



PLAN COMMISSION AGENDA

December 10, 2020 – 7:00pm

Meeting Available on Zoom.us at the following meeting number:

<https://us02web.zoom.us/j/86718939629>

In lieu of participating via the Zoom website, the alternative telephone only dial-in is:

Dial in: 312-626-6799 867 1893 9629

"Due to the COVID-19 Pandemic and in recognition of the declaration of states of emergency by the President, the Governor and the Village President, this meeting will not be open to the public in an in-person capacity. Those wishing to observe may do so by downloading the ZOOM app to your personal computer, tablet or smart phone and utilizing the above information to join via either computer or telephone. If you wish to communicate in written format with the Commission you may send written comments to the Village Clerk at 235 Hickory St. Pewaukee, WI 53072 or you may email the Clerk at csmith@villageofpewaukee.com."

1. Call to Order and Roll Call
2. Public Hearings. – None.
3. Citizen Comments – *This is an opportunity for citizens to share their opinions with Commission Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Commission is not able to answer questions or respond to your comments. All comments should be directed to the Commission. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*
4. Approval of the Minutes:
 - a. Regular Plan Commission Meeting – November 12, 2020
5. Old Business.
 - a. Review, discussion and feedback to staff regarding portions of the Village of Pewaukee Comprehensive Plan update in progress – i.e. Chapter 7-Land Use. There may also be discussion regarding the relationship(s)/connectivity of the material in these chapters to the recently completed Village of Pewaukee Strategic Plan Update.
 - b. Review, discussion and possible action on the Conditional Use Grant Amendment request of property owner WCTC, in c/o Jeff Leverenz, Director of Facilities-Services, to construct a new campus classroom and training building (including an indoor shooting range for student training and active duty officers recertification shooting only) to be located at the northeast turn of the existing EVOC training track in the southwest area of the WCTC campus located at 800 Main Street. The property is Zoned IPS Institutional and Public Service District.
6. New Business
 - a. Review, discussion and possible approval of the Building, Site and Operating Plan for conversion of the existing non-residential use building located at 357 Morris Street to a 10-unit multi-family residential use. The applicant/property owner is AMTA Investments, LLC in c/o Tara and Dan Stetler. The property is zoned R-M Multi-Family Residential.
 - b. Consultative review, discussion and feedback to the Village staff and applicant on concept plans to refurbish the existing building and modify the existing site conditions at 1151 Hickory Street. The property, which is zoned B-5 Light Industrial, is owned by MAM Properties LLC. The applicant is Beachside Boat & Bait (Beachside Marine).
 - c. Consultative review, discussion and feedback to the Village staff and applicant on concept plans to attach the

existing, platted vacant lot located directly north of and adjacent to 1151 Hickory Street to the property located at 1045 Hickory Street (i.e. the Eaton Property) and to use it for screened outdoor storage of boats, RV's and related accessories such as docks, lifts, and similar. The property, which is zoned B-5 Light Industrial, is owned by MAM Properties LLC. The applicant is Beachside Boat & Bait (Beachside Marine).

- e. Review, discussion and possible recommendation to the Village Board to amend the Comprehensive Plan Land Use Plan Map element from existing "Institutional" to proposed "Single-Family Residential (4 Units/Acre Max Density)" for the property located at 321 Riverside Drive. The property is currently zoned IPS Institutional and Public Service District. The property owner/applicant is Riverside 321 Partners LLC in c/o Christian Hlavinka.
- f. Review, discussion and possible recommendation to the Village Board to rezone the property located at 321 Riverside Drive from current IPS Institutional and Public Service District to R-5 Residential Detached District with Infill Redevelopment District Overlay. The property owner/applicant is Riverside 321 Partners LLC in c/o Christian Hlavinka.
- g. Consultative review, discussion and feedback to the Village staff and applicant on concept plans to develop the property located at 321 Riverside Drive into 36 detached, single-family lots/residences and possible TIF assistance for the project. The property is currently zoned IPS Institutional and Public Service District. The property owner/applicant is Riverside 321 Partners LLC.

7. Citizen Comments. – *This is an opportunity for citizens to share their opinions with Commission Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Commission is not able to answer questions or respond to your comments. All comments should be directed to the Commission. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*

8. Adjournment

Note: It is possible that members and/or possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; action will not be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in the notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. To request such assistance, contact the Village Clerk at 262-691-5660.

Dated: December 4, 2020

**VILLAGE OF PEWAUKEE
PLAN COMMISSION MINUTES
November 12, 2020**

1. Call to Order and Roll Call

President Knutson called the meeting to order at approximately 7:01 p.m.

Roll Call was taken with the following Plan Commission members present: Comm. Jim Grabowski, Comm. Cheryl Mantz, Comm. Ryan Lange, Comm. Joe Zompa, Comm. Eric Rogers, Trustee Craig Roberts and President Jeff Knutson.

Also Present: Mary Censky, Village Planner; Tim Barbeau, Village Engineer; Mark Blum, Village Attorney; Scott Gosse, Village Administrator; Jackie Schuh, Deputy Clerk-Treasurer.

2. Public Hearings

- a. **On the Conditional Use Grant Amendment request of property owner WCTI, in c/o Jeff Leverenz, Director of Facilities-Services, to construct a new campus classroom and training building (including an indoor shooting range for student training and active duty officers recertification shooting only) to be located at the northeast turn of the existing EVOC training track in the southwest area of the WCTC campus located at 800 Main Street. The property is Zoned IPS Institutional and Public Service District.**

No comments.

- b. **On the Conditional Use Grant Request of applicant is Beachside Boat & Bait (Beachside Marine) to remove and replace the existing boat, RV and boating related accessories sales, service and storage use of the building/site located at 1151 Hickory St. with a phased, new development, including 3 new buildings and reconfigured site usage dedicated to those same uses (see above). The property owner is MAM Properties LLC and the property is zoned B-5 Light Industrial District.**

Withdrawn by applicant.

3. Citizen Comments

None.

4. Approval of the Minutes:

- a. **Regular Plan Commission Meeting – October 8, 2020**

Trustee Roberts moved, seconded by Comm. Grabowski to approve the October 8, 2020 minutes of the regular Plan Commission meeting as presented.

Motion carried on roll call vote 7-0.

- b. **Special Plan Commission Meeting – October 13, 2020**

Comm. Mantz moved, seconded by Comm. Grabowski to approve the October 13, 2020 minutes of the Special Plan Commission meeting as presented.

Motion carried on roll call vote 7-0.

Agenda Items 5a – 6g were presented but not necessarily in order, except as individually noted.

5. Old Business

- a. **Review, discussion and feedback to staff regarding portions of the Village of Pewaukee Comprehensive Plan update in progress – i.e. Chapter 7-Land Use. There may also be discussion regarding the relationship(s)/connectivity of the material in these chapters to the recently completed Village of Pewaukee Strategic Plan Update.**

Planner Censky began to present portions of Chapter 7 when she experienced technical difficulties. Item 5a was not presented or discussed as a result.

6. New Business

- a. **Review, discussion and preparation for possible action at a subsequent meeting on the Conditional Use Grant Amendment request of property owner WCTI, in c/o Jeff Leverenz, Director of Facilities-Services, to construct a new campus classroom and training building (including an indoor shooting range for student training and active duty officers recertification shooting only) to be located at the northeast turn of the existing EVOC training track in the southwest area of the WCTC campus located at 800 Main Street. The property is Zoned IPS Institutional and Public Service District. NO ACTION WILL BE TAKEN AT THIS MEETING.**

Planner Mary Censky shared on her screen the proposed 12,975 sq. ft. building at the WCTC campus which will consist of a 12-lane indoor shooting range and classroom space. The facility is intended for use by students-in-training and active duty officer recertification only – no public use is proposed. The principal materials of asphalt shingles and Hardi-panel cement-board siding is consistent with other buildings on campus. Acceptable landscaping is depicted although final plant selection will be made at a later time. No new lighting, signage or dumpster enclosures are proposed at this time. Per Village Engineer Tim Barbeau, the access to the proposed building will be via internal existing roads with no anticipated changes proposed at this time. There is no indication of where the new sanitary lateral will be extended from and he has asked for that to be added to the site plan before moving forward. He also asked that contractors locate the exact position and depth of the water main to assure it has adequate ground cover and will not be damaged – it must be shown on the site plan. Of concern to Barbeau is a fence proposed to run through a ditch/swale northwest of the proposed building which has the potential to block water and collect debris that will affect drainage. Discussion followed. Comm. Grabowski confirmed there will be no tactical training or shooting outside of the building and questioned whether the Hickory St. location will be closing. Jeff Leverenz of WCTC spoke briefly about the unknown status of the Hickory St. location going forward and shared that the goal is for WCTC to own their own building instead of leasing a space. He also shared that the classroom portion of the building may be delayed to ‘phase two’ of construction due to budgetary constraints. Attorney Blum redirected discussion back to a land use perspective and whether the proposed use fits the Village Code. Blum also recommended that WCTC come back with a revised plan addressing the classroom portion of the building as a subsequent phase and which also addresses the problem areas discussed.

No action was taken at this meeting.

- b. **Review, discussion and possible action on the Sign Code Waiver request of applicant Engage Therapy Works, in c/o Robin Hicks, to place a 43.13 sq.ft. tenant identification wall sign at 690 Westfield Way-Suite J, where the Sign Code provides for 30 sq.ft. maximum. The property owner is Westfield Way, LLC. The property is zoned B-1 Community Business.**

Planner Censky spoke regarding the known challenges of this location. The applicant believes the multi-tenant building is too remote from the surrounding public streets as well as from the shared private drive between this property and the lots to the south. They are requesting a sign code waiver to install a 43.13 sq. ft. wall sign where code provides for 30 sq. ft. maximum. Discussion followed regarding a prior

monument sign that had been approved and why it was not erected. The Commission was sympathetic to the challenges of this location for visibility and was generally supportive of the request.

Comm. Zompa moved, seconded by Comm. Grabowski to grant the sign code waiver to place a 43.13 sq.ft. tenant identification wall sign at 690 Westfield Way-Suite J with the following recommendation of Planner Censky:

- 1) Applicant to secure all necessary permits, such as but not limited to Sign Permit, Electrical Permit,.....prior to placement/installation at the site.**

Motion carried by roll call vote 7-0.

- c. Review, discussion and possible action on the Sign Code Waiver request of applicant The Chiropractors in c/o Chris Rebholz, to place a 66.66 sq.ft. tenant identification wall sign at 690 Westfield Way-Suite E, where the Sign Code provides for 30 sq.ft. maximum. The property owner is Westfield Way, LLC. The property is zoned B-1 Community Business.**

Planner Censky briefly described this application as being very similar to that of item 6b with the exception that the proposed sign is significantly larger at 66.7 sq. ft.

Comm. Zompa moved, seconded by Comm. Lange to grant the sign code waiver to place a 66.7 sq.ft. tenant identification wall sign at 690 Westfield Way-Suite E with the following recommendation of Planner Censky:

- 1) Applicant to secure all necessary permits, such as but not limited to Sign Permit, Electrical Permit,.....prior to placement/installation at the site.**

Motion carried by roll call vote 7-0.

- d. Review, discussion and possible action on the Sign Code Waiver request of applicant Get Salty & Lit, in c/o Chris Rebholz, to place a 46.80 sq.ft. tenant identification wall sign at 690 Westfield Way-Suite F, where the Sign Code provides for 30 sq.ft. maximum. The property owner is Westfield Way, LLC. The property is zoned B-1 Community Business.**

Planner Censky briefly described this application as also being very similar to that of item 6b and 6c with the exception that the proposed sign size is slightly different at 46.80 sq. ft.

Comm. Grabowski moved, seconded by Comm. Mantz to grant the sign code waiver to place a 46.80 sq.ft. tenant identification wall sign at 690 Westfield Way-Suite F with the following recommendation of Planner Censky:

- 1) Applicant to secure all necessary permits, such as but not limited to Sign Permit, Electrical Permit,.....prior to placement/installation at the site.**

Motion carried by roll call vote 7-0.

- e. Review, discussion and preparation for possible action at a subsequent meeting on the Conditional Use Grant Request of applicant is Beachside Boat & Bait (Beachside Marine) to remove and replace the existing boat, RV and boating related accessories sales, service and storage use of the building/site located at 1151 Hickory St. with a phased, new development, including 3 new buildings and reconfigured site usage dedicated to those same uses (see above). The property owner is MAM Properties LLC and the property is zoned B-5 Light Industrial District. NO ACTION WILL BE TAKEN AT THIS MEETING.**

Withdrawn by applicant.

- f. Review, discussion and possible recommendation to the Village Board on the request of applicant Beachside Boat & Bait (Beachside Marine) to combine the two**

existing, separate lots located at 1151 Hickory St. and immediately north/adjacent thereto into a single lot. The property owner is MAM Properties LLC and the property is zoned B-5 Light Industrial District.

Withdrawn by applicant.

- g. Consultative review, discussion and general feedback to applicant (Beachside Boat & Bait (Beachside Marine)) and staff as to possible reuse of a portion of the property (site and building) located at 1045 Hickory Street for the uses 'boat and RV storage, sales and services; sales of boats, trailers and related accessories; detailing and servicing of boats; and pick-up and delivery of customers boats. The property owner is RTE Corporation. The property is zoned B-5 Light Industrial District.**

Planner Censky presented the proposed site plan of the applicant to repurpose the existing building at 1045 Hickory St. The applicant's plans call for utilization of up to ~70,000 sq. ft. of the center of the building for boat and RV storage, sales and services, trailers and related accessories, boat detailing and servicing as well as pick-up and delivery of customer boats. The use of the balance of the building is undetermined at this time. The plan calls for adding a large, fenced and landscaped area in the front of the property for outdoor storage of boats, RVs and related equipment. The applicant intends to create more green space where surplus parking is currently located and might be removed. Discussion followed regarding the location of the outdoor storage, the height of the fence, landscaping and green space. The applicant shared that his preference is to invest more money in the landscaping with mature trees rather than an excessive fence height. There was discussion about reconfiguring the outdoor storage space location options so as not to infringe too much on the right-of-way setback requirements. The Commission was generally in favor of the use, the increased green space plans, the use of mature trees for screening, the proposed electric gate with security cameras as well as a higher fence with some sort of opaque slat. The applicant's intent is to return to the Commission with detailed final plans seeking a CUG for this location.

7. Citizen Comments.

Citizen comments were not addressed.

8. Adjournment

Comm. Grabowski moved, seconded by Comm. Zompa to adjourn the November 12, 2020 Regular Plan Commission meeting at approximately 8:16 p.m.

Motion carried 5-2 with Comm. Mantz and Trustee Roberts voting no.

Respectfully submitted,

Jackie Schuh
Deputy Clerk-Treasurer

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky
Date Prepared: December 10, 2020

General Information:

Agenda Item: 5.b.

Applicant:

Jeff Leverenz, Director Facilities-Services,
on behalf of owner/applicant WCTI

Requested Action:

Conditional Use Grant Amendment approval to construct a new campus classroom and training building (including an indoor shooting range for student training and active duty officer’s recertification shooting only).

Existing Zoning:

IPS Institutional and Public Service

Surrounding Zoning/Land Use:

North: Pewaukee School District Campus
South: City of Pewaukee – vacant wetland/environmental corridor
East: WCTC campus and S.T.H. 16
West: City of Pewaukee – single family residential

Master Plan Classification:

Institutional

Location:

800 Main Street

Update:

This matter was the subject of a public hearing before the Planning Commission on November 12, 2020. General discussion and feedback on the proposal was given at that time.

Discussion:

Bearing the discussion and feedback of the previous meeting in mind, the applicant returns this month with the modification of removing the classrooms portion of the building. This leaves the shooting range, gathering/breakout space, toilet/shower facilities and such for now. The shooting range is intended for student training and active duty officer’s recertification shooting only.

Architecturally, with principal materials including asphalt shingles and vertically orientated Hardipanel cement board siding, the building is consistent with nearby buildings on the campus.

