shall require further approval by the Village Plan Commission and/or the Village Board as the case may be.

6. Termination. If a building permit for the development (as defined in the plan documents) is not issued within one year of the approval of this PUD ordinance, this Planned Unit Development Ordinance shall expire and become null and void. The underlying zoning district shall remain in force.

If the Petitioner requires an extension of these time limits, any extension shall be requested by the Petitioner, in writing, explaining the hardship and sent to the Village Administrator not less than 60 days prior to the expiration of this PUD. The Village Board may allow extensions in the sole exercise of its discretion.

7. Amendment. Changes, amendments, or additions to this PUD ordinance may only be permitted pursuant to the Village of Pewaukee Municipal Code Section 40.366.

SECTION III

The Village President and Village Clerk are authorized to execute this ordinance on behalf of the Village of Pewaukee.

This ordinance shall take effect upon passage and publication as required by law, and the Village Clerk shall so amend the Code of Ordinances of the Village of Pewaukee, and shall indicate the date and number of this amending ordinance therein.

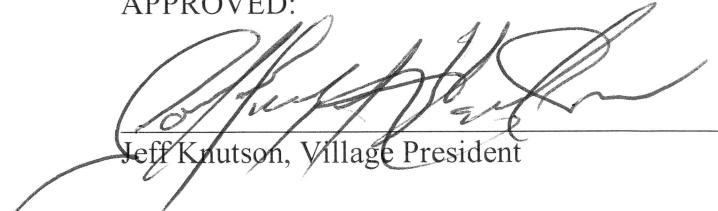
SECTION IV

The several sections of this ordinance are declared to be severable. If any section shall be declared by a decision of a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the other portions of the ordinance.

All ordinances or parts of ordinances contravening the terms and conditions of this ordinance are hereby to that extent repealed.

PASSED AND ADOPTED by the Village Board this 21st day of October, 2025.

APPROVED:



Jeff Knutson, Village President

Countersigned:



Jenna Peter

Jenna Peter, Village Clerk



DESIGNBUILD

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BUBBLES FOAM FARM PEWAUKEE

NEW CAR WASH

120 SIMMONS AVENUE
PEWAUKEE, WI 53072

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ARCHITECT-SEAN

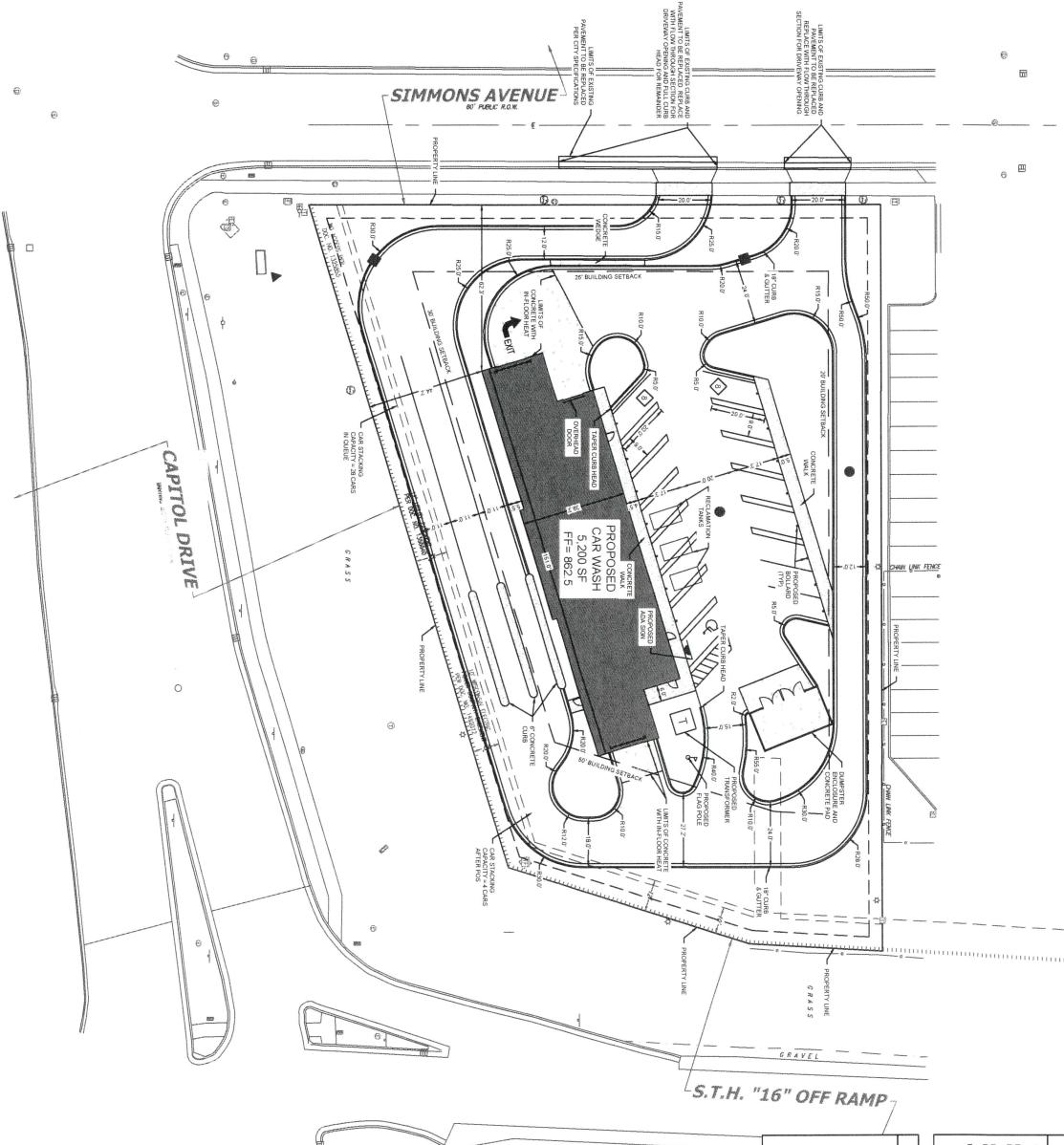


RENDERINGS ARE CONCEPTUAL AND ARE NOT REPRESENTATIVE OF THE FINISHED DESIGN.
ACTUAL INFORMATION ABOUT THE DESIGN IS IN THE CONSTRUCTION DOCUMENT.

SHEET INDEX			
SHEET NUMBER	SHEET NAME	REVISCH	REVISION DATE
ARCHITECTURAL:			
G-001	COVER SHEET		
CIVIL:			
C-101	EXISTING CONDITIONS & DEMOLITION PLAN		
C-201	SITE PLAN		
C-301	GRAVING PLAN		
C-401	UTILITY PLAN		
LANDSCAPING:			
L-100	PRELIMINARY LANDSCAPE PLAN		
ARCHITECTURAL:			
A-110	OVERALL FIRST FLOOR PLAN		
A-111.1	FIRST FLOOR ENLARGED PLAN		
A-111.2	FIRST FLOOR ENLARGED PLAN		
A-111.3	INTERIOR PLAN		
A-201	EXTERIOR ELEVATIONS		
A-210	EXTERIOR RENDERINGS		
A-211	INTERIOR ELEVATIONS		



VILLAGE OF PEWAUKEE - SUBMITTAL



SITE DATA TABLE

TOTAL PROJECT AREA:	1.09 AC. (46,903 SF)
EXISTING PROJECT AREA:	0.89 AC. (38,285 SF)
PROPOSED AMENITY AREA:	0.20 AC. (8,614 SF)
PROPOSED PERIODIC AREA:	0.20 AC. (13,295 SF)
PROPOSED PARKING STALL COUNT:	10 PARKING STALLS
TOA SURFACE PARKING:	16 STALLS

LEGEND

REGULAR PROPERTY LINE	(See Details Sheet)
CONCRETE SURFACE	(See Details Sheet)
CONCRETE PAVEMENT	(See Details Sheet)
PARKING COURT (FOR INFORMATION ONLY, NOT TO BE PLANTED)	(See Details Sheet)
SITE LINE	(See Details Sheet)

