
ORDINANCE NO. 2025-20**ORDINANCE TO CREATE THE PLANNED UNIT DEVELOPMENT OVERLAY
DISTRICT FOR THE DEVELOPMENT REFERRED TO AS BUBBLE'S FOAM FARM**

The Village Board of the Village of Pewaukee, Waukesha County, Wisconsin, do ordain as follows:

SECTION I

WHEREAS, the Village of Pewaukee allows Planned Unit Developments (PUD's) pursuant to Division 18 of Chapter 40 of the Municipal Code of the Village of Pewaukee; and

WHEREAS, the lands/development known as Lot #1 of Certified Survey Map (CSM) #5382 recorded in the Waukesha County Register of Deeds office are presently zoned B-2 Downtown Business District; and

WHEREAS, the Village has received a petition from Bubble's Foam Farm, hereinafter referred to as the Petitioner, for creation of a PUD hereinafter referred to as the Bubble's Foam Farm PUD, which PUD will, amongst other conditions and restrictions, permit carwash type use on Lot #1 of CSM #5382; and

WHEREAS, the Petitioner has presented evidence to the Village, including, but not limited to, a Planned Unit Development petition demonstrating the proposed development proposed code deviations; and

WHEREAS, the Petitioner acknowledges that, due its unique characteristics, the proposed development site would benefit from the flexibility in development design provided by a PUD overlay district; and

WHEREAS, the Village Planning Commission did, at a meeting on October 9, 2025, review this proposed planned unit development and made its recommendation to the Village Board including that (1) the proposed development site does present unique characteristics which materially limit the potential development options for this site; (2) the proposed development site would benefit from flexibility of overall development design, providing benefit to both petitioner and the Village; and (3) that this PUD should be created to, amongst other conditions and restrictions, permit the use "automobile service use – car wash" for *only* Lot #1 of #5382, a 1.08-acre parcel located at the northeast corner of Capitol Drive and Simmons Avenue in the Village of Pewaukee; and

WHEREAS, this matter was the subject of a public hearing held before the Village Board on October 21, 2025; and

WHEREAS, the procedure for the creation of a PUD Overlay District has been followed in compliance with Division 18 of Chapter 40 of the Village of Pewaukee Municipal Code

SECTION II

The Village Board of the Village of Pewaukee, having reviewed the petition for creation of a PUD and the rezoning of Lot # 1 of CSM #5382 a 1.08-acre parcel located at the northeast corner of Capitol Drive and Simmons Avenue in the Village of Pewaukee to B-2 with a PUD Overlay District, and having considered the recommendation of the Plan Commission as well as the comments of the public made at the public hearing which occurred on October 21, 2025.

NOW THEREFORE, the Village Board hereby finds that the proposed creation of a PUD and rezoning to B-2 with a PUD Overlay District for Lot # 1 of CSM #5382, a 1.08-acre parcel located at the northeast corner of Capitol Drive and Simmons Avenue in the Village of Pewaukee, satisfies the conditions of Section 40.365 of the Village of Pewaukee Municipal Code. Therefore, Lot # 1 of CSM #5382, a 1.08-acre parcel located at the northeast corner of Capitol Drive and Simmons Avenue in the Village of Pewaukee is hereby rezoned from B-2 Downtown Business to B-2 Downtown Business with a Planned Unit Development Overlay as follows:

1. (a) Purpose: The PUD is intended to facilitate a car wash development. The development design flexibility offered by the PUD is necessary due to the unique proposed development site which materially limit available development opportunities. The unique characteristics are partly evidenced in the Planned Unit Development petition submitted by the Petitioner, reviewed by the Village, and attached hereto as Exhibit "A".

Unless otherwise specified by this ordinance, any standard not listed herein shall be regulated in accordance with the current Zoning Ordinance and underlying B-2 Zoning District.

(b) Boundaries: The boundaries of this PUD are described as follows: Lot # 1 of CSM #5382, a 1.08-acre parcel located at the northeast corner of Capitol Drive and Simmons Avenue in the Village of Pewaukee.

(c) Principal Use: "automobile service use – car wash" is permitted for *only* Lot # 1 of CSM #5382, a 1.08-acre parcel located at the northeast corner of Capitol Drive and Simmons Avenue in the Village of Pewaukee.

(REMAINING DEPARTURES FROM B-2, broken out as 1-5.)

1. Code deviation to allow a 5,453 sq. ft. building in the B-2 Downtown Business District.
2. Code deviation to allow building elevations with primary building materials less than the code required 70% of solid portion of any elevation to be clad in a mixture of common size brick, native stone or cedar siding / cement resign siding.
3. Code deviation to allow Stucco / EFIS as primary building material on the first-floor elevations.
4. Code deviation to allow the proposed building not to be placed along the sidewalk in conjunction with dense landscaping per section 40.275(6)
5. Approval of using standing seam metal roofing.
6. Plan Documents. Petitioner agrees that the development's architecture, site layout, fencing, landscaping, exterior lighting, grading, drainage, stormwater management and similarly related plans shall be as represented in the plan documents which have been reviewed and approved by the Village Plan Commission and/or Village Board where required by the Village of Pewaukee Municipal Code, marked as Exhibit "A" attached hereto and made a part hereof by reference. No modification or alteration shall be made to the standards represented in said plan documents without the prior review and approval of the Plan Commission.
7. Other Development and Operation Conditions. Any development commenced under this PUD shall be bound by all of the following conditions:
 - 1) That all conditions made by the Plan Commission at their meeting of October 9, 2025 are met.
 - 2) This approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Pewaukee Plan Commission.
 - 3) The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission, Village Engineer and Village Planner for the site plan, and other documentation.
 - 4) Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
 - 5) This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a modification or amendment consistent with Section 40.366 of the Village code with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.

- 6) The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
- 7) The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
- 8) The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.
- 9) Proposed signage shall be added to the plan to ensure circulation of the site as intended to deter drivers from navigating the site incorrectly. In addition to adding signage at potential conflict points within the site.
- 10) Revise the northern access point to meet the minimum driveway width of 22 feet for two-way traffic per the Village code.
- 11) Spot elevations and grading callouts shall be added to further detail the proposed grading for the site; including but not limited to the following locations:
 - a. Curb geometric points, showing top of pavement/flange grades and top of curb grades.
 - b. Potential grade breaks in proposed pavement and curb and gutter.
 - c. Boundaries between proposed pavement types.
 - d. Match points
 - e. ADA parking stall and accessible aisle which may include a grading detail.
 - f. Building corners
 - g. Site features e.g. the proposed dumpster enclosure
- 12) Provide more detail on the grading plan and proposed hydrology exhibit to better depict drainage divides. For example, CB 5 appears to be on-grade, but the drainage divide extends past the inlet.
- 13) Revise the rainfall file in the WinSLAMM modeling to use Milwaukee rather than Madison. Winter range dates should also be revised consistent with NR 151.12(1)(b).
- 14) It does not appear that the second step of the “Other Device” is checked on to remove pollutants from off-site areas. Verify that under the Tools -> Program Options tab, that the box stating “If Other Device pollutant load reductions values are set to 1, remove off-site pollutant loads from pollutant load percent reduction calculations” is checked. An additional text line stating this will appear in both the input and output reports once turned on.
- 15) Pavement and roof areas are modeled as disconnected in WinSLAMM but appear to drain directly to on-site storm sewer via sheet flow across pavement. These areas should be modeled as connected with the next submittal.
- 16) The Up-Flo Filter input data has not been provided with the WinSLAMM modeling. Submit the modeling information with the next submittal.
- 17) Provide a detail for the Up-Flo Filter in the civil plans with the next submittal.