The building will be served by an existing paved/lit/landscaped parking lot at the site. An acceptable, albeit general, landscaping has been offered for the site. Final plant selections will be made closer to the time of planting to reflect available stock,...

No new lighting, signage, dumpster enclosure,... is proposed as a part of this plan.

Recommendation:

If the Planning Commission is inclined toward granting approval of this new building, the Planner recommends the following conditions be considered for attachment thereto:

- 1) Village Engineer review and approval of all grading, drainage, stormwater management and erosion control and utilities plans prior to the start of any construction and/or earthwork at the site;
- 2) If any ground and/or roof-mounted HVAC or similar mechanical equipment is to be placed at this site, a specific plan for the location and suitable screening shall first be submitted for Village staff review and approval;
- 3) Any substantiated adverse material impacts upon the surrounding area or the community as a whole arising out of the conduct of this building/use (including for instance but not necessarily limited to noise, traffic/parking, litter, loitering, ...) shall be the responsibility of the applicant to correct timely upon request of the Village or this use approval may be subject to modification and/or termination at the Village's discretion in accordance with Section 40.154(e) of the Land Development Code;
- 4) If there are to be any lighting changes or additions, dumpsters placed, ... at this site attendant to this project, the detailed plans for same must first be reviewed and approved by Village staff.

Village of Pewaukee Plan Commission Engineer's Report for December 10, 2020

WCTC V Building

Report

The proposed new building will be located north of the existing baseball field in an area that is open space and a stormwater basin for the adjoining parking lot. The new building will be set west of the parking lot and the new stormwater bioretention basin will be located southwest of the new building.

Access

Access to this site will be via internal existing roads. No anticipated changes to the access to this site.

Sanitary Sewer and Water

The sanitary sewer system for WCTC is a private system. A 6-inch lateral will be extended from a manhole located southeast of the existing parking lot and east of the baseball field to the building. There is a water main located east of the parking lot. They are proposing to extend a 6-inch lateral from that main to the building and install a hydrant near the southwest corner of the parking lot. I am investigating whether the 6-inch lateral will be private or public, since a hydrant will be installed. Grading for the stormwater bioretention basin will not get close to the water main mentioned in my report from last month that is located west of the site.

Site Grading

The proposed building site slopes from the north to the south. The existing parking lot drainage flows to the northwest and southwest corners of the lot. The plans show the construction of a ditch/swale on the north side of the building which captures flow from part of the parking lot and lands north of the proposed building and directs it towards the southwest into a proposed stormwater bioretention basin. Water draining to the southwest corner of the parking lot will be directed to the bioretention basin through a swale along the south side of the building and storm pipes. Previous plans indicated a fence that extended across the northerly swale. The fence has been relocated such that it won't affect the flow in the swale.

Stormwater Management

The stormwater basin and swales will be constructed as a bioretention basin with a perforated pipe that will direct the water to an outlet to the southwest. Any overflow from the pond will be directed to the southwest to a swale along the east side of the EVOC pad and will eventually flow to CTH SS.

There remain a few technical items that have been requested from the design engineer, which should be addressed prior to my final approval to assure that it meets the Village code.

Recommendation

I recommend approval of the proposed development subject to staff satisfaction of the following items:

- Determination of whether the water lateral will be public or private
- Resolution of outstanding stormwater management plan comments.

Tim Barbeau, Village Consulting Engineer
December 2, 2020

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: December 10, 2020

General Information:

Agenda Item: **6.a.**

Applicant:

AMTA Investments LLC in c/o Dan and Tara Stetler

Status of Applicant:

Property owner

Requested Action:

Approval of the Building, Site and Operating Plan for conversion of the existing non-residential use building to a 10-unit multi-family residential use.

Existing Zoning:

R-M Multi-Family Residential

Surrounding Zoning/Land Use:

North: R-M Multi-Family Residential
South: City of Pewaukee
East: P-1 Park and Recreation
West: Hwy. 16

Existing Master Plan Classification:

Multi-Family Residential

Location:

357 Morris Street

Lot Size:

.9024 +/- acres

Discussion:

The applicants site and building plans for re-use of the property for 10 2-bedroom apartments are largely “per existing conditions”.

- The overall density proposed is ~11 units per acre – Code maximum in the RM district is 12 units per acre.
- The units are all 2-bedroom and each is approximately 1,050 sq.ft. in area – Code minimum for 2-bedroom units in the RM District is 950 sq.ft..
- Where Code calls for 2 enclosed parking stalls per unit, the constraints of the existing building footprint “per existing conditions” limits the number of enclosed stalls in the underground space to 14. Twenty-seven unenclosed surface parking spaces are also provided.
- Where Code calls for minimum 30% minimum greenspace on an RM site, the applicant is working with a “per-existing conditions” situation and making re-use of nearly all the existing impervious features of the site such as building and paving. The applicant is removing three small areas of pavement in order to improve the greenspace condition and allow for additional landscaping. The net addition of greenspace is ~1,000 sq.ft..
- The applicants plan calls for a new 6-foot tall fence to be installed along the north side of the property. Fence details have not been provided at this time. The specific offset from the lot line

is not made clear but appears to be ~2 feet. This fence must be offset not less than 5 feet, unless, pursuant to Section 40.422(c)(5) of the Code, the written consent of the adjoining property owner is given and, in that case, such structure shall not project forward of the building setback line.

- Landscaping is added to the new islands created. All other landscaping is “per existing conditions” and listed as “to remain”.
- Exterior lighting remains “per existing (and compliant) conditions”. One wall mounted decorative fixture is added to the main entrance area.
- With the exception of a new canvas awning at the west side pedestrian entrance, no other changes are proposed to the exterior of the building or site at this time.
- Trash/dumpster containers will be located indoors.

Recommendation:

The Planner has no objection to this request as presented and further described above but recommends the following conditions be considered for attachment to any approval the Commission may be inclined toward granting at this time:

- 1) Applicant to prepare a planting plan for the area along the south edge of the west parking lot to screen the lot from view of the street (as required under Section 40.445(c)(2)) - such plan to be reviewed and approved by staff prior to issuance of a building permit for this use conversion project;
- 2) Any remaining and/or new ground mounted utility/mechanical equipment shall be screened from the surrounding view (as required under Section 40.445(c)(1))– such plans to be reviewed and approved by Village staff prior to installation;
- 3) Minimum 5 foot offset shall be required for the proposed new fence and the specific plans/details of the fence as to materials, color,... shall be subject to review and approval by Village staff prior to installation;
- 4) If the existing handicapped ramp structure along the south building wall is to remain, it shall be painted or stained to color match or compliment the color of the exterior brick on this building.

MORRIS STREET APARTMENTS

357 MORRIS STREET
PEWAUKEE, WISCONSIN

SITE PLAN APPROVAL

10/19/2020

DBA PROJECT #2008-005

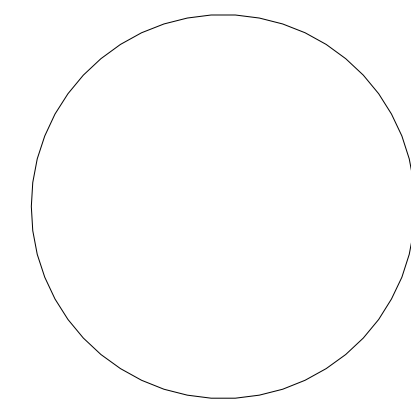
OWNER:
TARI STETLER
N7W29421 KEWSIK COURT
WAUKESHA, WI 53188

ARCHITECT:
DAN BEYER ARCHITECTS

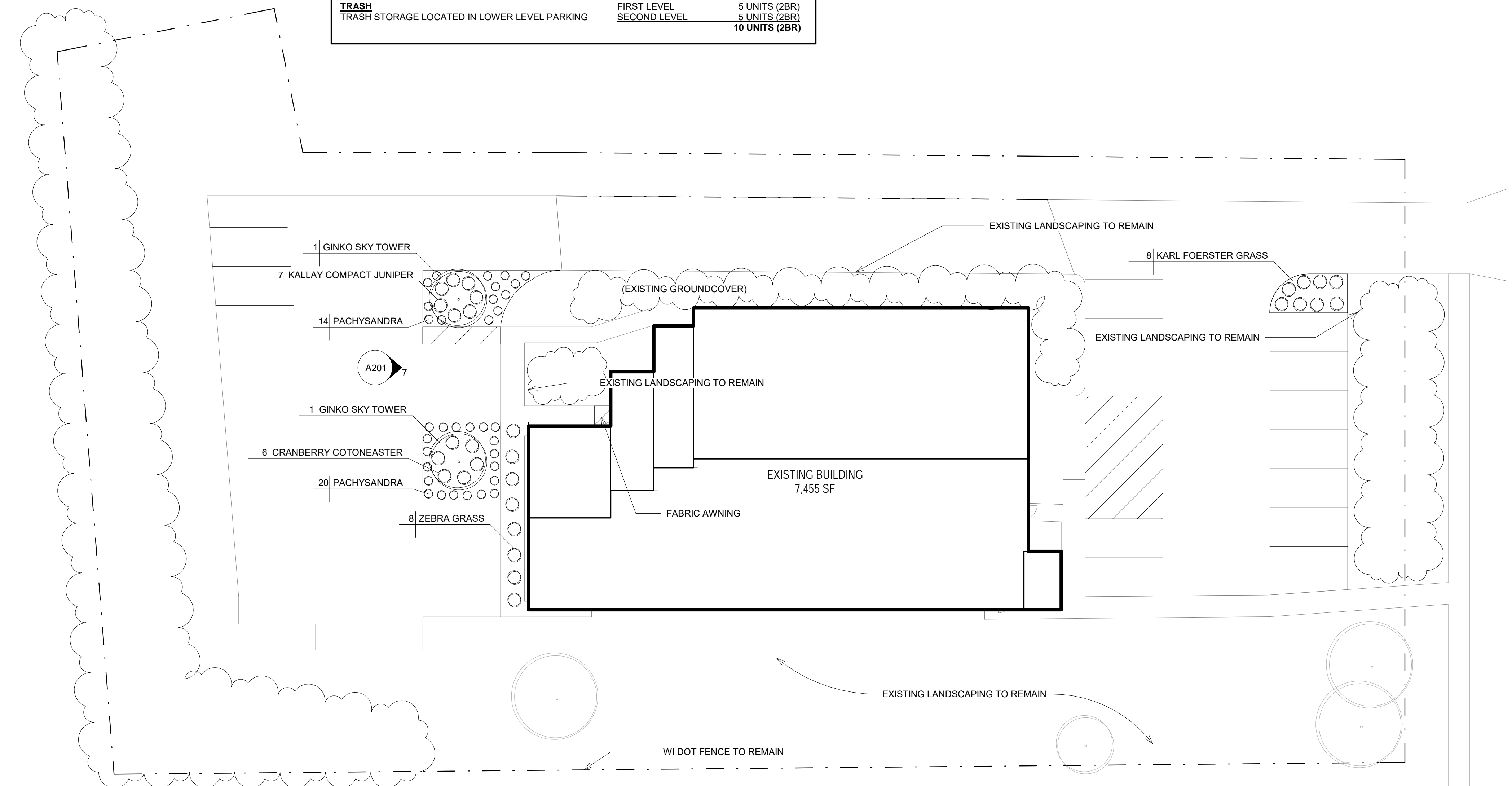
CONTACT: DANIEL BEYER
225 EAST ST. PAUL AVENUE, SUITE 303
MILWAUKEE, WI 53202
TEL. (414) 239-8267

SHEET INDEX

T000	TITLE SHEET
A100	DEMOLITION PLANS - LEVELS GROUND, 01, 02
A200	NEW WORK PLANS - LEVELS GROUND, 01, 02
A201	NEW WORK PLAN - UNIT PLANS
A300	REFLECTED CEILING PLANS - LEVELS GROUND, 1 & 2

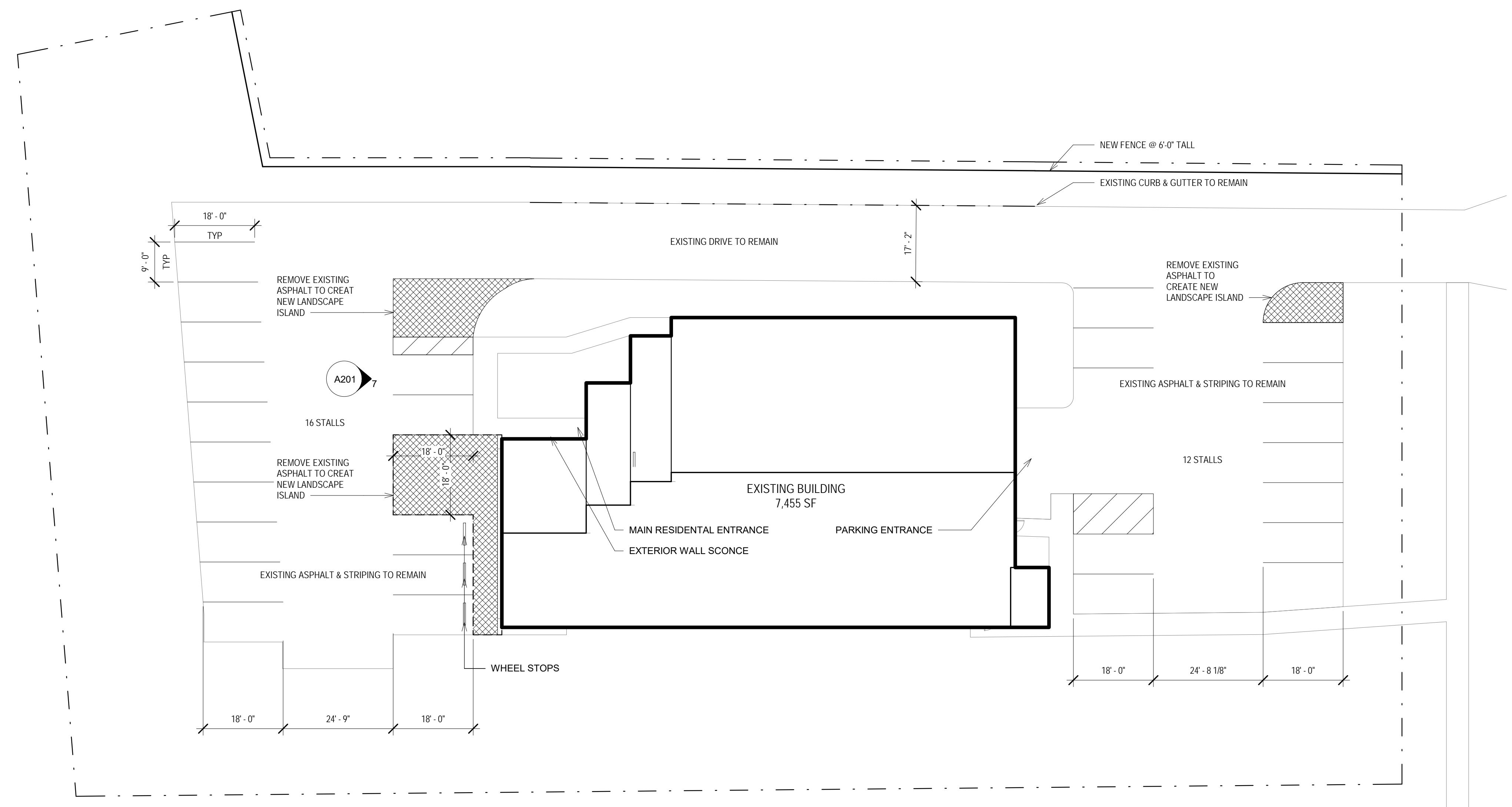


DEVELOPMENT INFORMATION	
PARKING	BUILDING
PARKING REQUIRED: 2 SPACES PER UNIT = 20 REQ.	AREA
PARKING PROVIDED:	LOWER LEVEL (PARKING): 6,550 SF
20 EXTERIOR SPACES	FIRST LEVEL: 6,550 SF
12 INTERIOR SPACES	SECOND LEVEL: 19,650 SF
32 SPACES TOTAL	
TRASH	UNITS
TRASH STORAGE LOCATED IN LOWER LEVEL PARKING	FIRST LEVEL: 5 UNITS (2BR)
	SECOND LEVEL: 5 UNITS (2BR)
	10 UNITS (2BR)



2 LANDSCAPE PLAN

Scale: 1/16" = 1'-0"



1 SITE PLAN

Scale: 1/16" = 1'-0"



EXISTING MAIN ENTRANCE



EXISTING PARKING ENTRANCE



VICINITY MAP
NO SCALE



SITE MAP
NO SCALE

DAN BEYER ARCHITECTS
225 E. ST. PAUL AVE, STE. 303
MILWAUKEE WI, 53202
414-239-8267

CONSULTANTS:

NOT FOR CONSTRUCTION
THESE DRAWINGS ARE RELEASED FOR DESIGN DEVELOPMENT PURPOSES ONLY. THEY ARE NOT TO BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION PURPOSES.