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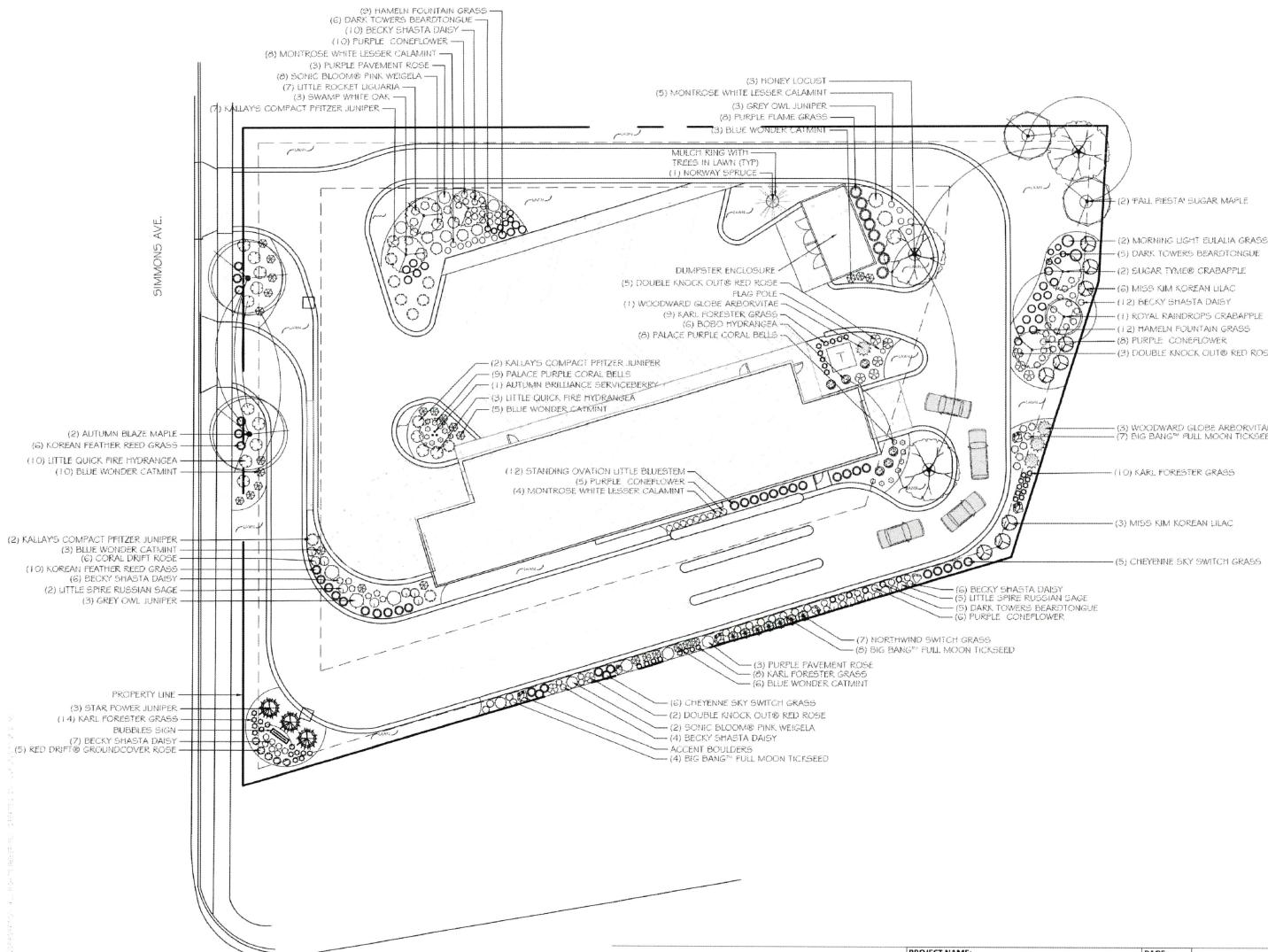
MSI GENERAL CORPORATION	WE 15, WISCONSIN AVE.
	NASHOTAH, WISCONSIN
	202-367-1111 MSIGENERAL.COM
SOURCE & SOURCE RESPONSIBILITY	DESIGN & SOURCE RESPONSIBILITY
MILESTONE ISSUE DATES	DESIGN EXCELLENCE BUILDING TRUST TM
BUDGET SET	06/23/2025
LOCAL DESIGN REVIEW SET:	06/23/2025
PROPOSAL SET:	06/23/2025
PERMIT SET:	06/23/2025

REASONS

REASONS</h

PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 16'-0"