- 18) The pipe run CB 2 – FES 1 does not include any roof area in the storm sewer calculation spreadsheet.
- 19) Revise with the next submittal or provide an explanation for why there should be no roof area included.
- 20) Submit .mdb WinSLAMM files and post-drainage basin delineations in CAD or GIS format at the time of final submittal. Include a reference to the horizontal coordinate system used for the basin delineations.
- 21) The Stormwater Management Memo shall be stamped by a licensed engineer in the State of Wisconsin for the final submittal.
- 22) A maintenance agreement for storm water management practices will be required. This agreement shall be between the Village and the responsible party to provide maintenance of storm water practices beyond construction completion.
- 23) Since the project will be disturbing more than one acre, a WDNR Construction Site Stormwater Permit (NOI) is required and should be provided when it is available.
- 24) The next submittal shall consist of detailed civil engineering plans of the site including but not limited to:
 - a. Proposed erosion control measures.
 - b. Site Details
 - c. Utility Details
 - d. Detailed site and grading plan based on aforementioned comments.
 - e. Material specifications.
- 25) A response memorandum addressing each of the above comments listed must be included in the next submittal. Note, that these comments are not all encompassing and that further comments may arise during future submittals.
- 26) Provide grit removal system to remove dirt, sand, etc. prior to discharge to public sanitary sewer. Submit specifications and maintenance agreement for to be submitted, reviewed, approved, and recorded prior to issuance of building permit.
- 27) Landscape plan: Some proposed shrubs are shown in public right of way. Move the proposed shrubs on to the private property.
- 28) In public right of way, any sidewalk panels with cracks, spalling or missing pieces or misaligned panels must be removed and replaced by Applicant. Village Engineering staff or designated representative to mark panels for removal. Show on drawing for review and approval. Based on initial review, there are 8 panels along Simmons Dr and 1 panel along Capitol Drive. There are 13 panels along the back of curb along Simmons that need to be removed and restored with turf. A right of way permit is needed to remove or replace sidewalk and to follow Village sidewalk specification.
- 29) Provide pdf copy of ALTA Survey.
- 30) A storm water permit will be needed.

31) Remove unused driveway approaches and restore to full head concrete curb and gutter.

5. Any and all changes to this use and/or the related development plans not heretofore approved and requiring approval by the Village Plan Commission and/or Village Board under applicable Village ordinances, the PUD, and/or any development agreement, and/or including but not limited to site, structure, signage, lighting, and landscaping plans for instance, shall require further approval by the Village Plan Commission and/or the Village Board as the case may be.

6. Termination. If a building permit for the development (as defined in the plan documents) is not issued within one year of the approval of this PUD ordinance, this Planned Unit Development Ordinance shall expire and become null and void. The underlying zoning district shall remain in force.

If the Petitioner requires an extension of these time limits, any extension shall be requested by the Petitioner, in writing, explaining the hardship and sent to the Village Administrator not less than 60 days prior to the expiration of this PUD. The Village Board may allow extensions in the sole exercise of its discretion.

7. Amendment. Changes, amendments, or additions to this PUD ordinance may only be permitted pursuant to the Village of Pewaukee Municipal Code Section 40.366.

SECTION III

The Village President and Village Clerk are authorized to execute this ordinance on behalf of the Village of Pewaukee.

This ordinance shall take effect upon passage and publication as required by law, and the Village Clerk shall so amend the Code of Ordinances of the Village of Pewaukee, and shall indicate the date and number of this amending ordinance therein.

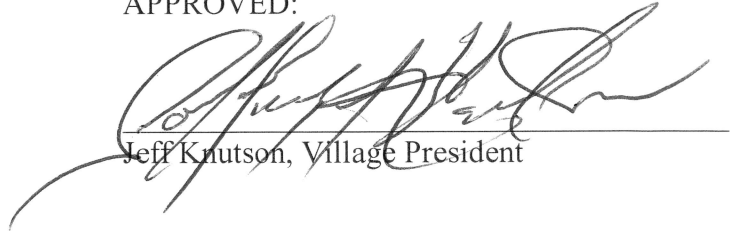
SECTION IV

The several sections of this ordinance are declared to be severable. If any section shall be declared by a decision of a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the other portions of the ordinance.

All ordinances or parts of ordinances contravening the terms and conditions of this ordinance are hereby to that extent repealed.

PASSED AND ADOPTED by the Village Board this 21st day of October, 2025.

APPROVED:

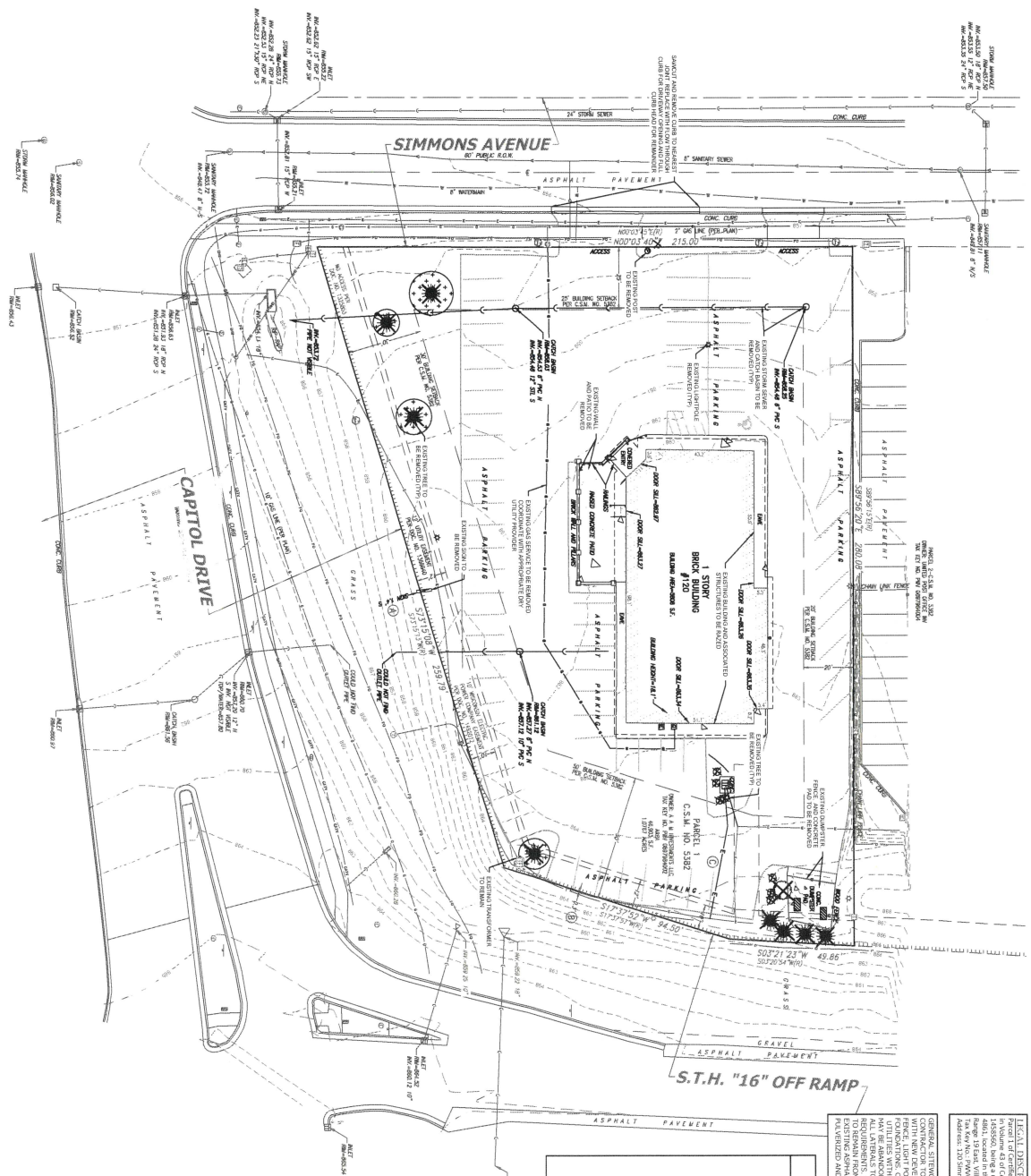


Jeff Knutson, Village President

Countersigned:



Jenna Peter, Village Clerk



LEGAL DESCRIPTION
 Parcel 1 of Certified Survey Map No. 5382, recorded on November 30, 1987 in Volume 43 of Certified Survey Maps on pages 192-194 as Document No. 1488560, being a subdivision of part Parcel 1 of Certified Survey Map No. 4461, located in the SW1/4 of the NE1/4 of Section 9, Township 7 North, Range 16 East, Village of Pewaukee, County of Waukegan, State of Wisconsin. Tax Key No.: PWW0891954002
 Address: 120 Simmons Avenue

GENERAL STONEWORK CONSTRUCTION: GENERAL REMOVAL OF SITE FEATURES THAT INTERFERE WITH NEW DEVELOPMENT INCLUDING ASPHALT, CONCRETE, CURB, FENCE, LIGHT POLES, UTILITIES, TREES, LANDSCAPING, FOUNDATIONS. CONTRACTOR SHALL COORDINATE REMOVAL OF UTILITIES WITH CITY AND UTILITY COMPANIES. SOME UTILITIES MAY BE ABANDONED IN PLACE. CONTRACT ENGINEER FOR APPROVAL. ALL LATERALS TO BE ABANDONED SHALL BE ABANDONED PER CITY REQUIREMENTS. PROTECT SITE FEATURES AND UTILITIES WHICH ARE TO REMAIN FROM DAMAGE. CONTRACTOR SHALL SELECT APPROPRIATE EXISTING STONEWORK TO BE REUSED. EXISTING STONEWORK SHALL BE POLISHED AND MIXED INTO THE EXISTING STONE BASE.

LEGEND

[illegible]

DESIGNBUILD

MSI GENERAL CORPORATION
W215 E. WISCONSIN AVE.
NASHOTAH, WI 53068
262.367.3661 | MSIGENERAL.COM

MILESTONE ISSUE DATES

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Rubble's
FOAM FAR
- CAR WASH -