MORRIS STREET APARTMENTS

357 MORRIS STREET
PEWAUKEE, WISCONSIN

SHEET TITLE
TITLE SHEET

REVISIONS:

SCALE	VARIES
PROJECT NUMBER	2008-005
SET TYPE	SITE PLAN APPROVAL
DATE ISSUED	10/19/2020
SHEET NUMBER	T000

CONSULTANTS:

NOT FOR CONSTRUCTION
 THESE DRAWINGS ARE RELEASED FOR DESIGN DEVELOPMENT PURPOSES ONLY. THEY ARE NOT TO BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION PURPOSES.

MORRIS STREET APARTMENTS
 357 MORRIS STREET
 PEWaukee, WISCONSIN
 SHEET TITLE
 DEMOLITION PLANS LEVELS GROUND, 01, 02

REVISIONS:	
1	10/20/22 ADDENDUM 1
0	

SCALE	VARIES
PROJECT NUMBER	2008-005
SET TYPE	SITE PLAN APPROVAL
DATE ISSUED	10/19/2020
SHEET NUMBER	A100

DEMOLITION PLAN KEYNOTES	
SEE PROJECT GENERAL CONDITIONS, GENERAL INFORMATION ON SHEET A001 AND SELECTIVE DEMOLITION, CUTTING AND PATCHING SPECIFICATIONS THAT ARE USED IN ASSOCIATION WITH THESE NOTES.	
DEMOLITION PLAN KEY NOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET.	
1	REMOVE EXISTING PARTITION, RELATED ANCHORS, AND SEALANTS AS SHOWN. REMOVE ALL MEP DEVICES AS REQUIRED. PATCH AND SMOOTH ALL ANCHOR HOLES IN FLOOR AND ADJACENT WALLS AS REQUIRED FOR NEW CONSTRUCTION.
2	DEMO EXISTING DOOR FRAME, HARDWARE, AND RELATED SUPPORT. SALVAGE DOOR AND FRAME FOR REUSE.
3	REMOVE EXISTING FURNACE AND RELOCATE PER NEW WORK PLAN.
4	REMOVE EXISTING FLOORING AND BASE IN ENTIRE ROOM. PREP EXISTING FLOOR FOR NEW FINISH AS REQUIRED FOR NEW CONSTRUCTION.
5	REMOVE EXISTING COUNTERTOPS, CABINETS, AND APPLIANCES.
6	REMOVE EXISTING FIXTURES.
7	DEMO EXISTING WALKWAY AND RAMP. RETURN GRADING TO MEET EXISTING.
8	REMOVE EXISTING WINDOW.
9	DEMO EXISTING DOOR FRAME, HARDWARE, AND RELATED SUPPORT. SALVAGE DOOR AND FRAME FOR REUSE.
10	DEMO EXISTING DOOR FRAME TO REMAIN FOR REUSE.
11	DEMO EXISTING STAIR FINISH MATERIAL. PREP FOR NEW FINISH.
12	DEMO EXISTING CEILING.
13	DEMO EXISTING DOOR.
14	BOLD LINE INDICATES DEMO FACE OF GYP BD WALL. EXISTING STUD TO REMAIN.

GENERAL DEMOLITION NOTES TO CONTRACTOR	
1.	DRAWINGS WERE PREPARED BASED ON AVAILABLE EXISTING BUILDING DOCUMENTATION AND FIELD MEASUREMENTS. ADDITIONAL INFORMATION IS SPECIFIED IN DIVISION 01 SECTIONS OF THE PROJECT MANUAL. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS, AND DIMENSIONS TO SATISFY THEIR EXECUTION OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
2.	EXISTING WALLS, DOORS, FRAMES, ETC. THAT ARE SCHEDULED TO BE REMOVED ARE SHOWN BY DASHED LINE TYPES. SEE DEMOLITION KEY NOTES FOR SPECIFIC INSTRUCTIONS.
3.	EXISTING WALLS, DOORS, FRAMES, ETC. THAT ARE SCHEDULED TO REMAIN ARE SHOWN IN A LIGHT LINE WEIGHT AND ARE TO BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION. ANY SUCH EXISTING CONDITIONS WHICH ARE DAMAGED OR BECOME UNSTABLE DUE TO OTHER DEMOLITION SHALL BE REPLACED AT NO COST TO THE OWNER WITH NEW CONSTRUCTION TO MATCH.
4.	REMOVAL OF ALL HAZARDOUS MATERIALS IS THE SOLE RESPONSIBILITY OF THE OWNER. THE EXISTING BUILDING IS ASSUMED TO NOT CONTAIN SUCH MATERIALS. SHOULD ANY MATERIAL BE FOUND, OR IS SUSPECTED TO CONTAIN BE HAZARDOUS MATERIAL, THE CONTRACTOR SHOULD STOP WORK IMMEDIATELY AND NOTIFY OWNER AND ARCHITECT.
5.	SEE MEP DRAWINGS AND SPECIFICATIONS FOR ELECTRICAL, PLUMBING, FIRE PROTECTION AND HVAC REMOVAL. THESE SYSTEMS ARE SHOWN FOR COORDINATION PURPOSES ONLY.
6.	COORDINATE ALL ITEMS TO BE SALVAGED AND TURN OVER TO OWNER.

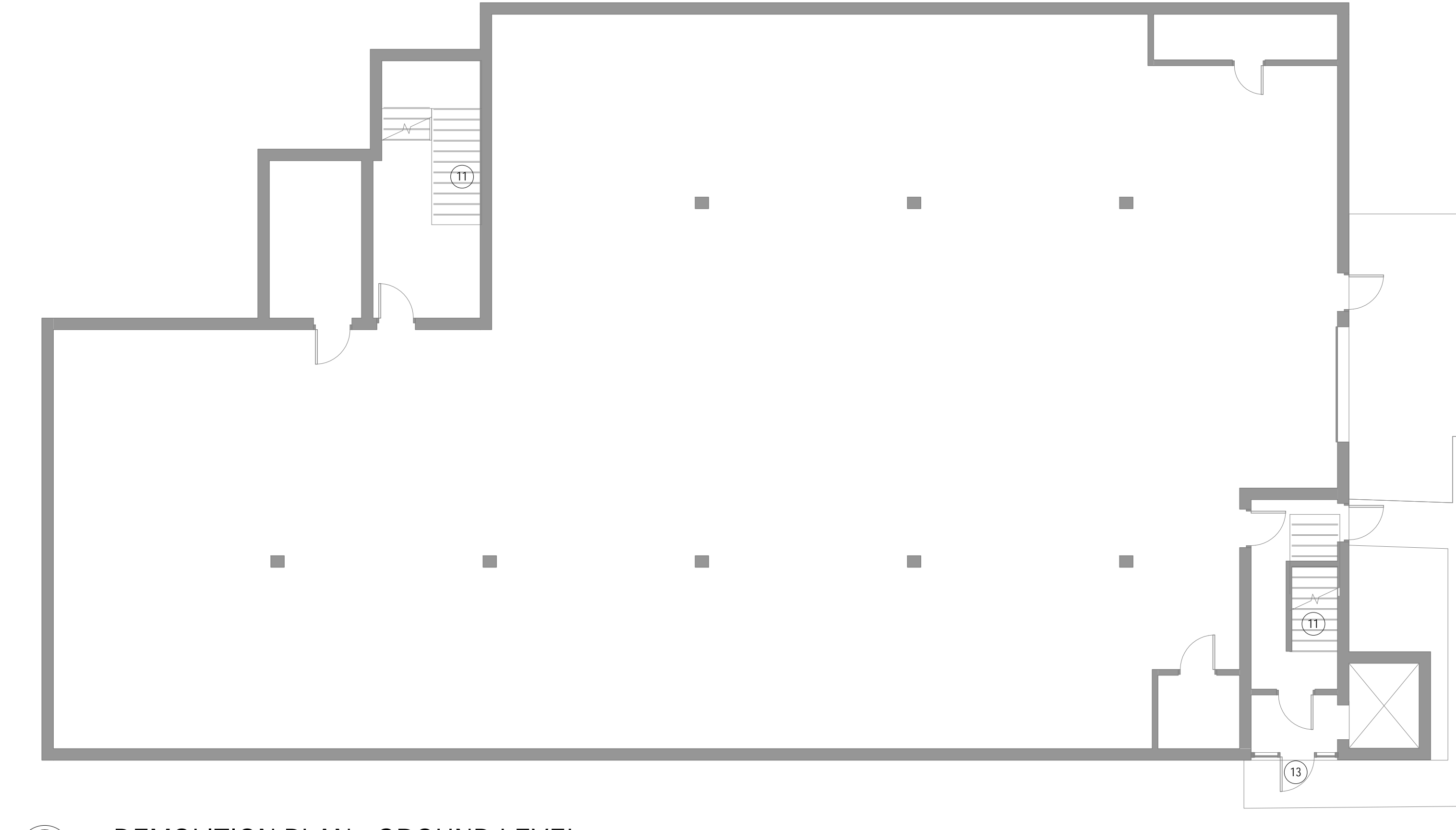
DEMOLITION PLAN LEGEND	
	EXISTING, TO BE REMOVED
	EXISTING CEILING TO REMAIN
	EXISTING, TO REMAIN



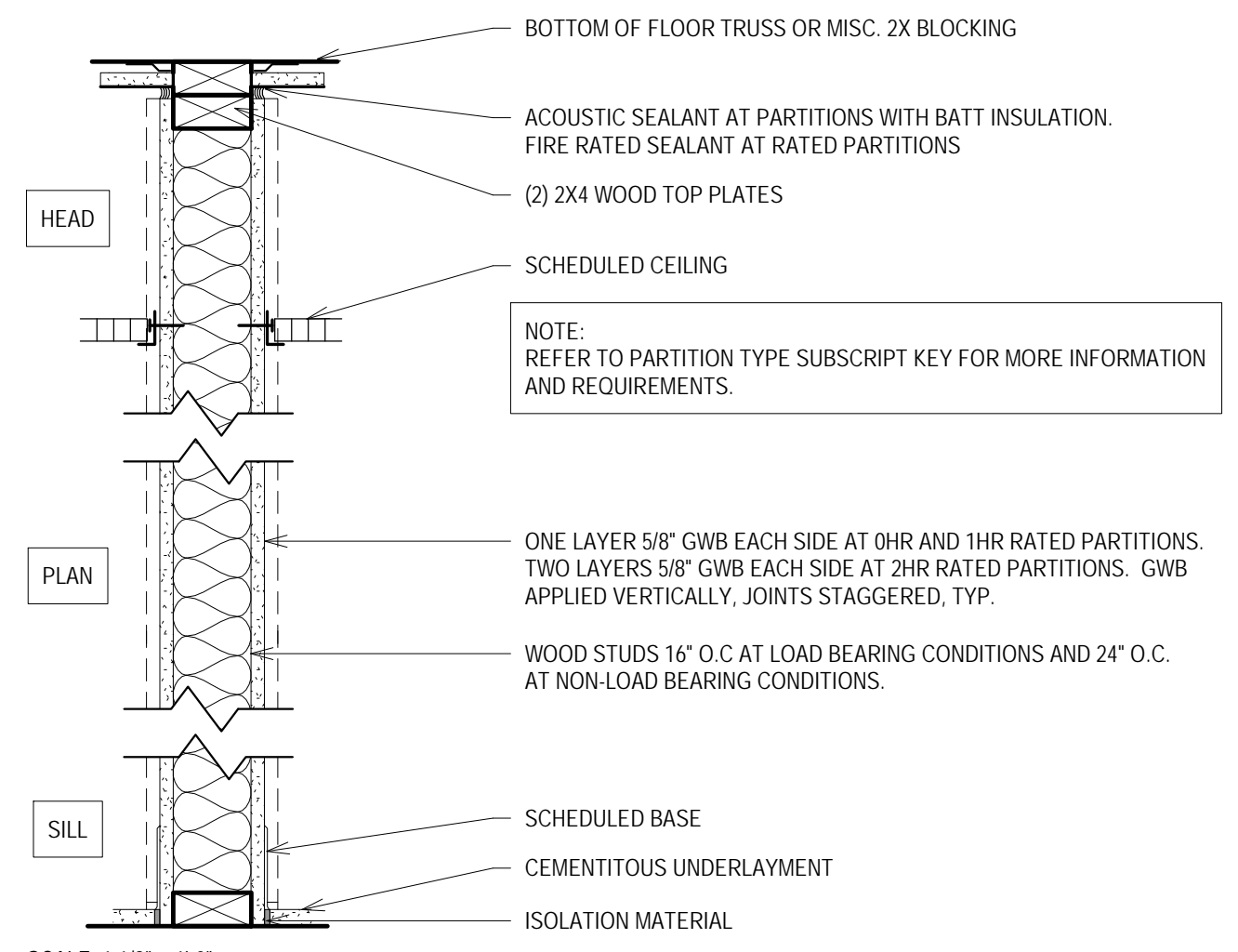
3 DEMOLITION PLAN - LEVEL 02
 Scale: 1/8" = 1'-0"



2 DEMOLITION PLAN - LEVEL 01
 Scale: 1/8" = 1'-0"



1 DEMOLITION PLAN - GROUND LEVEL
 Scale: 1/8" = 1'-0"



SCALE: 1/12" = 1'-0"

PARTITION TYPE	STUD WIDTH	PARTITION WIDTH	INSULATION	STC @ 0.1N		STC @ 2N		NOTES
				W	INS	W	INS	
W1	3 1/2"	4 3/4" / 6"	2 1/2"	45	NA	40	NA	AT STAIR WALLS INCLUDE METAL RESILIENT CHANNELS 24" O.C. ON UNIT SIDE
W2	5 1/2"	6 3/4" / 8"	3"	NA	NA	NA	55MIN	
W3	7 1/4"	8 1/2" / 9 3/4"	3"	NA	NA	NA	NA	