DETAILS MATTER

LANDSCAPE ARCHITECTURE - CONSTRUCTION -
- HORTICULTURAL CARE -
- LIGHTING - IRRIGATION -
- DECORATIVE MASONRY - CONCRETE -

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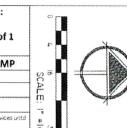
PROJECT NAME: Bubbles - Pewaukee
120 Simmons Ave
Pewaukee, WI 53072

PAGE: 1 of 1

DATE: 5/30/2025 SCALE: 1" = 16'-0" DRAWN BY: AM, DLMP

REVISION DATE: 06/24/2025, 06/25/25

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MILESTONE ISSUE DATES

PRELIMINARY SET: 06/09/2025

BUDGET SET: 06/15/2025

LOCAL DESIGN REVIEW SET: 06/15/2025

PROPOSAL SET: 06/15/2025

PERMIT SET: 06/15/2025

CONSTRUCTION SET: 06/15/2025

RECORD DRAWING SET: 06/15/2025

REVISIONS: 06/15/2025

BUBBLES FOAM FARM

PEWAUKEE

NEW CAR WASH

120 SIMMONS AVENUE

PEWAUKEE, WI 53072

ALL WORK TO BE COMPLETED AS SHOWN, AND

IN ACCORDANCE WITH THE LATEST EDITION OF

THE MSI GENERAL MASTER SPECIFICATION

40-01-0111 PRELIMINARY LANDSCAPE PLAN

L-100

PI13761

P13761

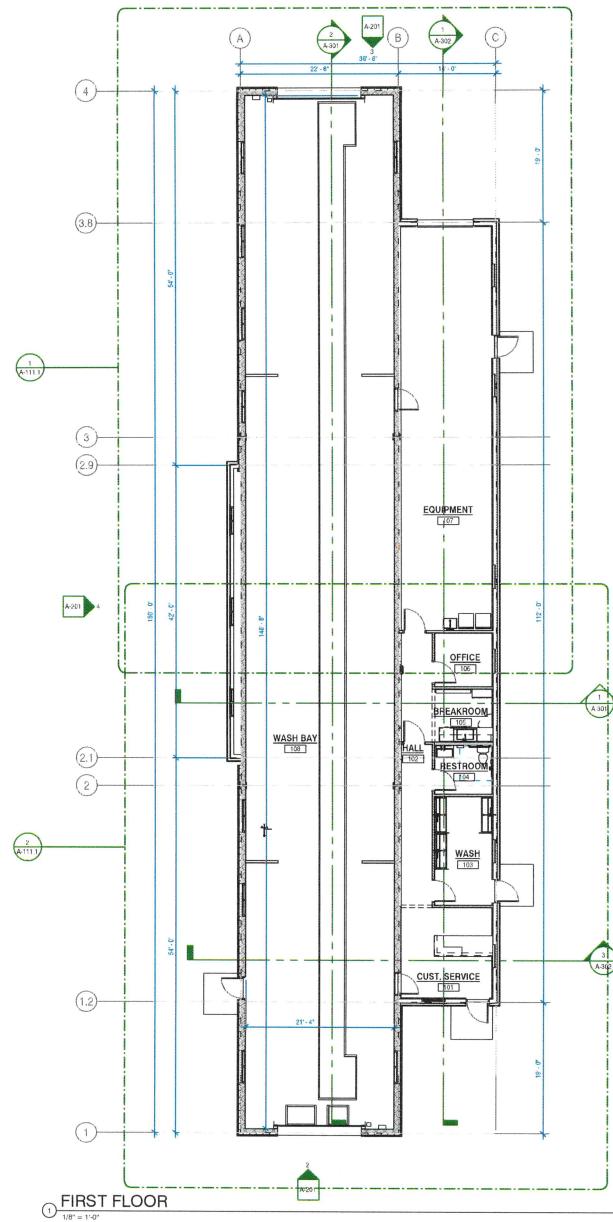
VILLAGE OF PEWAUKEE - SUBMITTAL

LEADERS

ENGINEERS

CONTRACTORS

ARCHITECTS



GENERAL NOTES - FLOOR PLAN(S)	
A.	MOISTURE RESISTANT GROUT AT ALL LOCATIONS EXPOSED TO MOISTURE (BAT ROOMS, JANITOR/MAINTENANCE ROOMS, KITCHENS, ETC. AND EXTERIOR WINDOW AND DOOR HEAD AND JAMB RETURNS).
B.	APPLIANCES, FURNITURE, AND EQUIPMENT BY OWNER, SHOWN FOR REFERENCE ONLY (UNLESS OTHERWISE NOTED).
C.	ALL WALLS NOT LABELED WITH A WALL TYPE, SHOULD FOLLOW THE TYPICAL TYPE THAT IS CALLED OUT ON PLANS.
D.	PROVIDE BLOCKING IN WALLS WHERE CABINETS, TOILET ACCESSORIES, GRAB BARS, WALL MOUNTED TVs, ETC. ARE SHOWN ON PLANS.
E.	REFER TO SHEET A-401 FOR DOOR AND WINDOW SCHEDULES.
F.	REFER TO SHEET 1-401 FOR ROOM, DOOR AND WINDOW FINISHES.

SHEET NOTES - FLOOR PLAN(S)	
NOTE: THESE NOTES APPLY ONLY TO THIS SHEET	

NO. _____ DESCRIPTION _____

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MILESTONE ISSUE DATES
PRELIMINARY SET 06/09/2020
BUDGET SET
LOCAL DESIGN REVIEW SET 06/25/2020
PROPOSAL SET
PRIMA 1 SET
CONSTRUCTION SET
RECORD DRAWING SET

REVISIONS:

Bubbles' FOAM FARM
CAR WASH

BUBBLES FOAM FARM
PEWAUKEE

NEW CAR WASH
120 SIMMONS AVENUE
PEWAUKEE, WI 53212

ALL WORK TO BE COMPLETED AS SHOWN, AND
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SHEET TITLE
OVERALL FIRST FLOOR PLAN