PINNACLE ENGINEERING GROUP
ENGINEERING • PLUMBING • ELECTRICITY • MECHANICAL

BROOKFIELD OFFICE
20723 N. WATERTOWN ROAD
BROOKFIELD, WI 53156
(262) 754-8888

PE# 06116.00

**BUBBLES FOAM FARM -
PEWAIKFE**

NEW CAR WASH

120 SIMMONS AVT

PEWaukee, Wisconsin 53072

IN ACCORDANCE WITH THE LATEST EDITION
THE MSJ GENERAL MASTER SPECIFICATION

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SHEET NINE

DEMOLITION PLAN

C 100

SUBJECT NUMBER

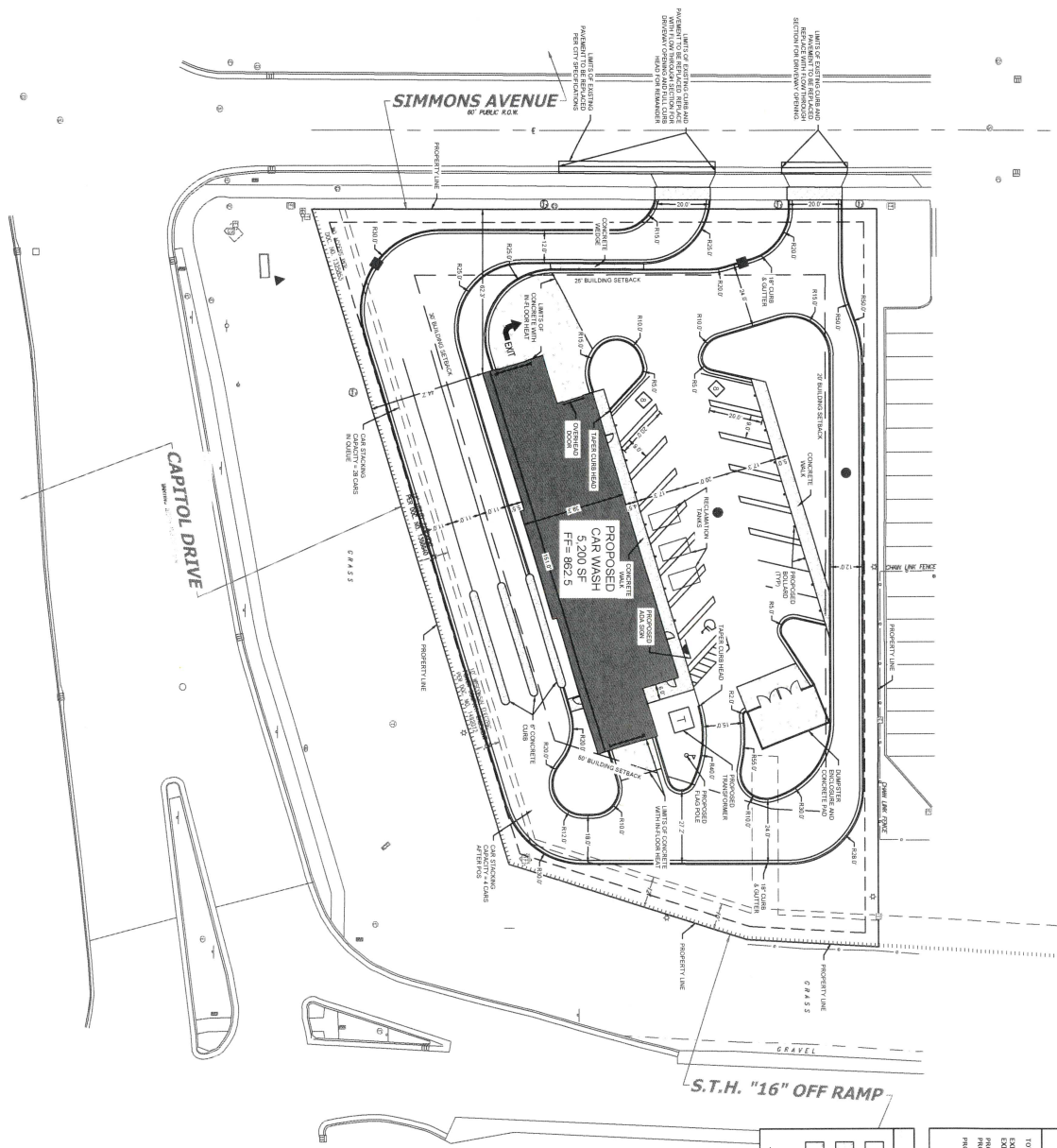
WAIKEE CLINICAL

ARCHITECTS





CONTRACTORS

ENGINEERS

LEADERS

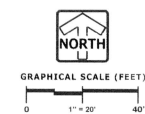
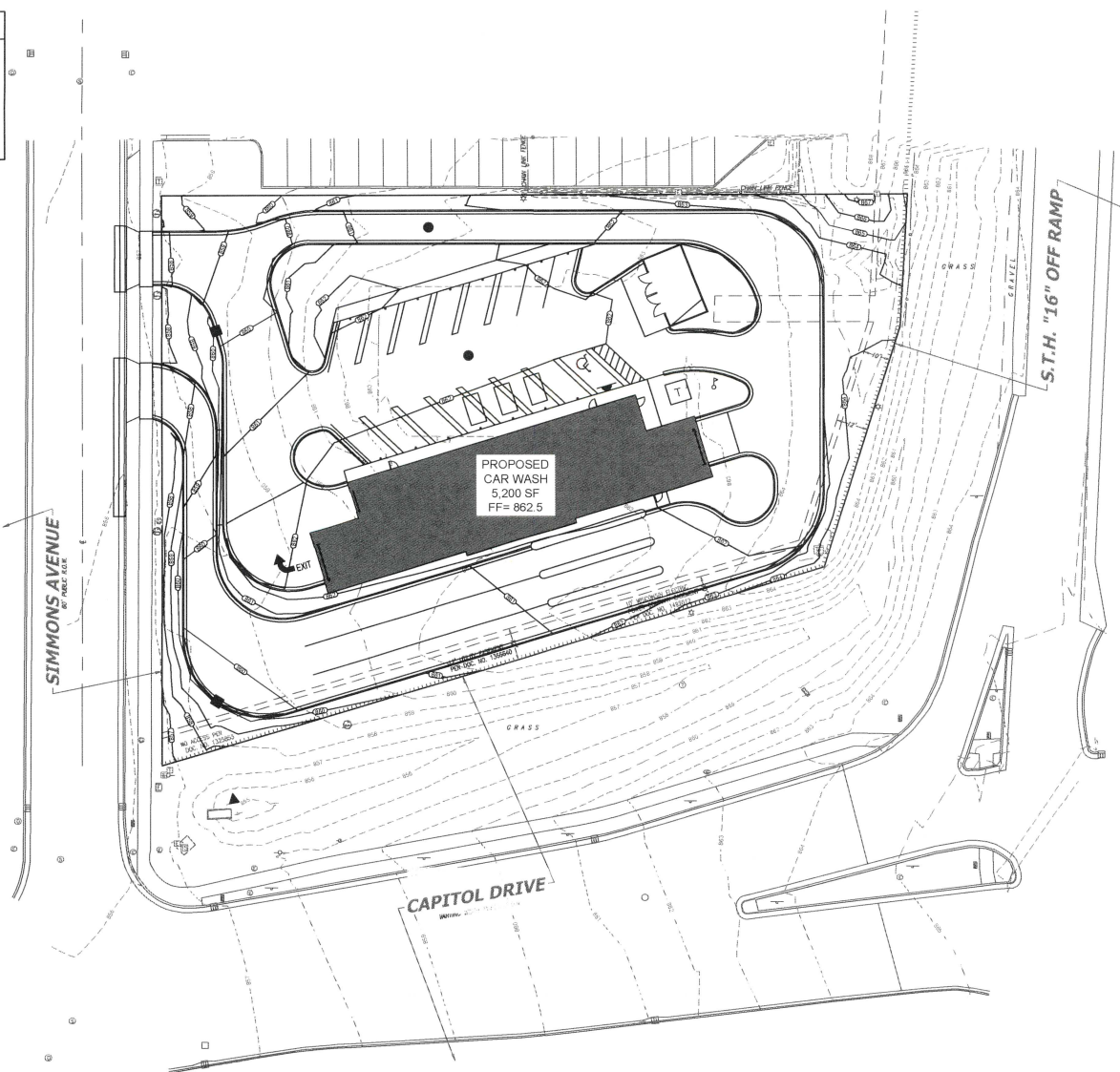










SITE DATA TABLE	
TOTAL PROJECT AREA:	1,08 AC (46,900 SF)
EXISTING IMPERVIOUS AREA:	0.88 AC (38,952 SF)
EXISTING PERVIOUS AREA:	0.20 AC (8,948 SF)
PROPOSED IMPERVIOUS AREA:	0.78 AC (33,787 SF)
PROPOSED PERVIOUS AREA:	0.30 AC (13,116 SF)
PROPOSED PAINTING STALL COUNT:	
- SURFACE PARKING:	16 STALLS
- TOTAL SURFACE PARKING:	16 STALLS

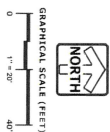
LEGEND	
	REGISTRATION INFORMATION (SEE DETAILS SHEET)
	CONGRATS! CELEBRATE (SEE DETAILS SHEET)
	CONGRATS! MARRIAGE (SEE DETAILS SHEET)
	PARKING/COFFEE (SEE INFORMATION ONLY, NOT TO BE PRINTED)