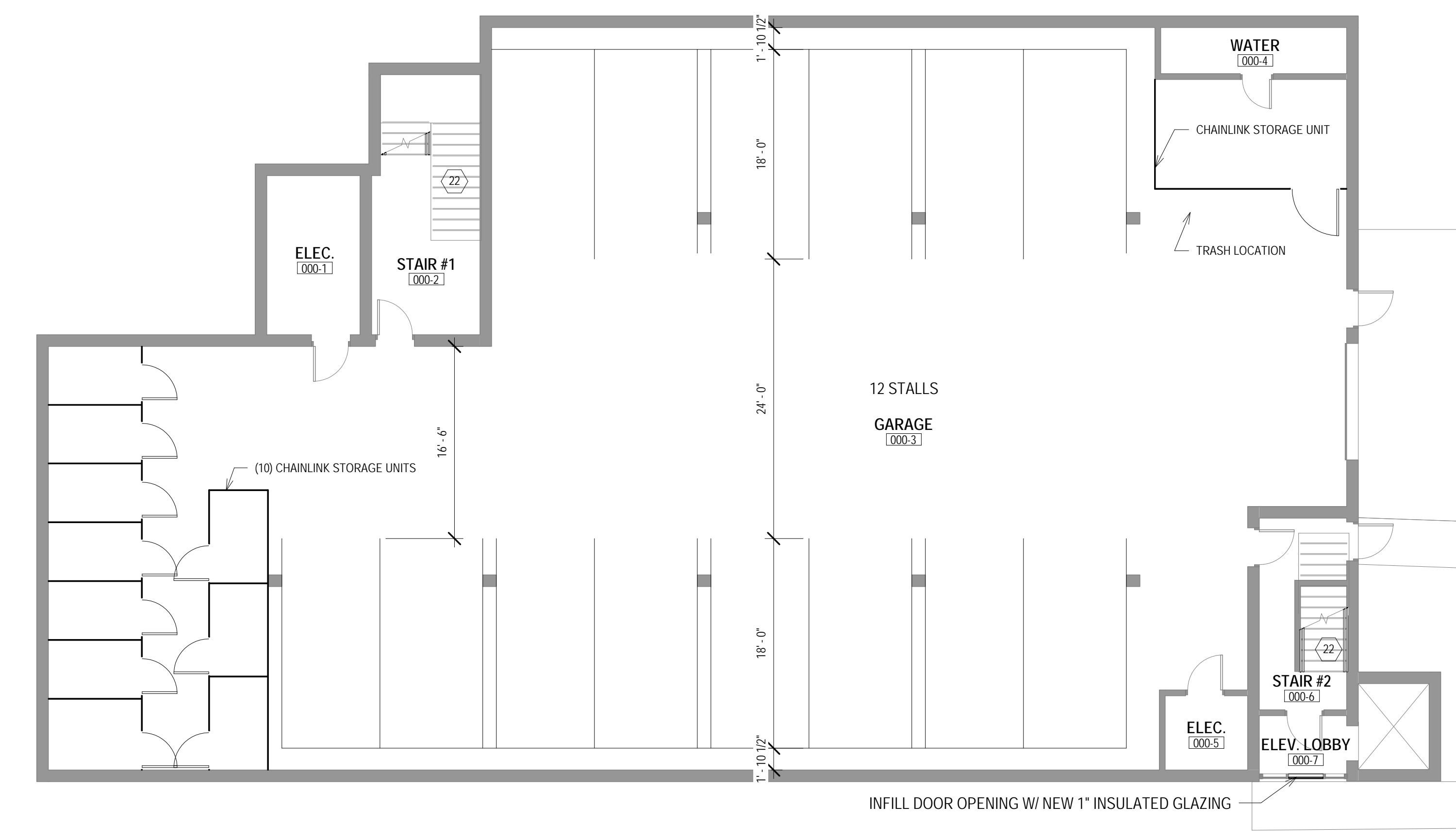
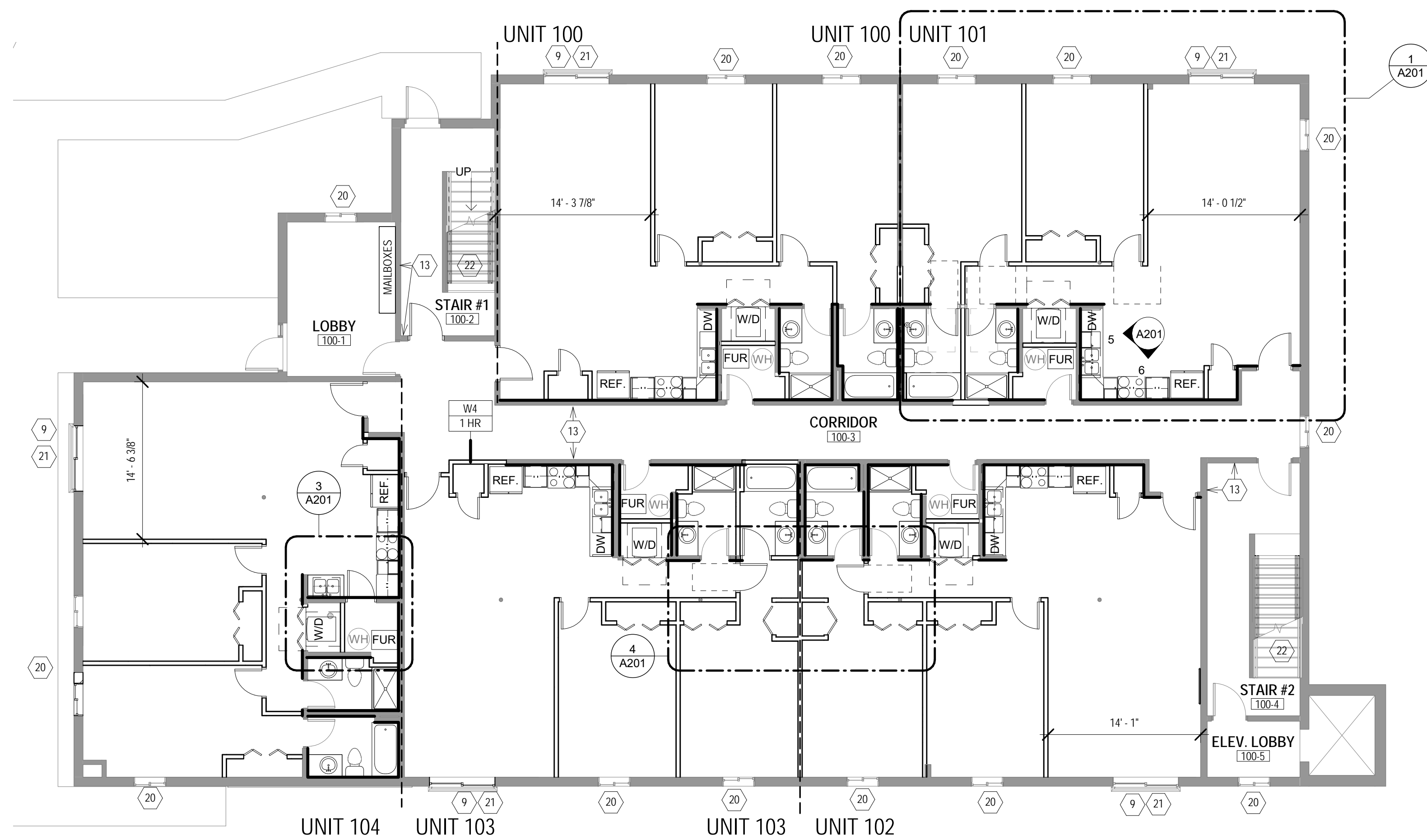
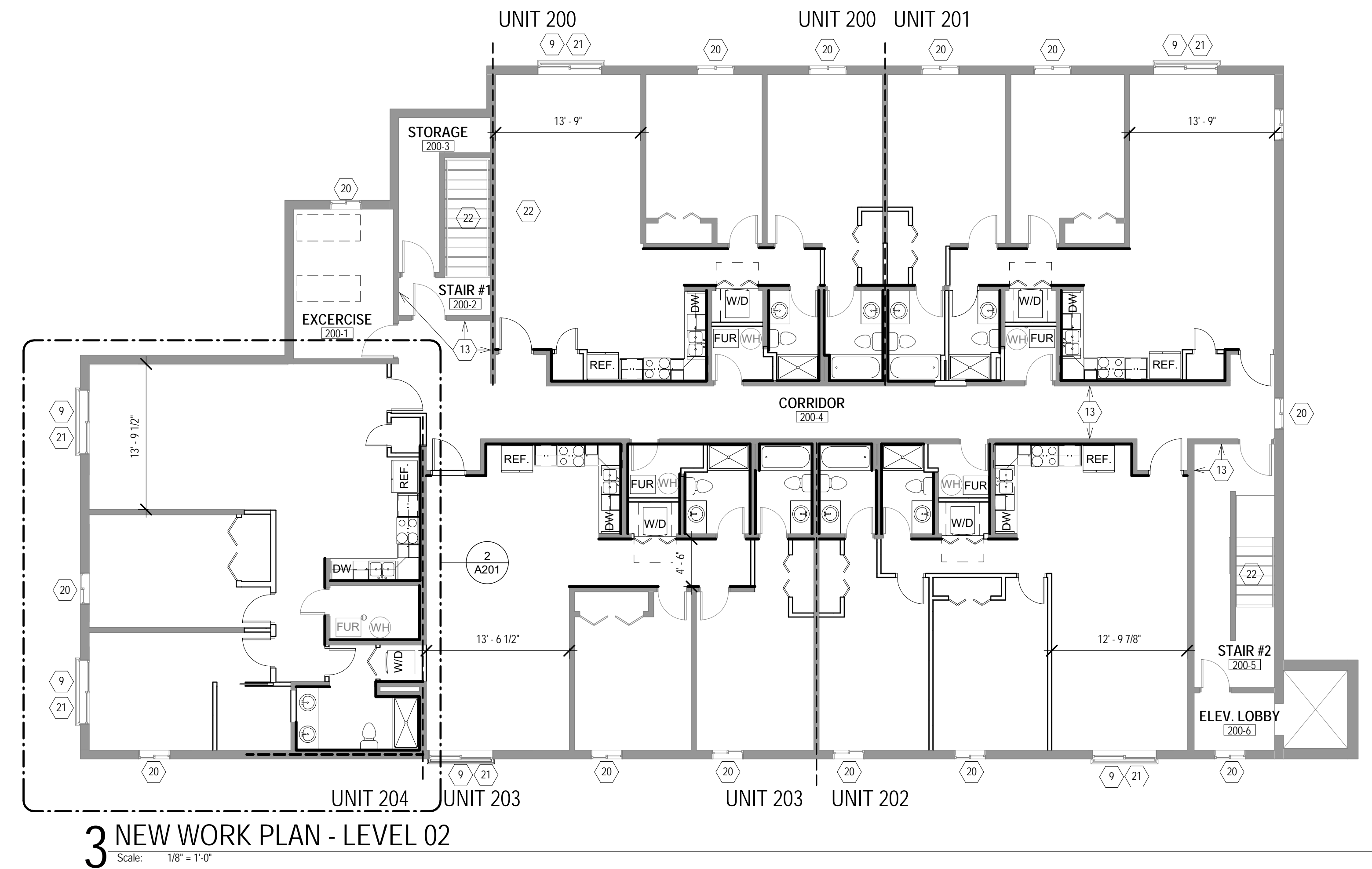
W WOOD STUD PARTITION FIRE RATING: 0, 1, 2 HR UL #U301, U305

ROOM FINISH SCHEDULE									
ROOM #	ROOM NAME	FLOOR	BASE	WALL				CEILING	NOTES
				NORTH	SOUTH	WEST	EAST		
000-1	ELEC	-	-	-	-	-	-	-	
000-2	STAIR #1	-	-	PT-1	PT-1	PT-1	PT-1	-	
000-3	GARAGE	-	-	-	-	-	-	-	
000-4	WATER	-	-	-	-	-	-	-	
000-5	ELEC	-	-	-	-	-	-	-	
000-6	STAIR #2	LVT-1	-	PT-1	PT-1	PT-1	PT-1	PT-2	
000-7	ELEV LOBBY	LVT-1	WVB-1	PT-1	PT-1	PT-1	PT-1	PT-2	
100-1	LOBBY	CT-1	CTB-1	PT-1	PT-1	PT-1	PT-1	PT-2	
100-2	STAIR #1	CPT-1	WVB-1	PT-1	PT-1	PT-1	PT-1	PT-2	
100-3	CORRIDOR	LVT-1	WVB-1	PT-1	PT-1	PT-1	PT-1	PT-2	
100-4	STAIR #2	CPT-1	WVB-1	PT-1	PT-1	PT-1	PT-1	PT-2	
100-5	ELEV LOBBY	LVT-1	WVB-1	PT-1	PT-1	PT-1	PT-1	PT-2	
200-1	EXERCISE	LVT-1	WVB-1	PT-1	PT-1	PT-1	PT-1	PT-2	
200-2	STAIR #1	CPT-1	WVB-1	PT-1	PT-1	PT-1	PT-1	PT-2	
200-3	STAIR #2	LVT-1	WVB-1	PT-1	PT-1	PT-1	PT-1	PT-2	
200-4	CORRIDOR	LVT-1	WVB-1	PT-1	PT-1	PT-1	PT-1	PT-2	
200-5	STAIR #2	CPT-1	WVB-1	PT-1	PT-1	PT-1	PT-1	PT-2	
200-6	ELEV LOBBY	LVT-1	WVB-1	PT-1	PT-1	PT-1	PT-1	PT-2	

ROOM FINISH SCHEDULE ABBREVIATIONS			
CONC	CONCRETE	SS	SOLID SURFACE
CPT	CARPET	STA	STAIN
CT	CERAMIC TILE	VB	VINYL BASE
CTB	CERAMIC TILE BASE	VCT	VINYL COMPOSITION TILE
EXTG	EXISTING	VP	VINYL PLANK
FL MAT	FLOOR MAT	WD	WOOD
GWB	GYPSTUM WALL BOARD	WT	WINDOW TREATMENT
PLAM	PLASTIC LAMINATE		
PT	PAIN		

FINISHES SCHEDULE					
MARK	MANUFACTURER	PRODUCT	STYLE	SIZE	COMMENTS
CPT-1					
CT-1					
CTB-1					
LVT-1					
PLAM-1					
PT-1					
PT-2					
SS-1					
WVB-1					

GENERAL FLOOR PLAN NOTES TO CONTRACTOR	
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3.	DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING CONSTRUCTION.
4.	FINISH FLOOR ELEVATIONS ARE TO THE TOP OF THE FINISHED FLOOR MATERIAL UNLESS OTHERWISE NOTED.
5.	CONTRACTORS SHALL JOINTLY PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACKING PLATES, WALL BLOCKING AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF CASEWORK, TOILET ACCESSORIES, PARTITIONS, MILLWORK, AND ALL WORK MOUNTED OR SUSPENDED BY ALL TRADES.
NEW WORK PLAN LEGEND	
	EXISTING, TO REMAIN
	MASONRY PARTITION, SEE PARTITION TYPES FOR DETAILS
	METAL STUD PARTITION, SEE PARTITION TYPES FOR DETAILS
	NEW GYP BD. ON FACE OF WALL INDICATED, EXISTING STUDS TO REMAIN
NEW WORK PLAN KEYNOTES	
SEE PROJECT GENERAL CONDITIONS, GENERAL INFORMATION ON SHEET A001 AND SELECTIVE DEMOLITION, CUTTING AND PATCHING SPECIFICATIONS THAT ARE USED IN ASSOCIATION WITH THESE NOTES.	
NEW WORK PLAN KEY NOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET.	
9	REPAINT EXISTING METAL RAILING
10	FIXTURES OF CI
11	ISLAND OF CI
12	APPLIANCES OF CI
13	EXISTING PARTY WALL IS ASSUMED TO HAVE 1 HOUR RATING. ALL PENETRATIONS TO MAINTAIN RATING.
20	NEW FIBERGLASS WINDOW, 48"X48" FLD VFY
21	NEW FIBERGLASS SLIDER DOOR, 72"X64" FLD VFY
22	EXISTING STAIR TO REMAIN, PROVIDE NEW FINISHES PER FINISH SCHEDULE



DAN BEYER ARCHITECTS
225 E. ST. PAUL AVE, STE 303
MILWAUKEE, WI, 53202
414-239-8267

CONSULTANTS:

NOT FOR CONSTRUCTION
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MORRIS STREET APARTMENTS
357 MORRIS STREET
PEWaukee, WISCONSIN
SHEET TITLE
NEW WORK PLANS - LEVELS GROUND, 01, 02

REVISIONS:	
1	10/2022 ADDENDUM 1
0	

SCALE	VARIES
PROJECT NUMBER	2008-005
SET TYPE	SITE PLAN APPROVAL
DATE ISSUED	10/19/2020
SHEET NUMBER	A200

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Oakley Exterior

AEW10506 12 in

JOB NAME:
TYPE:
NOTES:

SPI LIGHTING
PROJECT DETAILS

DESCRIPTION

This simple but elegant sconce can either be used as a decorative element or be painted to disappear in the space. The fixture is designed to fit any application where elegance is important. Choose from a palette of painted finishes.