SHEET NUMBER
A-110

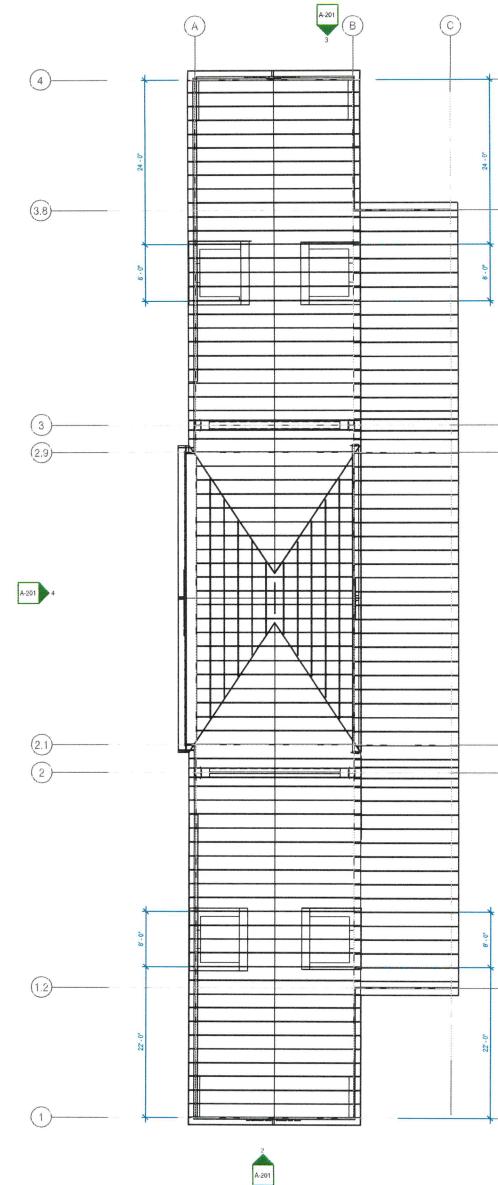
PLATE NUMBER
P13761

NORTH

VILLAGE OF PEWAUKEE - SUBMITTAL

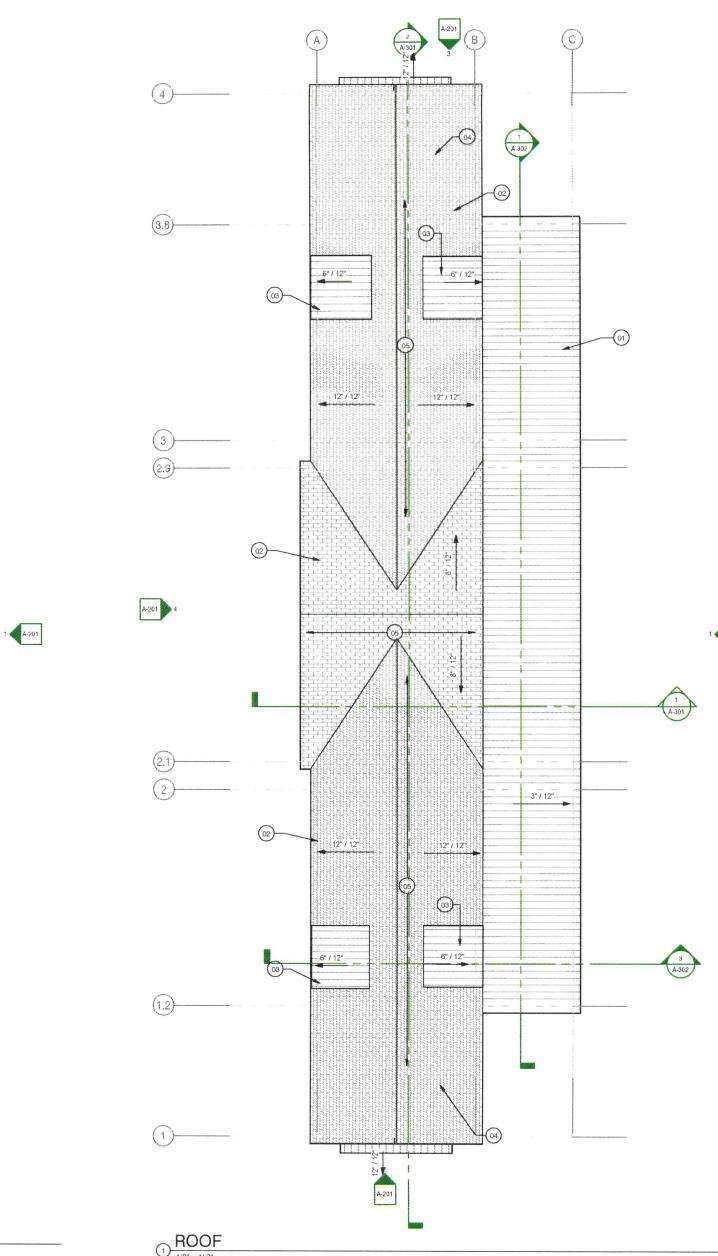
DORMER ROOF PLAN

1/8" = 1'-0"



① ROOF

1/8" = 1'-0"



① ROOF

1/8" = 1'-0"

GENERAL NOTES - REFLECTED CEILING PLAN(S)

A. APPLY ICE AND WATER SHIELD ON EACH ROOF EDGE PER MANUFACTURER'S INSTRUCTIONS.

SHEET NOTES - ROOF PLAN

NOTE: THESE NOTES APPLY ONLY TO THIS SHEET

DESCRIPTION

NO. DESCRIPTION

01 STANDING-SEAM METAL ROOF OVER ICE AND WATER SHIELD OVER SHEATHING OVER TRUSSES @ 24" O.C. WITH R-10 MIL BATT INSULATION OVER VAPOR BARRIER

02 T-12 SHEATHING OVER ICE AND WATER SHIELD OVER T-12 SHEATHING OVER TRUSSES @ 24" O.C. WI. R-10 MIL BATT INSULATION OVER VAPOR BARRIER

03 STANDING-SEAM METAL ROOF OVER ICE AND WATER SHIELD OVER SHEATHING OVER 2X OVERTRIMMING

04 AWNING WI STANDING-SEAM METAL ROOF OVER ICE & WATER SHIELD OVER SHEATHING OVER 7X WOOD FRAMING @ 18" O.C. D/ER SUPHT

05 ROOF IDENT



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REVISIONS:

Bubbles's
FOAM FARM
CAR WASH

BUBBLES FOAM FARM
PEWAUKEE

NEW CAR WASH
120 SIMMONS AVENUE
PEWAUKEE, WI 53072

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1/8" = 1'-0"
SHEET TITLE
ROOF PLAN