SHEET SEVEN

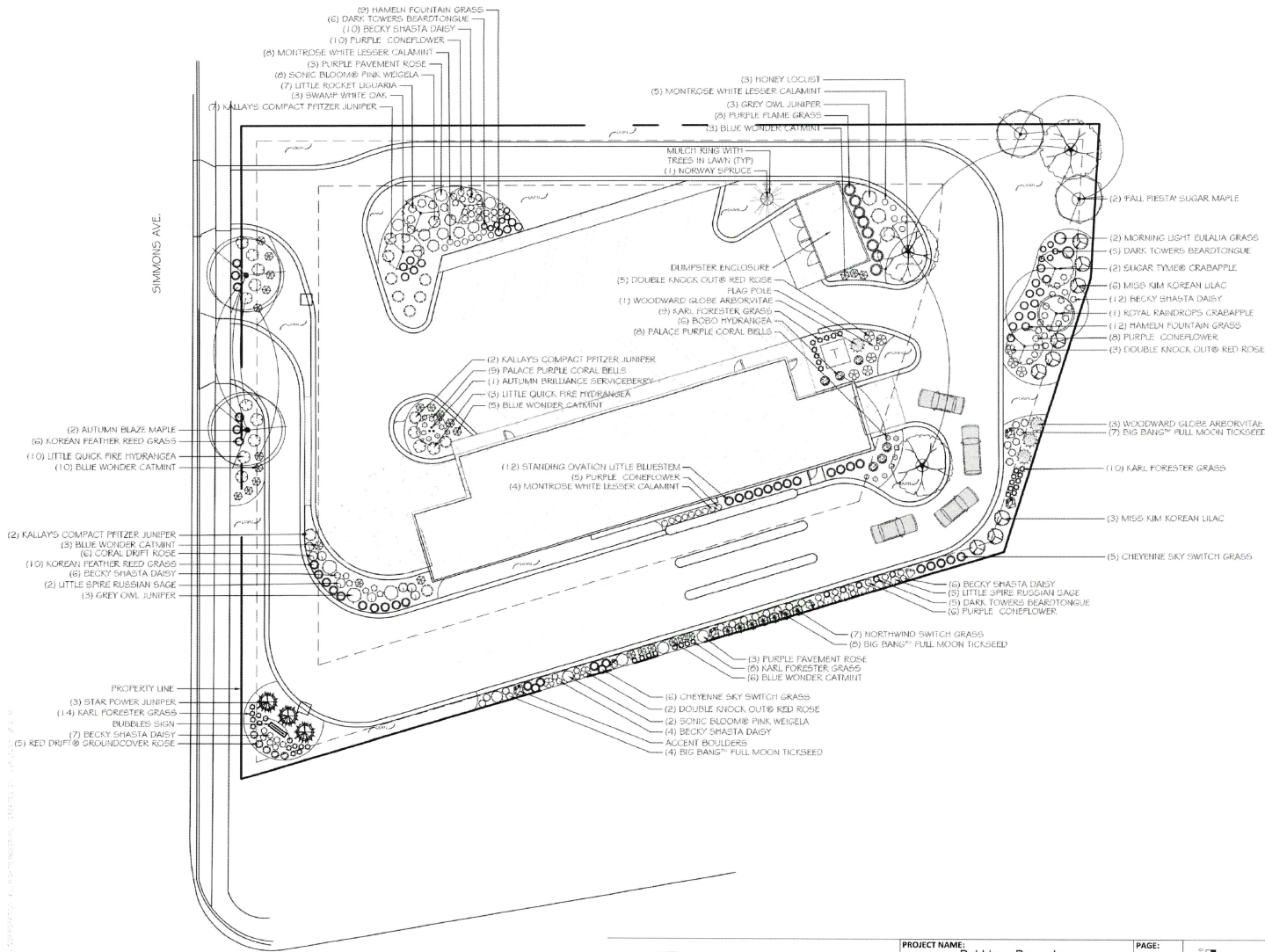
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 DESIGNBUILD		
MSI GENERAL CORPORATION 1701 E. WISCONSIN AVE. NASHOTAH, WI 53066 262.307.3661 MSI@GENERAL.COM		
SINGLE SOURCE RESPONSIBILITY DESIGNING EXCELLENCE. BUILDING TRUST TM		
MILESTONE ISSUE DATES		
BUDGET SET: _____ LOCAL DESIGN REVIEW SET: 06/25/2023 PROPOSAL SET: 06/02/2023 PERMIT SET: _____		
REVISES:		
 1-800-888-8888		
<div style="display: flex; justify-content: space-between;"> <div>  <p>PINNACLE ENGINEERING GROUP <small>INCORPORATED IN THE STATE OF CALIFORNIA</small></p> </div> <div style="text-align: right;"> <p>BROOKFIELD OFFICE 20723 W. WATER TOWN ROAD BROOKFIELD, WI 53116 (262) 754-8888</p> </div> </div>		
PEG #0448.00		
BUBBLES FOAM FARM - PEWAUKEE		
NEW CAR WASH		
120 SIMMONS AVE		
PEWAUKEE, WISCONSIN 53072		
ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION		
<small>CONTRACTOR</small>  <small>SME</small>	<small>ARCHITECT</small>  <small>D/D</small>	<small>CITY/STATE</small>  <small>CR</small>
<small>OWNER</small>  <small>MMT</small>	<small>ADULT</small>  <small>AACT</small>	<small>BLK</small>  <small>BLK</small>
SHEET TITLE GRADING PLAN		
SHEET NUMBER <h1 style="margin: 0;">C-300</h1>		
PROJECT NUMBER		

ARCHITECTS ■ CONTRACTORS ■ ENGINEERS ■ LEADERS

PRELIMINARY LANDSCAPE PLAN
SCALE: 1" = 16'-0"



PLANT SCHEDULE 6-24-25

SYMBOL	COMMON NAME	QTY
TREES		
	FALL PIESTA SUGAR MAPLE	2
	AUTUMN BLAZE MAPLE	2
	AUTUMN BRILLIANCE SERVICEBERRY	1
	ROYAL RAINDROPS CRABAPPLE	1
	SUGAR TYME® CRABAPPLE	2
	SWAMP WHITE OAK	3
CONIFEROUS TREES		
	NORWAY SPRUCE	1
	STAR POWER JUNIPER	3
DECIDUOUS TREES		
	HONEY LOCUST	3
SHRUBS		
	BOBO HYDRANGEA	6
	CORAL DRIFT ROSE	6
	DOUBLE KNOCK OUT® RED ROSE	10
	GREY OWL JUNIPER	6
	KALLAYS COMPACT PRITZER JUNIPER	11
	LITTLE QUICK FIRE HYDRANGEA	13
	MISS KIM KOREAN LILAC	9
	PURPLE PAVEMENT ROSE	6
	RED DRIFT® GROUND COVER ROSE	6
	SONIC BLOOM® PINK WEIGELA	10
	WOODWARD GLOBE ARBORVITAE	4
GRASSES		
	CHEYENNE SKY SWITCH GRASS	11
	HAMELN FOUNTAIN GRASS	21
	KARL FORESTER GRASS	41
	KOREAN FEATHER REED GRASS	16
	MORNING LIGHT EULALIA GRASS	2
	NORTHWIND SWITCH GRASS	7
	PURPLE FLAME GRASS	8
	STANDING OVATION LITTLE BLUESTEM	12
PERENNIALS		
	BECKY SHASTA DAISY	45
	BIG BANG™ FULL MOON TICKSEED	19
	BLUE WONDER CATMINT	27
	DARK TOWERS BEAR TONGUE	16
	LITTLE ROCKET LIGULARIA	7
	LITTLE SPIRE RUSSIAN SAGE	7
	MONTROSE WHITE LESSER CALAMINT	17
	PALACE PURPLE CORAL BELLS	17
	PURPLE CONEFLOWER	29