FEATURES & BENEFITS

- Premium 95% reflective aluminum is utilized in the highly-efficient and effective reflector design
- External fasteners are not visible, providing a clean fixture design
- Handcrafted in USA

SPECIFICATIONS

- LIGHT SOURCE:** IP66 white LED light engine
- LUMEN MAINTENANCE:** L70 > 50,000 Hrs.
- CCT:** 3000K, 3500K, or 4000K
- DRIVER:** Integral Class II power supply standard
- DIMMING:** 0-10V controls standard on LED light engines
- CONSTRUCTION:** Formed metal construction provides durable protection for internal components and is recyclable
- FINISH:** Choose from more than 30 thermoset polyester powder coat paint colors, RAL®, Pantone®, or custom finishes available upon request.
- MOUNTING:** Mounts to standard 4" octagonal junction box
- MODIFICATIONS:** Consult factory for all modification requests
- APPROVALS:** ETL listed to UL standards (US and Canada) for use in wet locations

DIMENSIONS



CONFIGURATOR

To configure your spec sheet online, go to www.spilighting.com/AEW10506. Not all options are available in all configurations; consult factory for details.

Required Field *



A - LIGHT SOURCE *

To ensure color consistency, SPI uses precise bin selection and strict quality processes to maintain a 3-step (MacAdam) SDCM on all white LED lampings. Published LED luminaire wattages are calculated using a typical power supply efficiency of 88%; exact wattages may vary based on application.

- L14W | White 14W LED Light Engine | Delivered Lumens: 825
- L29W | White 29W LED Light Engine | Delivered Lumens: 1,649

See last page for finish options

B - VOLTAGE *

- 120-277V | Universal Voltage

C - LAMP OPTIONS *

Delivered lumens shown are at 4000K CCT; apply multiplier for delivered lumens at other CCT.

- 3000K ¹ | 8000K CCT
- 3500K ² | 3000K CCT
- 4000K | 4000K CCT

¹ Apply .95 multiplier for delivered lumens

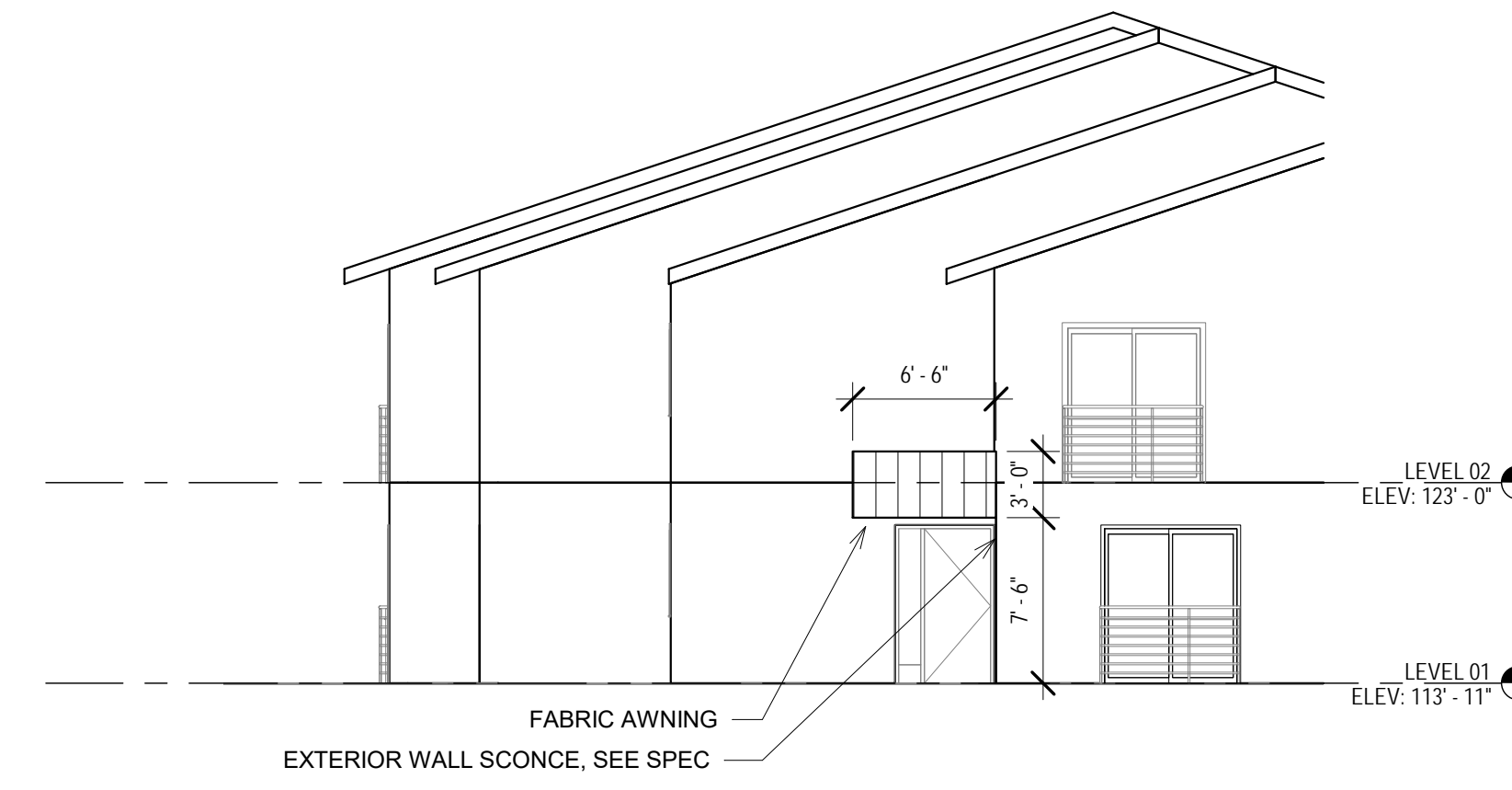
² Apply .97 multiplier for delivered lumens

SPI LIGHTING

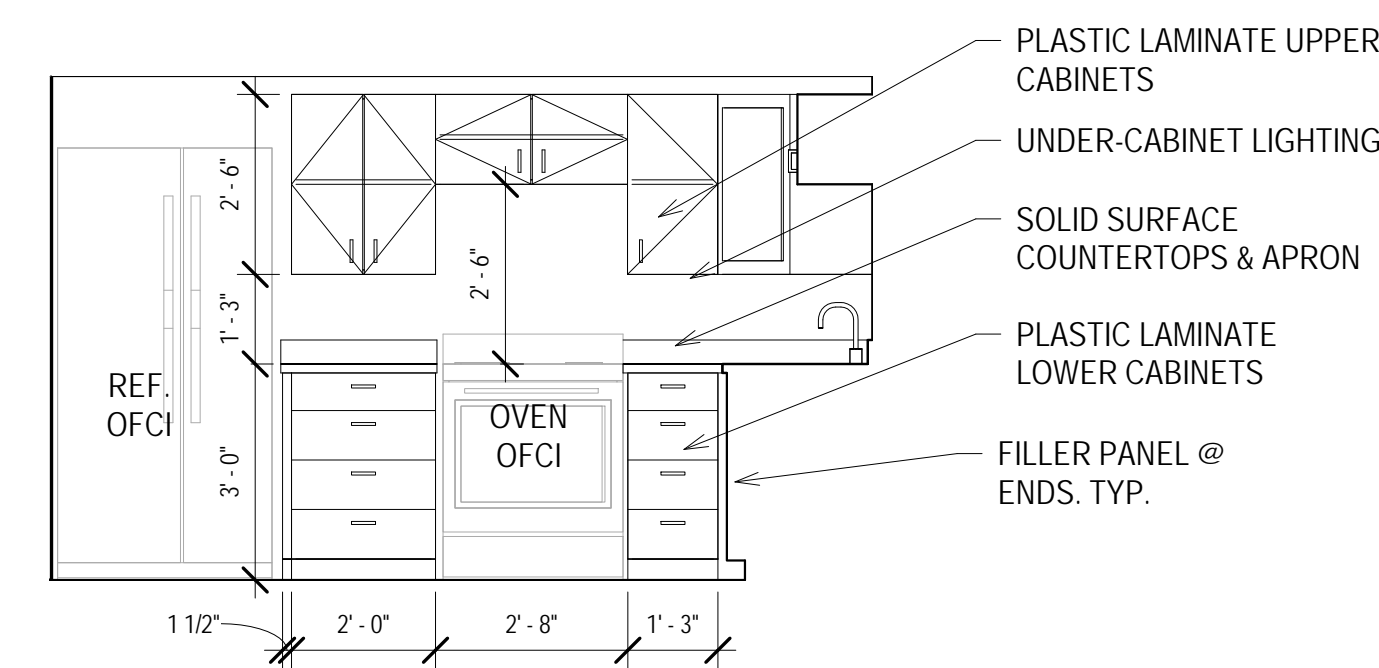
P:202.242.1420 | P:Phone@spilighting.com | Lead Revised: 1/18/2020 | Design Rights Reserved | AEW10506 | 3 of 4

SPI LIGHTING

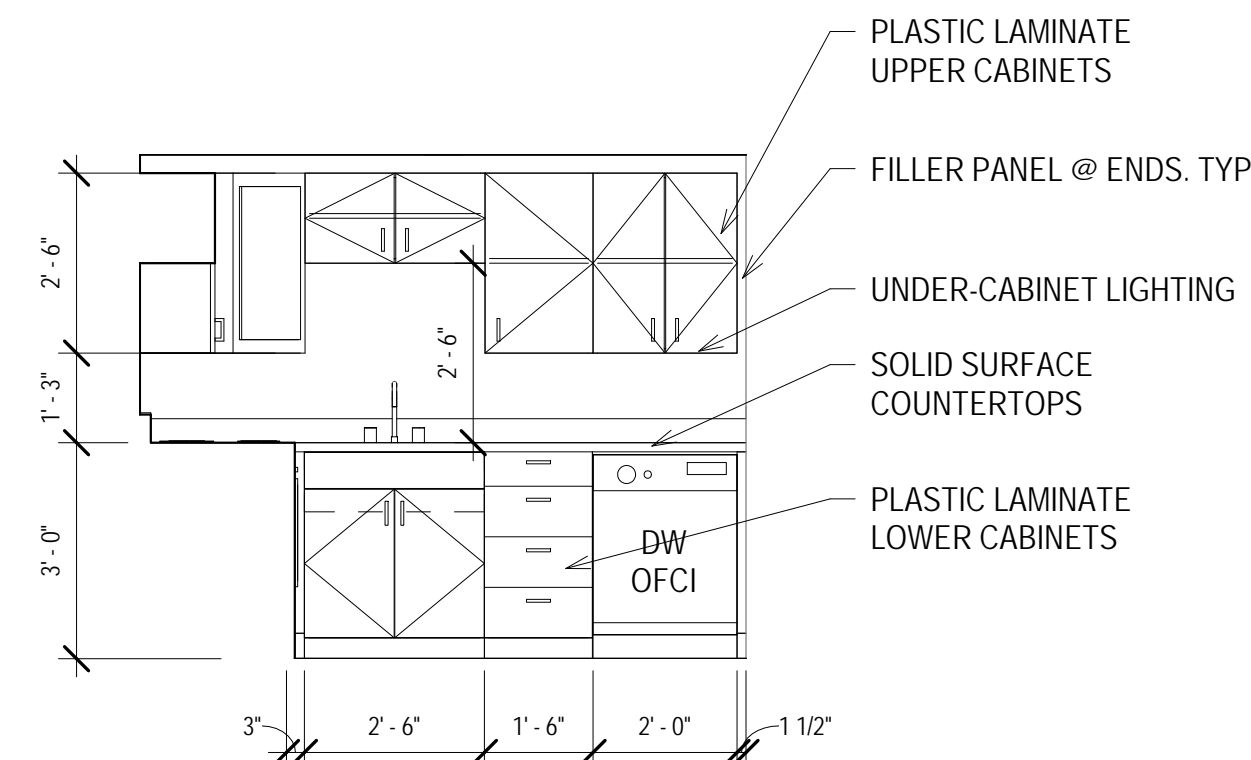
P:202.242.1420 | P:Phone@spilighting.com | Lead Revised: 1/18/2020 | Design Rights Reserved | AEW10506 | 1 of 4



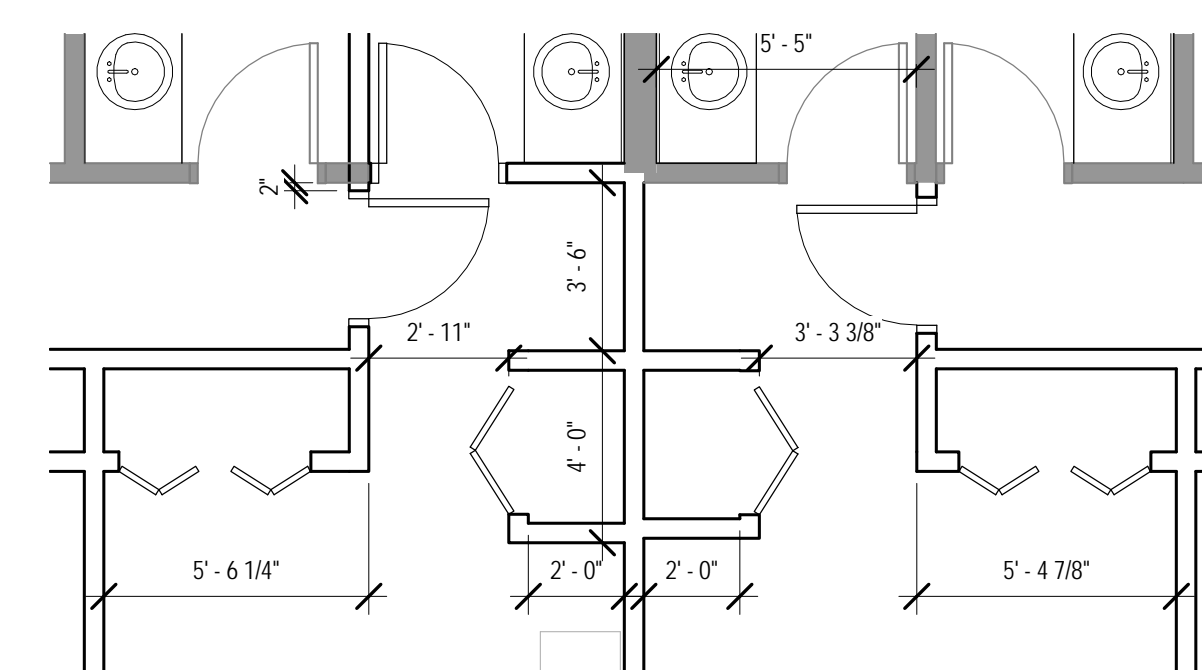
7 WEST EXTERIOR ELEVATION
Scale: 1/8" = 1'-0"



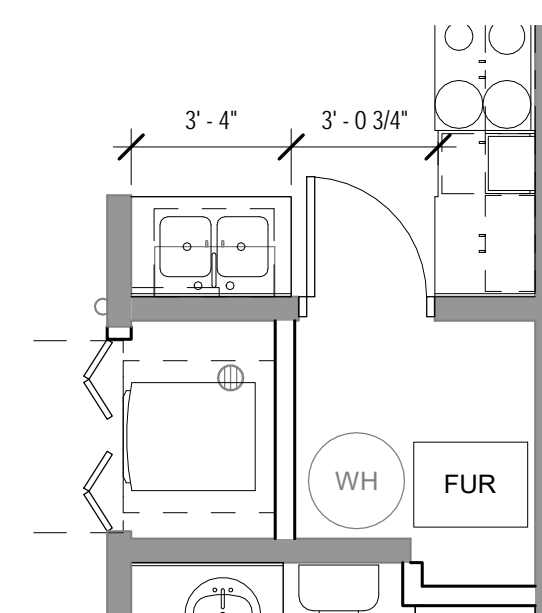
6 TYP KITCHEN ELEVATION 02
Scale: 3/8" = 1'-0"