SHEET NUMBER
A-144

PRINTED BY AND FOR
P13761
NORTH

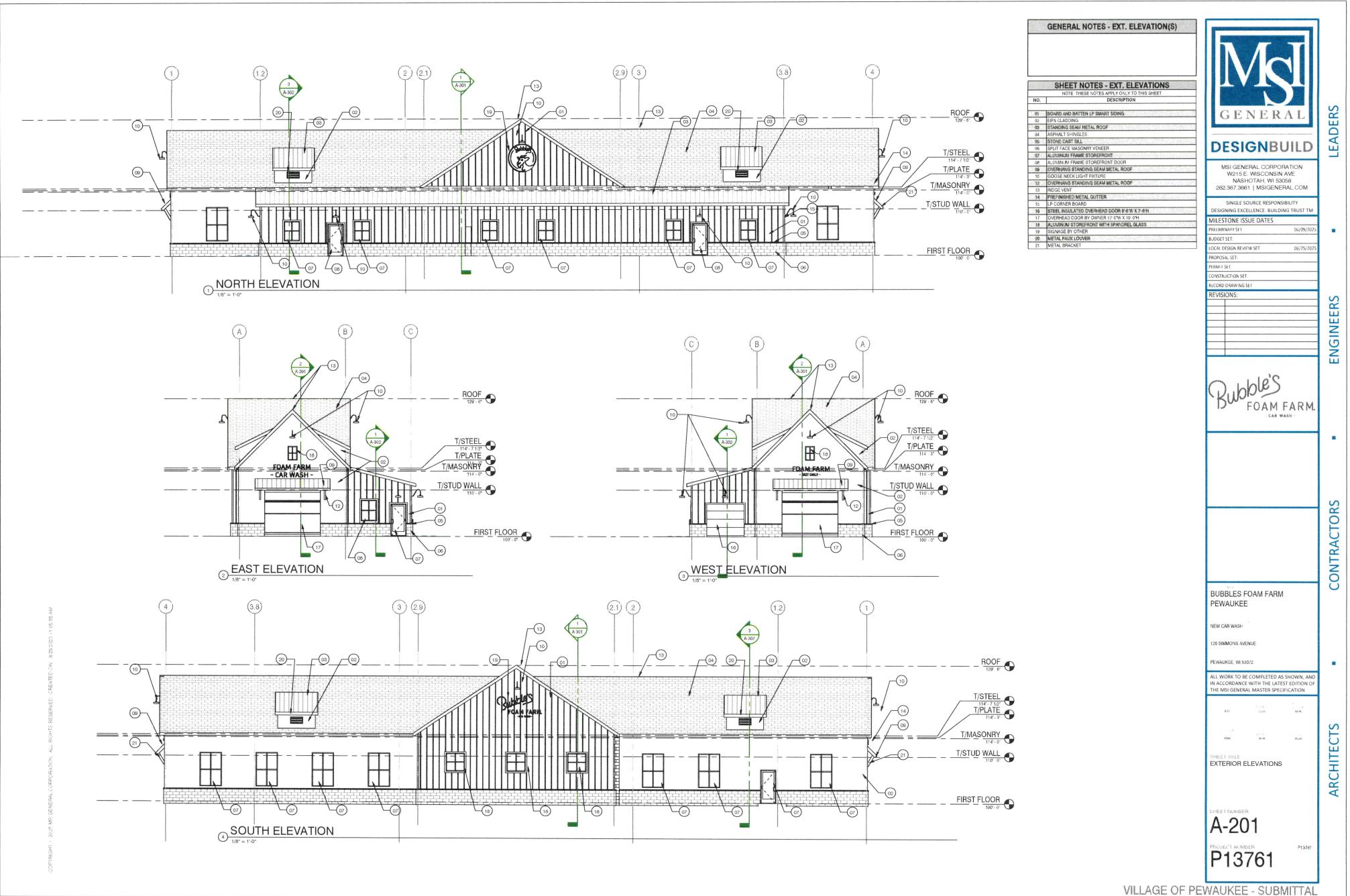
VILLAGE OF PEWAUKEE - SUBMITTAL

LEADERS

ENGINEERS

CONTRACTORS

ARCHITECTS



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BUDGET SET

LOCAL DESIGN REVIEW SET 06/15/2023

PROPOSAL SET

PERMIT SET

CONSTRUCTION SET

RECORD DRAWING SET

REVISIONS:

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FOAM FARM.
CAR WASH

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