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MILESTONE ISSUE DATES

PRELIMINARY SET	06/07/2025
BUDGET SET	
LOCAL DESIGN REVIEW SET	06/23/2025
PROPOSAL SET	
PERMIT SET	
CONSTRUCTION SET	
RECORD DRAWING SET	

REVISIONS:

NO.	DESCRIPTION	DATE

BUBBLES FOAM FARM

PEWAUKEE

NEW CAR WASH

120 SIMMONS AVENUE

PEWAUKEE, WI 53072

ALL WORK TO BE COMPLETED AS SHOWN, AND
IN ACCORDANCE WITH THE LATEST EDITION OF
THE MSI GENERAL MASTER SPECIFICATION.

DATE: 06/24/2025

PROJECT: BUBBLES FOAM FARM

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SCALE: 1" = 16'-0"

DATE: 06/24/2025

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SCALE: 1" = 16'-0"

DATE: 06/24/2025

PROJECT: BUBBLES FOAM FARM

PRELIMINARY LANDSCAPE PLAN

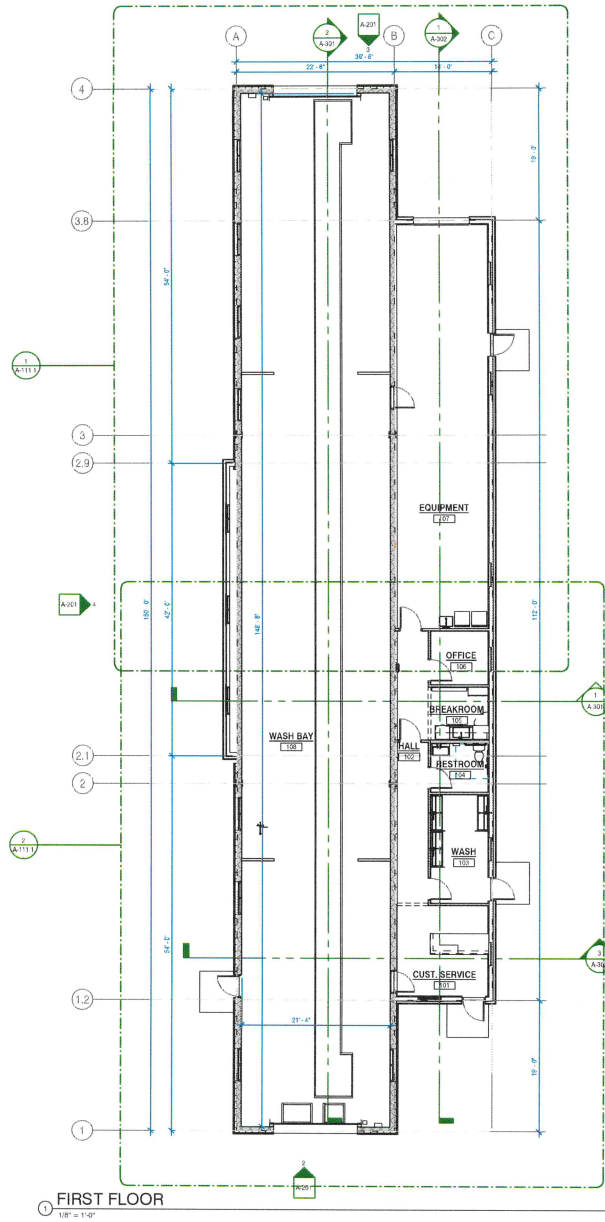
SCALE: 1" = 16'-0"

DATE: 06/24/2025

PROJECT: BUBBLES FOAM FARM

PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 16'-0"



GENERAL NOTES - FLOOR PLAN(S)	
A.	MOISTURE RESISTANT GRB AT ALL LOCATIONS EXPOSED TO MOISTURE (BATHROOMS, JANITOR/PLUMBING ROOMS, KITCHENS, ETC. AND EXTERIOR WINDOWS AND DOOR HEAD AND JAMB RETURNING).
B.	APPLIANCES, FURNITURE, AND EQUIPMENT BY OWNER. SHOWN FOR REFERENCE ONLY. (UNLESS OTHERWISE NOTED).
C.	ALL WALLS NOT LABELED WITH A WALL TYPE, SHOULD FOLLOW THE TYPICAL TYPE THAT IS CALLED OUT ON PLANS.
D.	PROVIDE BLOCKING IN HALLS WHERE CABINETS, TOILET ACCESSORIES, GRAB BARS, WALL MOUNTED TIPS, ETC. ARE SHOWN ON PLANS.
E.	REFER TO SHEET A-101 FOR DOOR AND WINDOW SCHEDULES.
F.	REFER TO SHEET A-101 FOR ROOM, DOOR AND WINDOW FINISHES.

SHEET NOTES - FLOOR PLAN(S)	
NOTE: THESE NOTES APPLY ONLY TO THIS SHEET	
NO.	DESCRIPTION

MSI

GENERAL

DESIGNBUILD

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W215 E. WISCONSIN AVE.
NASHOTAH, WI 53055
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MILESTONE ISSUE DATES

PRELIMINARY SET

02/09/2021

BUDGET SET

LOCAL DESIGN REVIEW SET

06/25/2021

PROPOSAL SET

PERMIT SET

CONSTRUCTION SET

RECORD DRAWING SET

REVISIONS:

Bubble's

FOAM FARM

LAR WASH

BUBBLES FOAM FARM
PEWAUKEE

NEW CAR WASH

130 BIRNBOYS AVENUE

PEWAUKEE, WI 53070

ALL WORK TO BE COMPLETED AS SHOWN, AND
IN ACCORDANCE WITH THE LATEST EDITION OF
THE MSI GENERAL MASTER SPECIFICATION

SHEET TITLE

OVERALL FIRST FLOOR PLAN

SHEET NUMBER

A-110

PROJECT NUMBER

P13761

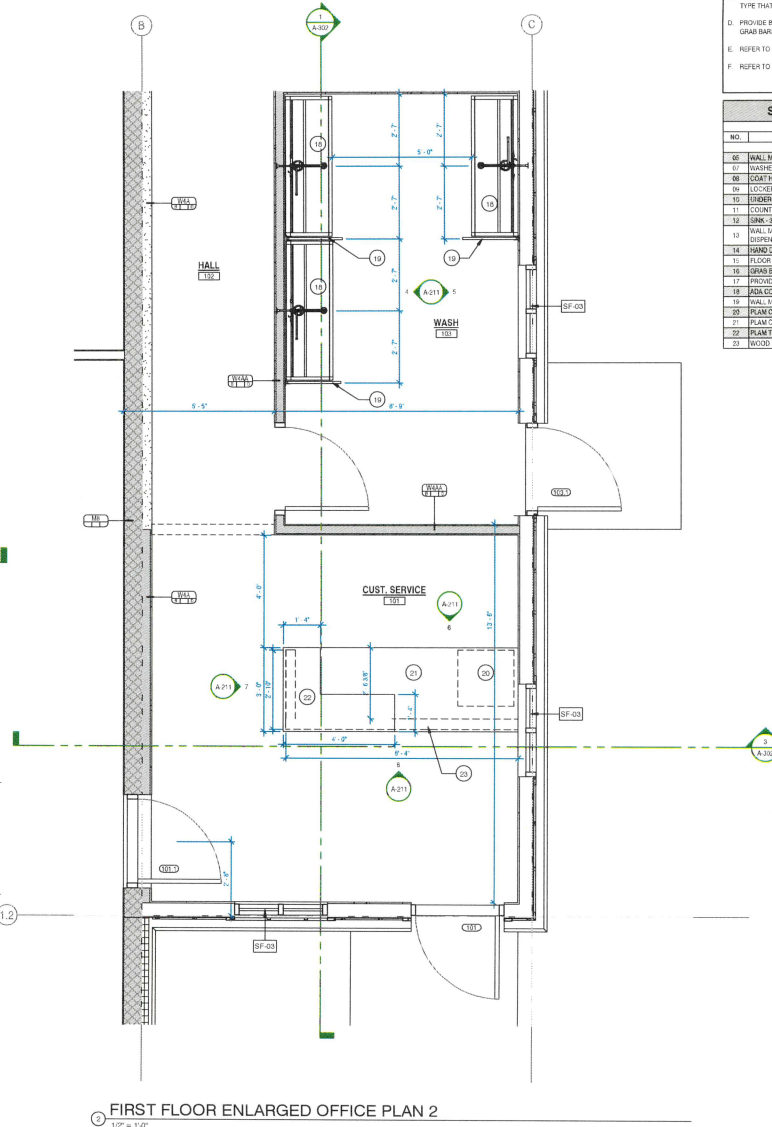
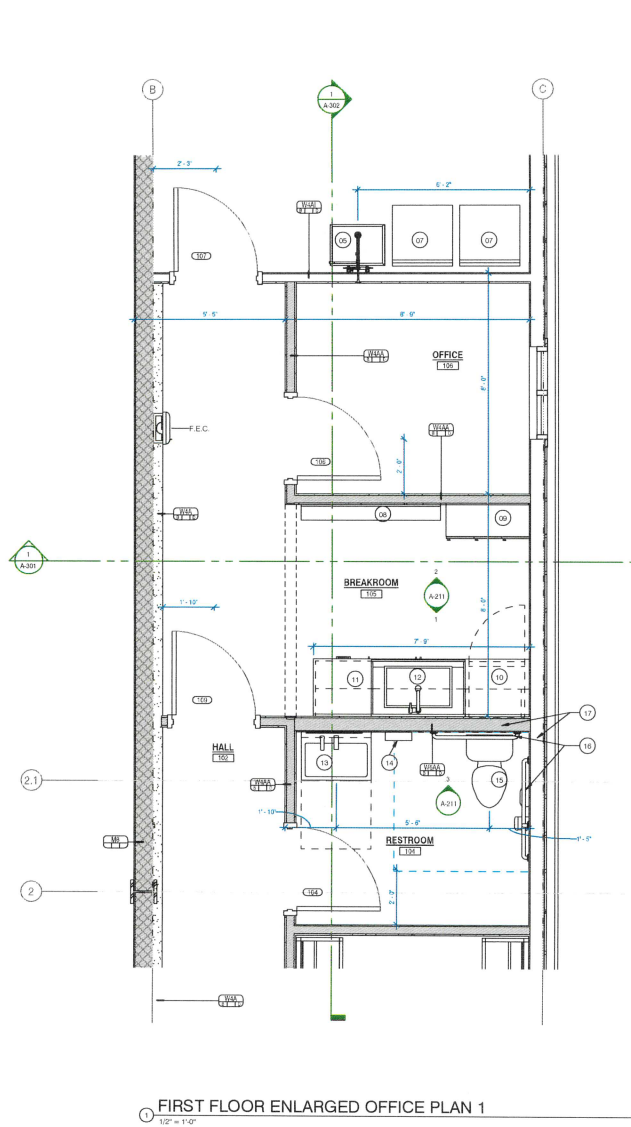
LEADERS

ENGINEERS

CONTRACTORS

ARCHITECTS

VILLAGE OF PEWAUKEE - SUBMITTAL



GENERAL NOTES - FLOOR PLAN(S)	
A	MOISTURE RESISTANT GIB AT ALL LOCATIONS EXPOSED TO MOISTURE (BATHROOMS, JANITOR, LIVING ROOMS, KITCHENS, ETC. AND EXTERIOR WINDOW AND DOOR HEAD AND JAMB RETURNS)
B	APPLIANCES, FURNITURE, AND EQUIPMENT BY OWNER. SHOWN FOR REFERENCE ONLY. (FURNITURE NOT SHOWN)
C	ALL WALLS NOT LABELED WITH A WALL TYPE, SHOULD FOLLOW THE TYPE THAT IS CALLED OUT ON PLANS
D	PROVIDE BLOCKING IN WALLS WHERE CABINETS, TOILET ACCESSORIES, GRAB BARS, HALL MOUNTED TV'S, ETC. ARE SHOWN ON PLANS
E	REFER TO SHEET A-101 FOR DOOR AND WINDOW SCHEDULES
F	REFER TO SHEET A-101 FOR ROOM, DOOR AND WINDOW FINISHES

SHEET NOTES - FLOOR PLAN(S)	
NOTE: THESE NOTES APPLY ONLY TO THIS SHEET	
NO.	DESCRIPTION
06	WALL MOUNTED LAUNDRY SINK 24\"/>

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MILESTONE ISSUE DATES

PRELIMINARY SET	06/09/2021
BUDGET SET	
LOCAL DESIGN REVIEW SET	06/25/2021
PROPOSAL SET	
PERMIT SET	
CONSTRUCTION SET	
ARCHITECTURAL SET	

REVISIONS:

NO.	DESCRIPTION

BUBBLES FOAM FARM PEWAUKEE

NEW CAR WASH
130 SIMMONS AVENUE
PEWAUKEE, WI 53072

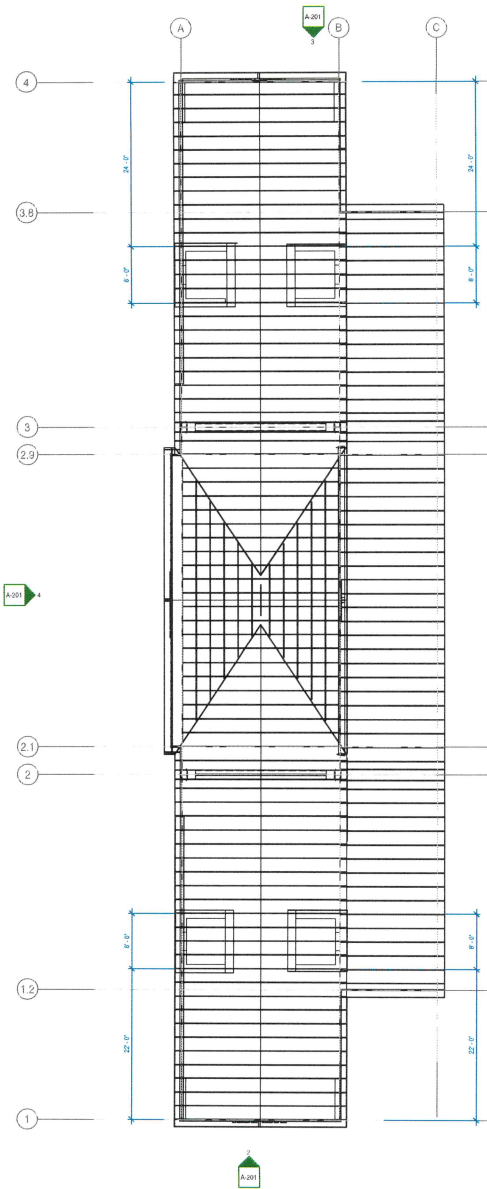
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SHEET TITLE
FIRST FLOOR ENLARGED PLAN

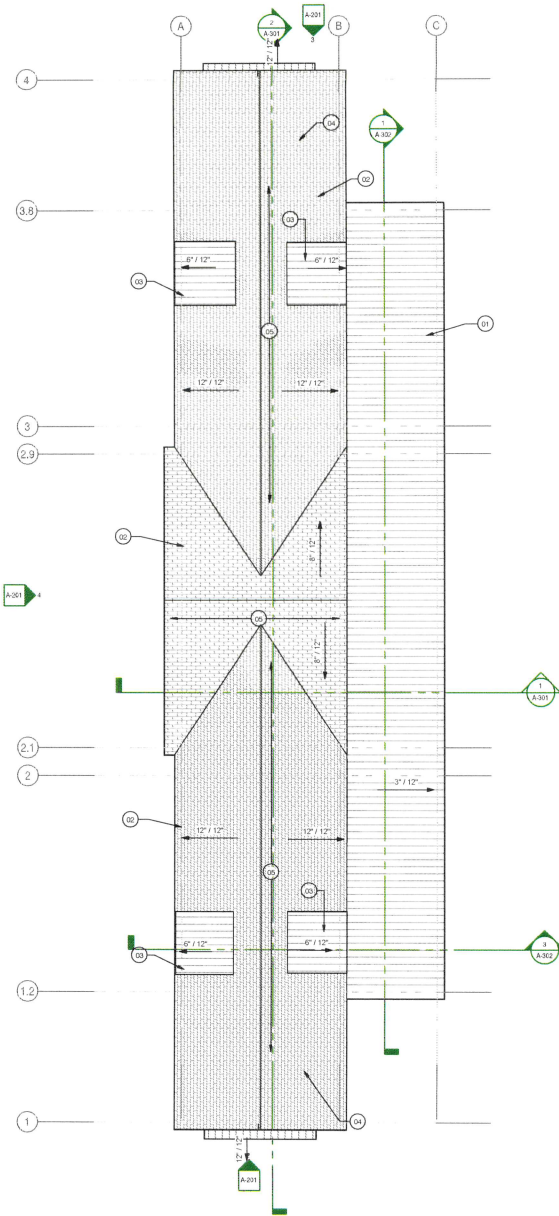
SHEET NUMBER
A-111.2

PROJECT NUMBER
P13761

ARCHITECTS
VILLAGE OF PEWAUKEE - SUBMITTAL



DORMER ROOF PLAN
1/8" = 1'-0"



ROOF
1/8" = 1'-0"

GENERAL NOTES - REFLECTED CEILING PLAN(S)

A. APPLY ICE AND WATER SHIELD ON EACH ROOF EDGE PER MANUFACTURERS INSTRUCTIONS.

SHEET NOTES - ROOF PLAN

NOTE: THESE NOTES APPLY ONLY TO THIS SHEET

NO.	DESCRIPTION
01	STANDING SEAM METAL ROOF OVER ICE AND WATER SHIELD OVER SHEATHING OVER TRUSSES @ 24" O.C. WITH 1/2" MIN. BATT INSULATION OVER VAPOR BARRIER
02	DIMENSIONAL ASPHALT SHINGLES OVER ICE AND WATER SHIELD OVER 1/2" SHEATHING OVER TRUSSES @ 24" O.C. WITH 1/2" MIN. BATT INSULATION OVER VAPOR BARRIER
03	STANDING SEAM METAL ROOF OVER ICE AND WATER SHIELD OVER SHEATHING OVER EX OVERSTAMING
04	PAVING WITH STANDING SEAM METAL ROOF OVER ICE AND WATER SHIELD OVER SHEATHING OVER 1/2" WOOD FRAMING @ 16" O.C. OVER SUPPORT
05	PROGE VENT



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MILESTONE ISSUE DATES

PRELIMINARY SET	06/09/2025
BUDGET SET	
LOCAL DESIGN REVIEW SET	06/25/2025
PROPOSAL SET	
PERMIT SET	
CONSTRUCTION SET	
RECORD DRAWING SET	

REVISIONS

NO.	DESCRIPTION



BUBBLES FOAM FARM PEWAUKEE

NEW CAR WASH

135 SIMMONS AVENUE

PEWAUKEE, WI 53072

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION



SHEET TITLE
ROOF PLAN

SHEET NUMBER

A-144

PROJECT NUMBER

P13761



VILLAGE OF PEWAUKEE - SUBMITTAL

LEADERS

ENGINEERS

CONTRACTORS

ARCHITECTS



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ACTUAL INFORMATION ABOUT THE DESIGN IS IN THE CONSTRUCTION DOCUMENT.



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MILESTONE ISSUE DATES

MILESTONE ISSUE DATES	
PRELIMINARY SET	06/09/2021
BUDGET SET	
LOCAL DESIGN REVIEW SET	06/25/2021
PROPOSAL SET	
PERMIT SET	
CONSTRUCTION SET	
RECORD DRAWING SET	

REVISIONS



BUBBLES FOAM FARM
PEWAUKEE

NEW CAR WASH
120 SIMMONS AVENUE

PEWALKEE, WI 53072

ALL WORK TO BE COMPLETED AS SHOWN, AND
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THE MSI GENERAL MASTER SPECIFICATION

SHEET TILE
EXTERIOR RENDERINGS

SHEET NUMBER

A-210

PROJECT NUMBER
D1376

LEADERS

ENGINEERS

CONTRACTORS

ARCHITECTS

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