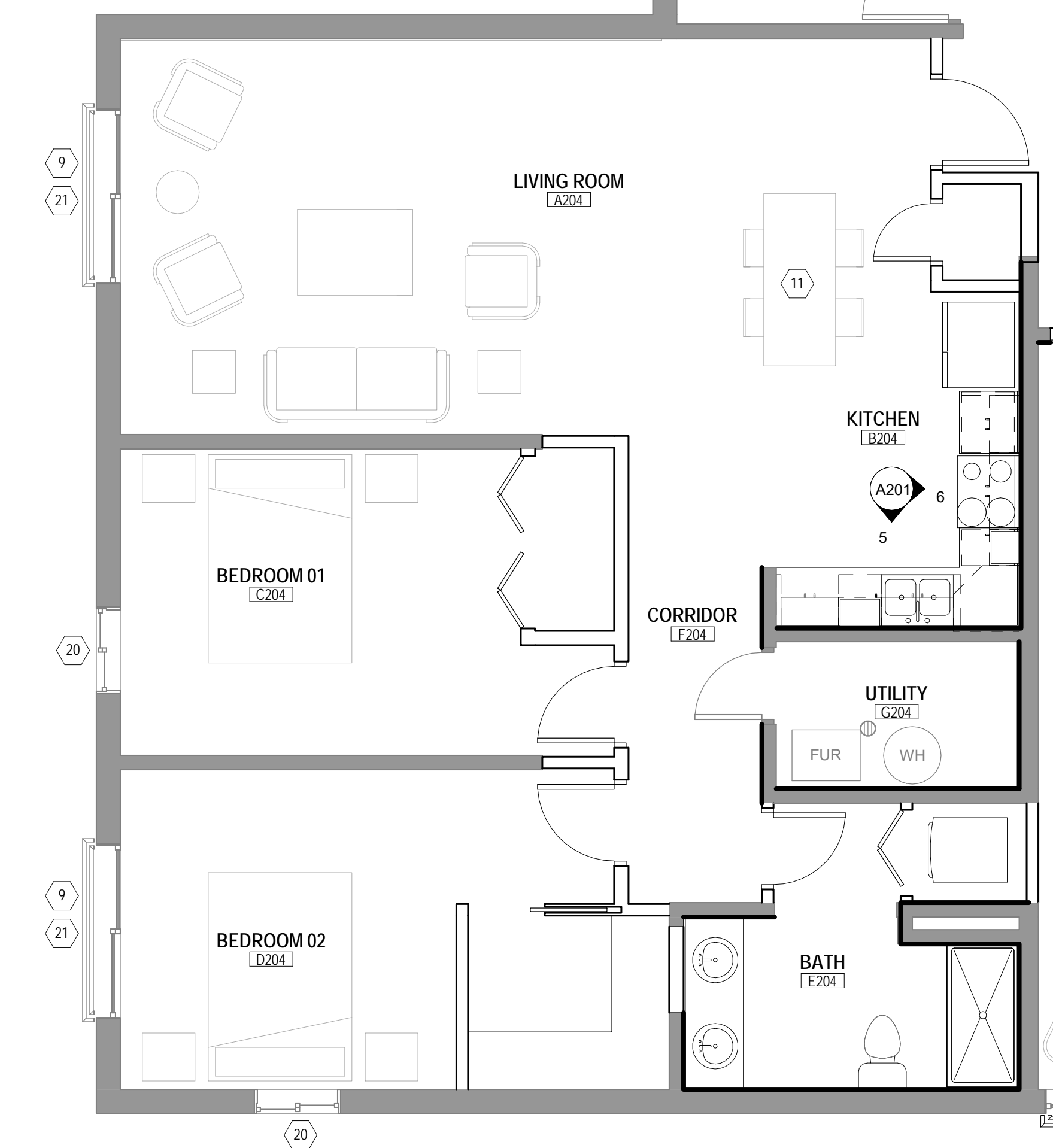
5 TYP KITCHEN ELEVATION 01
Scale: 3/8" = 1'-0"



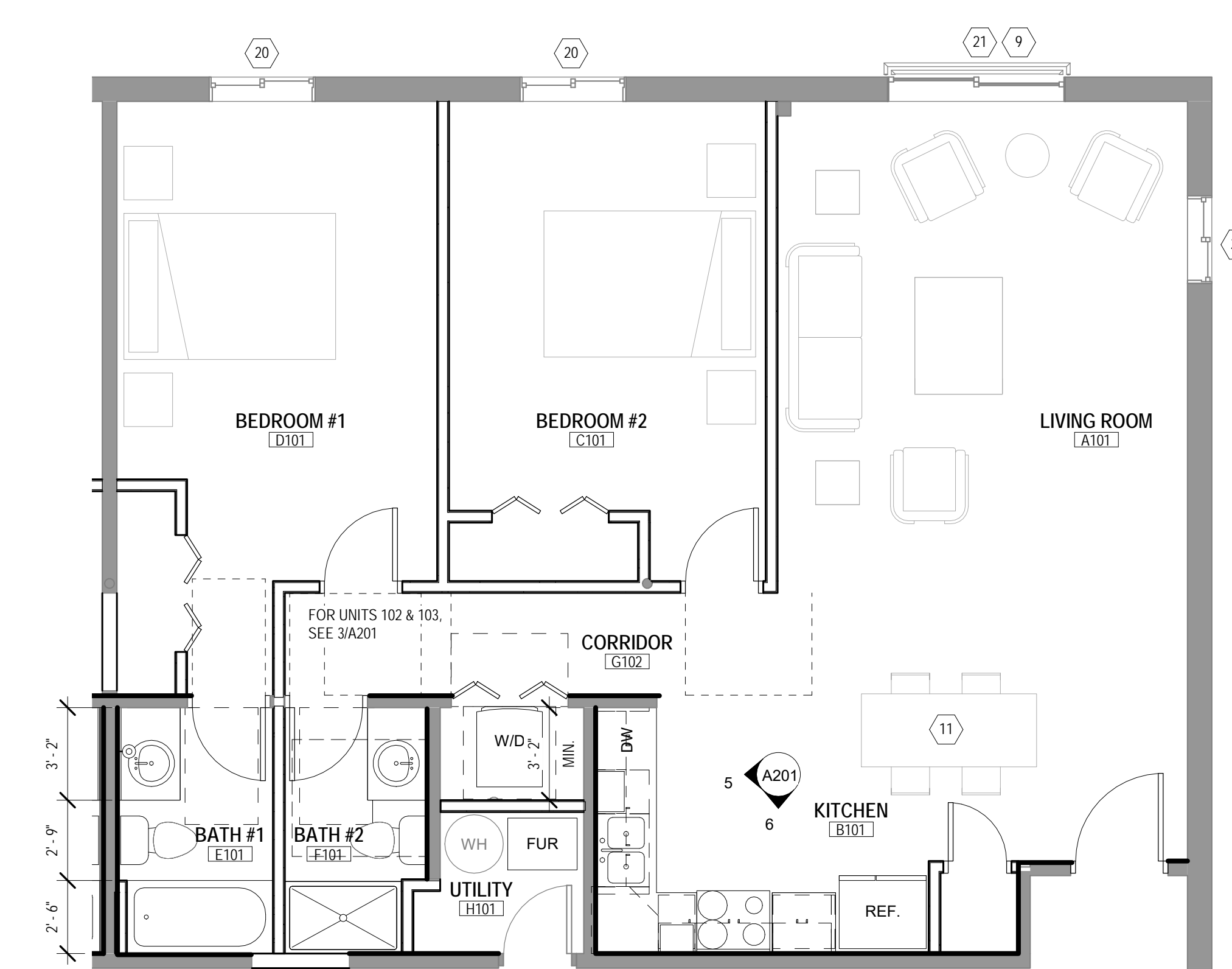
4 UNITS 102 & 103 BEDROOM D
Scale: 1/4" = 1'-0"



3 UNIT 104 KITCHEN
Scale: 1/4" = 1'-0"



2 NEW WORK PLAN - UNIT 204
Scale: 1/4" = 1'-0"



1 TYPICAL UNIT PLAN - 100, 102, 103, 104, 200, 201, 203
Scale: 1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES TO CONTRACTOR

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NEW WORK PLAN LEGEND

- EXISTING, TO REMAIN
- MASONRY PARTITION, SEE PARTITION TYPES FOR DETAILS
- METAL STUD PARTITION, SEE PARTITION TYPES FOR DETAILS
- NEW GYP BD. ON FACE OF WALL INDICATED, EXISTING STUDS TO REMAIN.

NEW WORK PLAN KEYNOTES

SEE PROJECT GENERAL CONDITIONS, GENERAL INFORMATION ON SHEET A201 AND SELECTIVE DEMOLITION, CUTTING AND PATCHING SPECIFICATIONS THAT ARE USED IN ASSOCIATION WITH THESE NOTES.

NEW WORK PLAN KEY NOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET.

- 0 REPAINT EXISTING METAL RAILING
- 10 FIXTURES OFCI
- 11 ISLAND OFCI
- 12 APPLIANCES OFCI
- 13 EXISTING PARTY WALL IS ASSUMED TO HAVE 1 HOUR RATING. ALL PENETRATIONS TO MAINTAIN RATING.
- 20 NEW FIBERGLASS WINDOW, 48" X 68" FLD VFY
- 21 NEW FIBERGLASS SLIDER DOOR, 72" X 68" FLD VFY
- 22 EXISTING STAIR TO REMAIN. PROVIDE NEW FINISHES PER FINISH SCHEDULE

DAN BEYER ARCHITECTS
225 E. ST. PAUL AVE., STE. 303
MILWAUKEE, WI, 53202
414-239-8267

CONSULTANTS:

NOT FOR CONSTRUCTION
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MORRIS STREET APARTMENTS

357 MORRIS STREET
PEWaukee, WISCONSIN

SHEET TITLE
NEW WORK PLAN - UNIT PLANS

REVISIONS:

1 10/20/21 ADDENDUM 1

0

SCALE VARIES

PROJECT NUMBER 2008-005

SET TYPE SITE PLAN APPROVAL

DATE ISSUED 10/19/2020

SHEET NUMBER **A201**

REFLECTED CEILING PLAN KEYNOTES

SEE PROJECT GENERAL CONDITIONS, GENERAL INFORMATION ON SHEET A001 AND SELECTIVE DEMOLITION, CUTTING AND PATCHING SPECIFICATIONS THAT ARE USED IN ASSOCIATION WITH THESE NOTES.

REFLECTED CEILING PLAN KEY NOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET.

1	NEW GYP. BD. CEILING TO MATCH EXISTING
2	NEW SOFFIT TO MATCH EXISTING HEIGHTS. COORDINATE WITH HVAC CONTRACTOR.

- GENERAL REFLECTED CEILING PLAN NOTES TO CONTRACTOR**
- THIS PLAN SHALL BE USED TO ESTABLISH THE LOCATIONS OF THE MAJOR CEILING PENETRATIONS INCLUDING: LIGHTING, HVAC, ACCESS PANEL, SPRINKLERS, SPEAKERS, ETC. SEE M.E.P. DRAWINGS FOR MORE SPECIFIC INFORMATION REGARDING EACH DISCIPLINE. IF CONFLICTS ARE DISCOVERED REGARDING LOCATION OF CEILING PENETRATIONS, CONTACT ARCHITECT FOR FURTHER INFORMATION.
 - ALL DEVICES SHOWN IN CEILING TILE SHALL BE LOCATED IN THE CENTER OF THAT TILE UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS TO CEILING FIXTURES ARE TO CENTER OF FIXTURE.
 - ALL EXISTING CEILINGS TO REMAIN IN PLACE. PATCH AS NOTED.
 - SPRINKLER HEADS ARE SHOWN FOR DESIGN CONCEPT ONLY. DESIGN BUILD FIRE PROTECTION CONTRACTOR IS RESPONSIBLE FOR INSTALLING A SYSTEM THAT MEETS ALL NFPA 13R REQUIREMENTS.
 - PATCH CEILING AS NEEDED FROM DEMOLITION OF EXISTING WALLS & DEMOLITION OF CEILING NEEDED FOR INSTALLATION OF MEP & FP. DRAWINGS DO NOT SHOW ALL AREAS THAT WILL NEED NEW CEILINGS.
 - PROVIDE NEW TEXTURED FINISH TO ALL GYP BD CEILINGS.

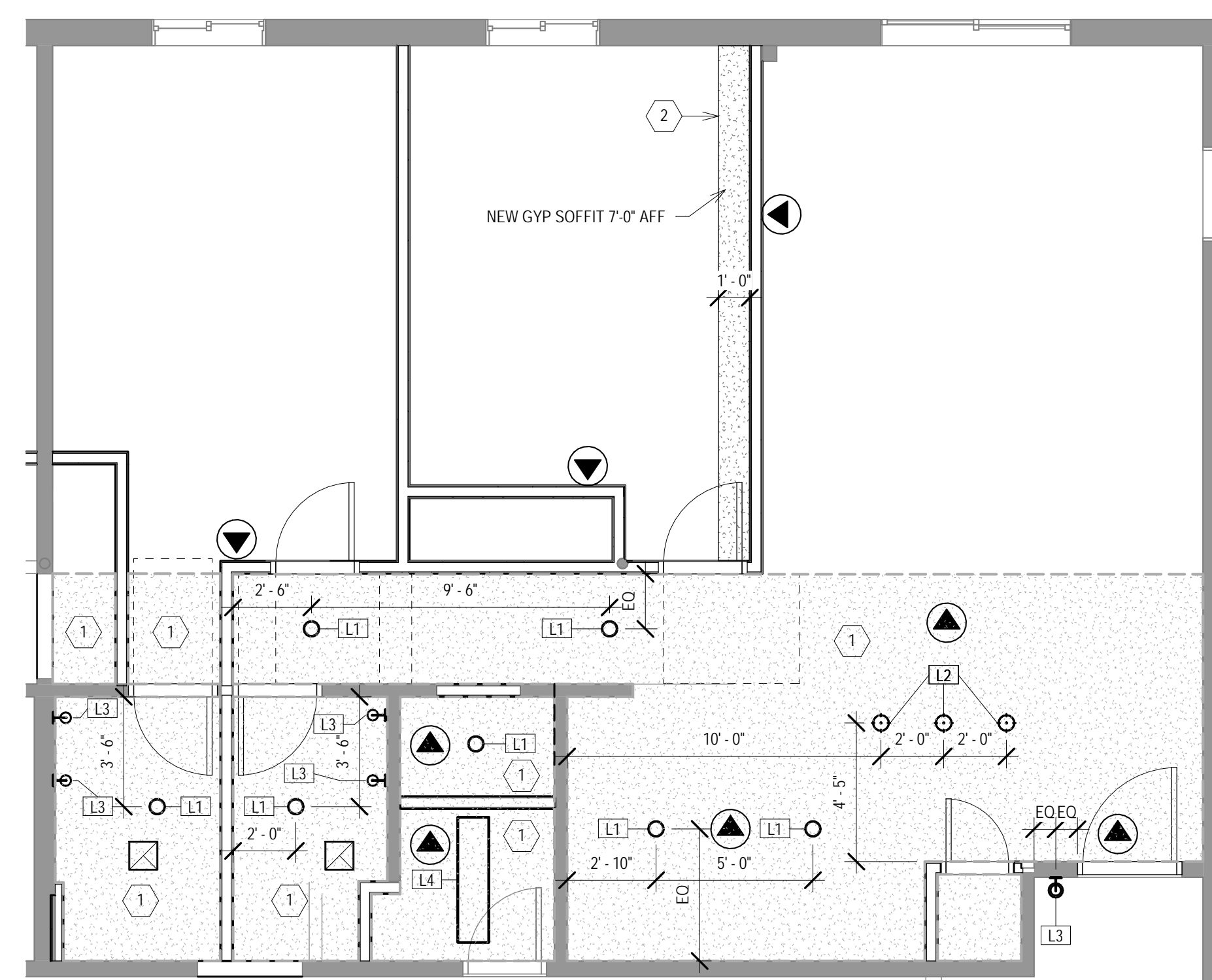
REFLECTED CEILING PLAN KEY

	NEW GYPSUM WALL BOARD CEILING SEE ROOM FINISH SCHEDULE AND SPECIFICATIONS FOR MORE INFORMATION		EXIT SIGN
	2X2 ACOUSTICAL CEILING TILE SEE ROOM FINISH SCHEDULE AND SPECIFICATIONS FOR MORE INFORMATION		SUPPLY MECH DIFFUSER SEE MECHANICAL DRAWINGS
	EXPOSED CEILING SEE ROOM FINISH SCHEDULE		MECH. RETURN DIFFUSER SEE MECHANICAL DRAWINGS
			MECH. EXHAUST SEE MECHANICAL DRAWINGS
			SPRINKLER HEAD

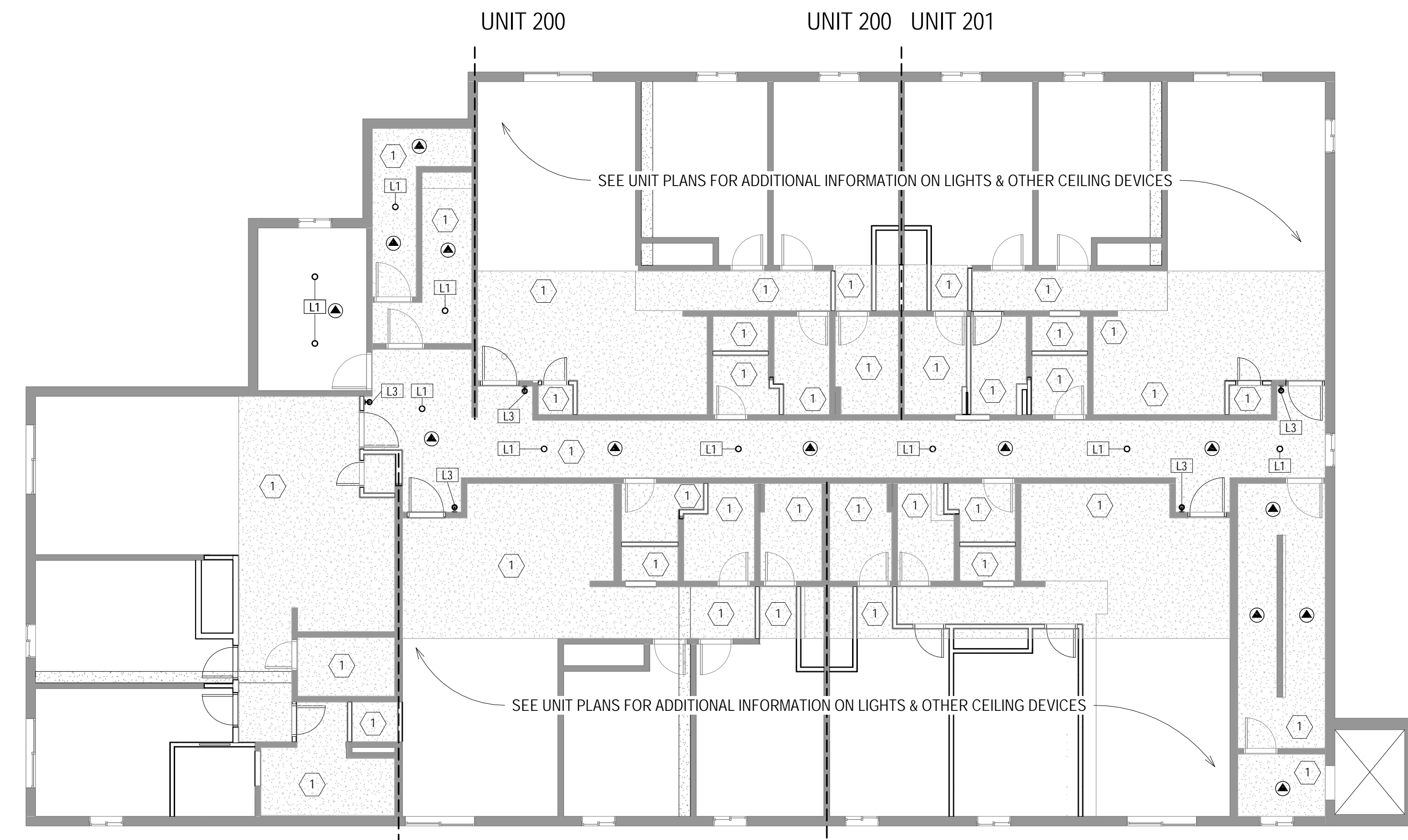
LIGHT FIXTURE SCHEDULE

SCHEDULE IS GENERIC LIGHTING LAYOUT TO BE USED FOR DESIGN INTENT ONLY. ELECTRIC DESIGN BUILD CONTRACTOR IS RESPONSIBLE FOR DESIGNING THE LIGHTING WITH ADEQUATE LIGHT LEVELS, AND FIXTURES THAT ARE APPROVED BY OWNER.

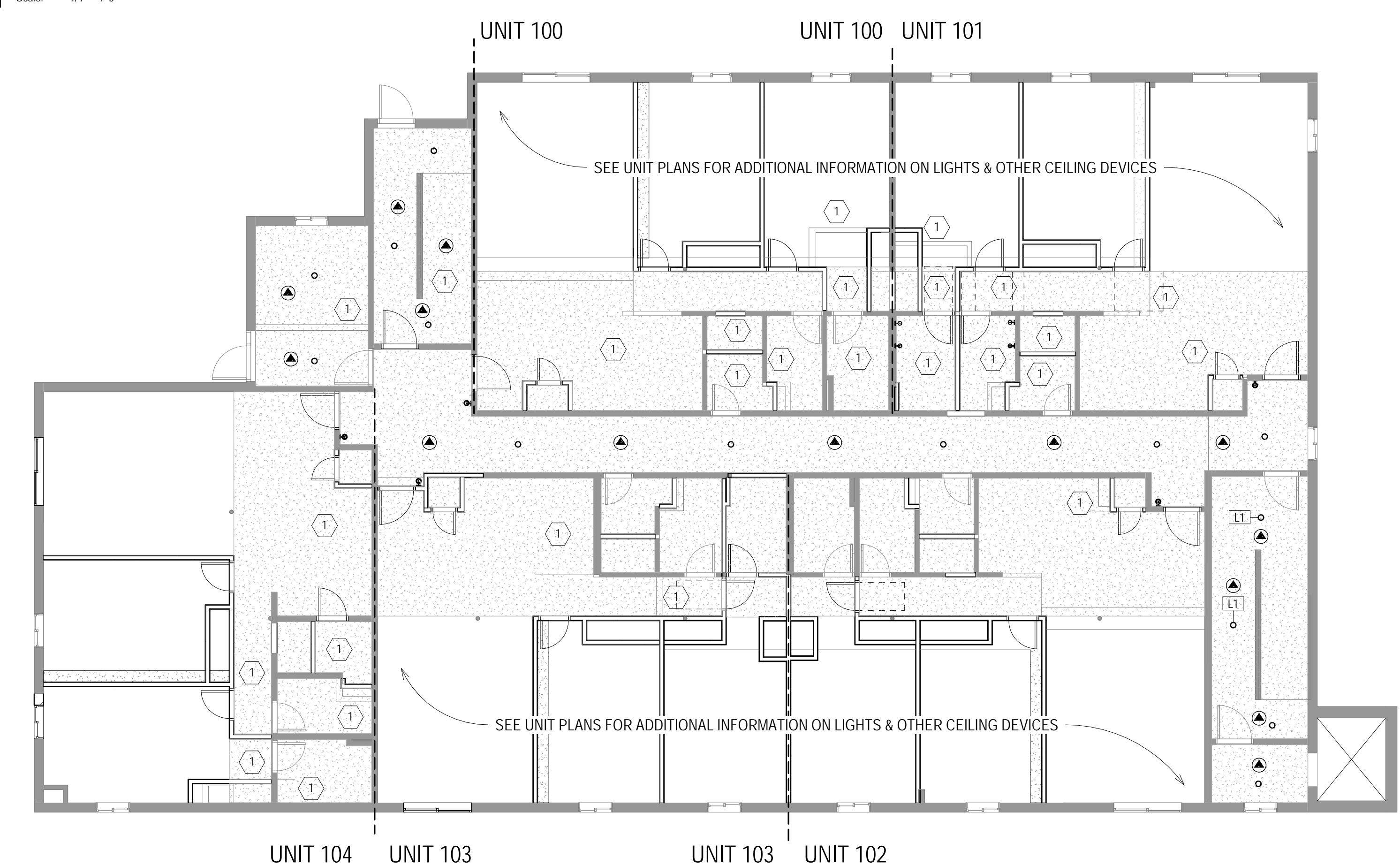
L1	FLUSH MOUNTED 6" CAN LIGHT
L2	PENDANT LIGHT
L3	WALL MOUNTED SCOSCE
L4	FLUSH MOUNTED UTILITY FLORESCENT LIGHT



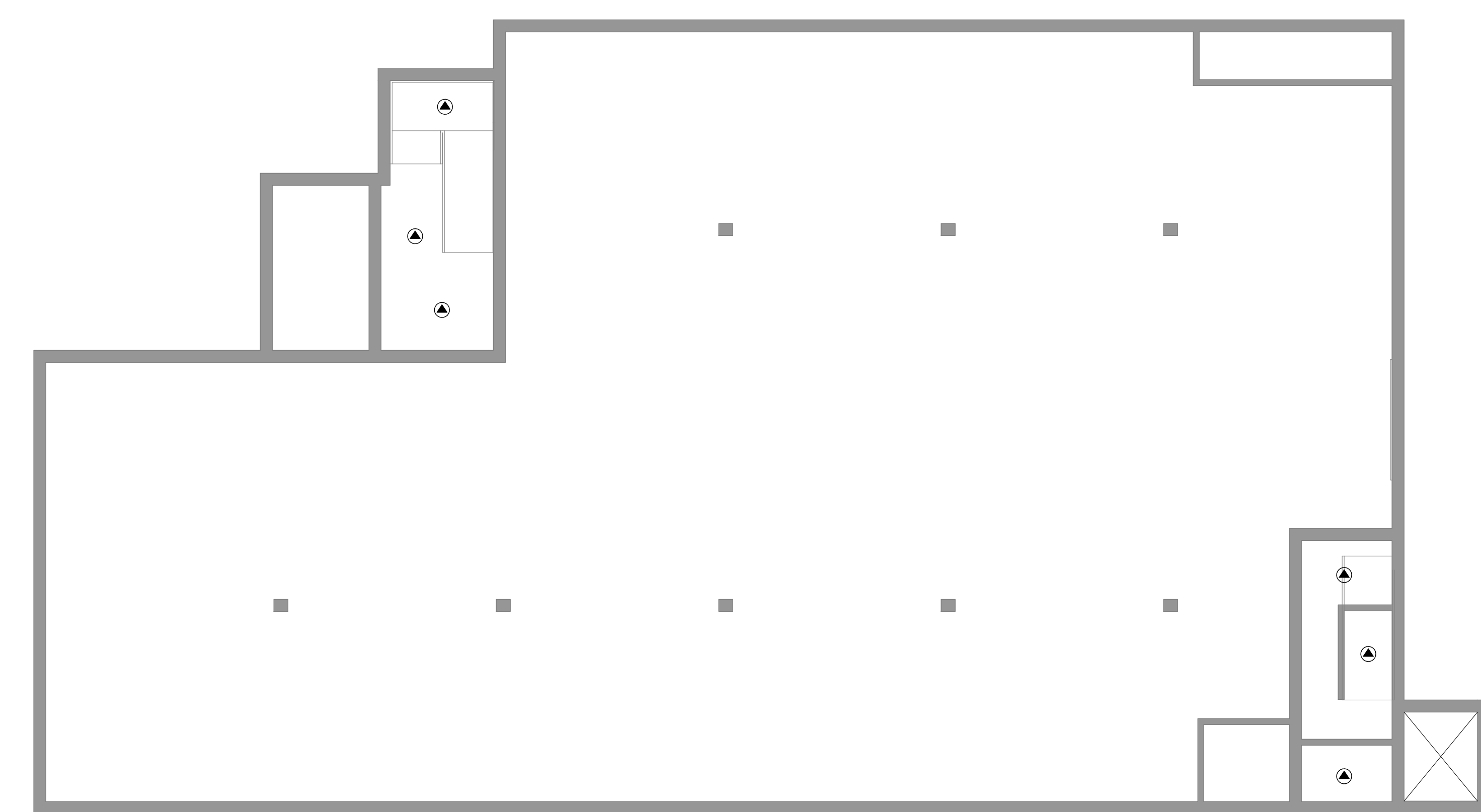
4 REFLECTED CEILING PLAN - TYPICAL UNIT
Scale: 1/4" = 1'-0"



3 REFLECTED CEILING PLAN - LEVEL 02
Scale: 1/8" = 1'-0"



2 REFLECTED CEILING PLAN - LEVEL 01
Scale: 1/8" = 1'-0"



1 REFLECTED CEILING PLAN - LEVEL 00
Scale: 1/8" = 1'-0"

DAN BEYER ARCHITECTS
225 E. ST. PAUL AVE., STE 303
MILWAUKEE WI, 53202
414-239-8267

CONSULTANTS:

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MORRIS STREET APARTMENTS
357 MORRIS STREET
PEWaukee, WISCONSIN
SHEET TITLE
REFLECTED CEILING PLANS - LEVELS GROUND, 1 & 2

REVISIONS:

1	10/20/20	ADDENDUM 1
0		

SCALE	VARIES
PROJECT NUMBER	2008-005
SET TYPE	SITE PLAN APPROVAL
DATE ISSUED	10/19/2020
SHEET NUMBER	A300

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Village of Pewaukee Plan Commission
Engineer's Report for December 10, 2020

Morris Street Apartments
357 Morris Street

Report

Access

No change to the access point/driveway.

Sanitary Sewer and Water

Sewer and water are available to the site. Architect will have to determine if existing sanitary sewer and water lateral are adequate for the demand. Since this building was previously an apartment building, I am assuming that no changes are needed.

Site Grading

No grading plan was provided and it appears that there will be no site grading. The only site work will be removal of some asphalt which will be turned into planting areas/green space.

Stormwater Management

Not required since the site is not changing.

Recommendation

I have no engineering related issues with what is being proposed and recommend approval as presented.

Tim Barbeau, Village Consulting Engineer
December 2, 2020

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: December 10, 2020

General Information:

Agenda Item: **6.b.**

Applicant:

Beachside Boat & Bait (Beachside Marine)

Status of Applicant:

Applicant w/ written consent of property owner MAM Properties LLC

Requested Action:

Consultative review, discussion and feedback to the Village staff and applicant on concept plans to refurbish the existing building and modify the existing site conditions.

Existing Zoning:

B-5 Light Industrial District

Surrounding Zoning/Land Use:

North: B-5 Light Industrial District
South: B-5 Light Industrial District
East: B-5 Light Industrial District
West: B-5 Light Industrial District

Existing Master Plan Classification:

Industrial-Business Park

Lot Size:

2 acres

Location:

1151 Hickory St.

Discussion:

The applicant request consultation and feedback generally as to his concept plans to refurbish the existing building and modify the existing site conditions.

The site plan is offered as a general guide, lacking certain specific details such as building/parking setbacks and offsets,... What appears clear though is that the greenspace ratio on this lot would be substantially improved and the entry/drive area that's now spread across the entire lot frontage at Hickory Street will be reduced and organized.

The building plan calls for the existing structure to be retained. The existing block portion of the building would be repainted and enhanced with architectural treatments such as storefront windows,... The existing metal portion of the building would be re-skinned in new metal, the existing, front facing overhead door removed and architectural treatments added such as new customer entry with canopy overhang, storefront windows,...

No outdoor storage area is shown on the plan at this time. No end use/user is proposed at this time.

Recommendation:

As this is a consultation, no recommendation is provided at this time.

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: December 10, 2020

General Information:

Agenda Item: **6.C.**

Applicant:

Beachside Boat & Bait (Beachside Marine)

Status of Applicant:

Applicant w/ written consent of property owner MAM Properties LLC

Requested Action:

Consultative review, discussion and feedback to the Village staff and applicant on concept plans to connect this lot to the property to the west (the Eaton site) and use it for screened outdoor storage of boats, RV's and related accessories such as docks, lifts, and similar.

Existing Zoning:

B-5 Light Industrial District

Surrounding Zoning/Land Use:

North: Railroad tracks

South: B-5 Light Industrial District

East: B-5 Light Industrial District

West: B-5 Light Industrial District

Existing Master Plan Classification:

Industrial-Business Park

Lot Size:

2.86 acres

Location:

Vacant lot immediately north of/adjacent to 1151 Hickory St.

Discussion:

The applicant requests consultation and feedback generally as to his concept plans – see “Requested Action” above.

The specific points of interest from the applicant are whether the Commission might be willing to use it's authority under conditional use to modify the required setback for the proposed fence (i.e. from 50' required along Forest Grove Dr. to 20' proposed). In support of this, the applicant proposes to put trees along the south, east and north legs of the fencing. The proposed fence location appears to cross-through and include a utilities and railroad siding easement/reservation area.

Specific details about the fence as to height, materials,... are not provided at this time. Specific details as to the type, size,... of proposed plantings are not provided at this time.

Recommendation:

As this is a consultation, no recommendation is provided at this time.

Application is due three weeks prior to meeting date.



**Planning Commission Consultation
Application Form**

Address/Parcel No. of Property Involved: 1151 Hickory Street

Zoning of Property: B-5

Current Owner of Property: MAM Properties, LLC

Applicant - Name: Beachside Boat + Boat / Beachside Marine

Address: 129 Park Avenue, Pewaukee, WI 53172

Phone: 262-645-2628 / 262-424-8601

Fax: _____

Email: beachside.wi@gmail.com

Name of Business that Consultation is for: Beachside Marine

Describe Nature of Business (Restaurant, Retail, Office, etc.):

Boat Marine storage sales and service

Signature of Property Owner as listed on this Application:

Dr. Anil Daniparthi 11/18/2020 02:03 PM CMT

Application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Consultation Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

Signature of Applicant (if different than Owner):

Manisha Herderman

*** For Consultation Purposes, an Engineering Review will not take place. Engineering Reviews will begin if and when an Application for Final Approval is processed.**

***Please submit eleven sets of any applicable attachments as well as a digital copy of any attachments submitted.**



November 19, 2020

POTENTIAL USE FOR THE PROPERTY AT 1151 HICKORY STREET

As stated in the last planning commission meeting November 12, 2020, we are in negotiations with Eaton, which is at 1045 Hickory Street, to purchase the property. At that meeting we expressed the need for outside storage and discussed utilizing the existing front parking lot. Upon further site visits and locating the road right away we feel there may not be enough area available to expand.

The property located east of Eaton, 1151 Hickory Street, that we currently occupy we are also under contract to purchase, as that was our first development choice before Eaton became available. That property is divided into two parcels. The front is 2.02 acres that is fully developed with an existing 10,000 square ft. building. The rear lot is vacant land (landfill) which is 2.88 acres. Right now we would have an opportunity to divide that property combining the rear lot onto the Eaton property. We have provided the land survey for 1151 Hickory Street, which outlines what our outdoor storage lot could be. The only main issues would be the 50 ft. set back along the east property line along Forest Grove Drive.

We would be asking for a 20 ft. set back off the east property line for the fence, which there would also be a 20 ft. set back along the south property line with 20 ft. of green space and landscape (trees for screening in front of the fence). We will do all storm water management and landscaping required. The only way we could make this proposed land development part of the Eaton property, would be for us to sell off the front lot with the existing building which is 2.02 acres. At this time we do not want to put it on the real estate market, and take the chance of tying up our working capital. We would like to get the planning commissions input on a possible tenant/buyer. That would greatly improve the corner lot with renovating the current building and the lot. This would be a win/win for us and the village giving us our outdoor storage area and a quick sale of the corner lot.

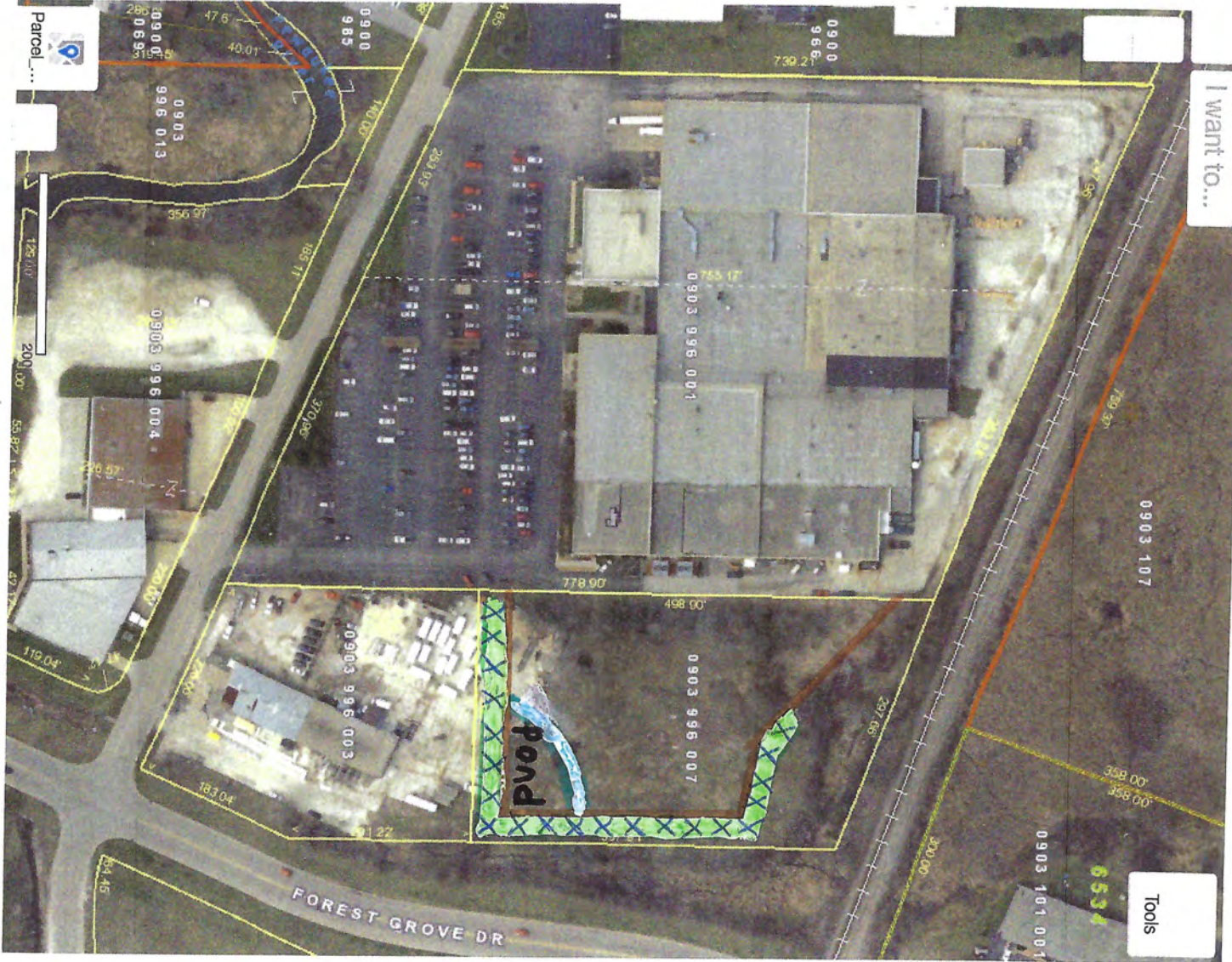
The village would not have an old run down building sitting vacant on the corner. The building would be renovated and the curb appeal would be greatly improved, and employment would be created.

We look forward to the planning commissions consideration and input.

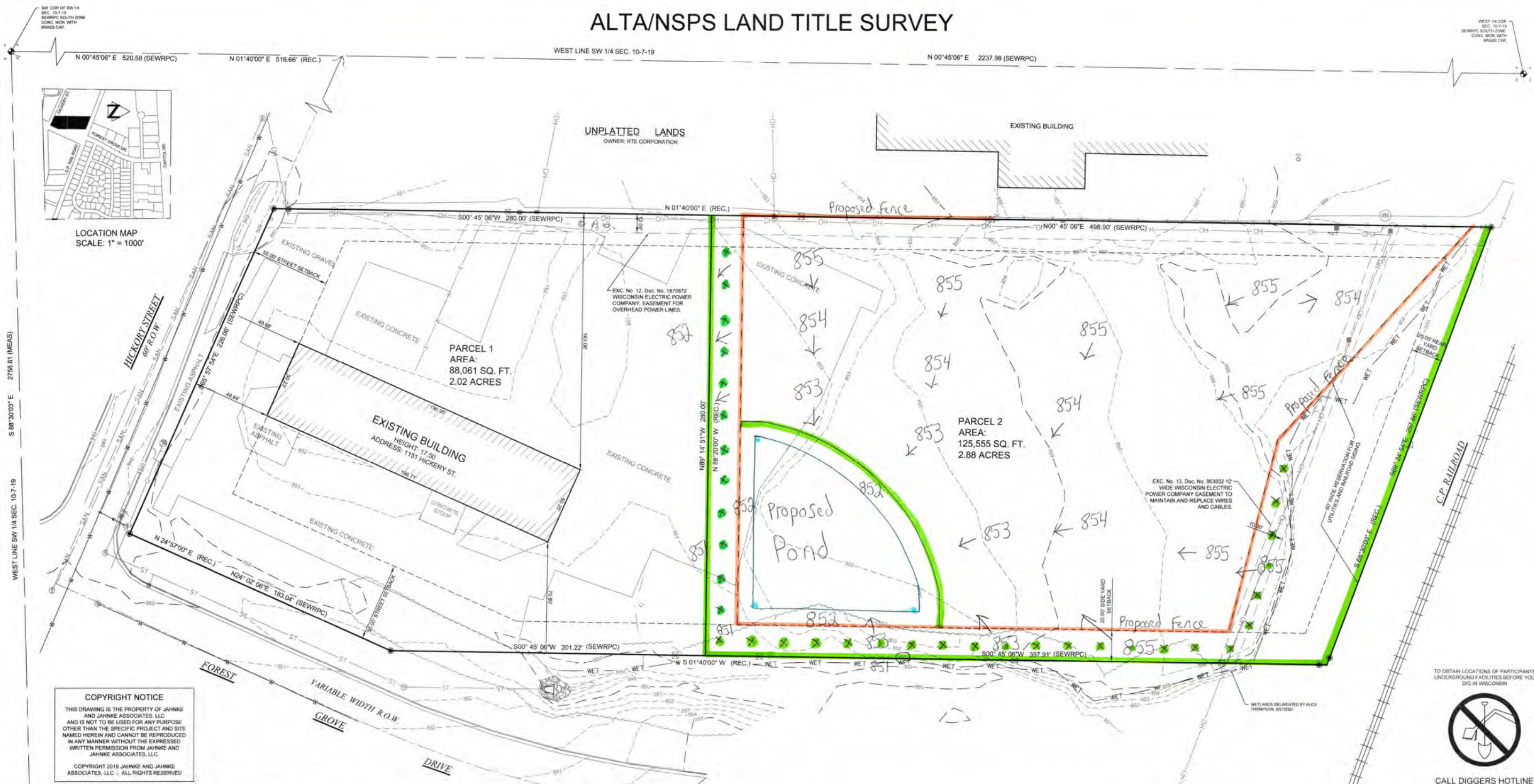
Thank you,

Ken Kreitlow

I want to...

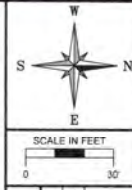


ALTA/NSPS LAND TITLE SURVEY



LOCATION MAP
SCALE: 1" = 1000'

WEST LINE SW 1/4 SEC. 10-7-19
S 88°30'03" E 2758.81 (MEAS.)



RE: BEACHSIDE BOATS
DRAWN BY: J.R.P. CHECKED BY: J.R.S. JOB NUMBER: 20-0215 DATE: SEPT. 22, 2020
FILE NUMBER: XXXXXXXX XXXX BOOK NUMBER: PEWAUKEE 183 - PAGE NUMBER: 24
7111 WEST MORELAND BOULEVARD, WAUKESHA, WISCONSIN 53188
PHONE #: (262) 542-5797 EMAIL: SURVEY@JAHNKEANDJAHNKE.COM
WEBSITE: JAHNKEANDJAHNKE.COM

JAHNKE & JAHNKE ASSOCIATES, L.L.C.
ENGINEERS AND LAND SURVEYORS
ENGINEERING SINCE 1966

FOR: KEN KREITLOW
PART OF THE SW 1/4 OF SECTION 10, TOWN 7 NORTH, RANGE 19 EAST, TOWN OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

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Exc. No. 1: Defects, liens, encumbrances, adverse claims, or other matters, if any, created, first appearing in the public records or attaching subsequent to the Effective Date hereof and prior to the date the proposed Insured acquires for value of record the estate or interest of mortgage thereon covered by this Commission.
Note: Exception 1 of Schedule B-II will be removed only if a gas endorsement is attached to this commitment and the requirements for the acquisition of gas coverage as described in the endorsement are met, including the payment of the premium.
General in nature and is not platted.

Exc. No. 2: Special taxes or assessments, if any, payable with the taxes levied or to be levied for the current and subsequent years.
Note: Exception 2 of Schedule B-II will be removed only if the Company receives written evidence from the municipality that there are no special assessments against the Land, so that all such taxes have been paid in full.
General in nature and affects taxes from subsequent years.

Exc. No. 3: Liens, hook-up charges or fees, deferred charges, reserve capacity assessments, impact fees, or other charges or fees due payable on the development or improvement of the Land, whether assessed or charged before or after the Date of Policy. The Company assumes the priority of the insured mortgage over any such lien, charge or fee.
Note: Exception 3 of Schedule B-II will be removed only if the Company receives (1) written evidence from the municipality that there are no deferred charges, hook-up fees, or other fees or charges attaching to the property; (2) evidence that the Land contains a completed building; and (3) statement showing that the Land has a water and sewer account. If the Land is vacant, this exception will not be removed.
General in nature and is not platted.

Exc. No. 4: Any lien, or right to a lien for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
Note: Contact the Company for information on the deletion of this exception.
Is general in nature and is platted.

Exc. No. 5: Rights or claims of parties in possession not shown by the public records.
Note: Exception 5 of Schedule B-II will be removed only if the Company receives a Construction Work and Tenants Affidavit on a form prepared by the Company. If the affidavit shows that there are tenants, Exception 5 will be replaced by an exception for the rights of the tenants disclosed by the Affidavit.
General in nature and is not platted per public records.

Exc. No. 6: Any encroachments, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate survey and inspection of the premises.
Survey of this property was performed. Any encroachments are shown on Survey.

Exc. No. 7: Easements or claims of easements not shown by the public records.
General in nature and easements not part of public road are not shown.

Exc. No. 8: Any claims of adverse possession or prescriptive easements.
Note: Exceptions 6, 7, and 8 of Schedule B-II will be removed only if the Company receives an original survey which (i) has a current date, (ii) is satisfactory to the Company, and (iii) complies with current ALTA/ACSM Minimum Survey Standards or Wisconsin Administrative Code Chapter AS-7 together with the certification agreed to between the Wisconsin Land Title Association and the Wisconsin Society of Land Surveyors on April 1, 1974. If the survey shows matters, which affect the title to the property, Exceptions 6, 7 and 8 will be replaced by exceptions disclosing those matters.
General in nature and is not shown.

Exc. No. 9: Taxes for the year 2020 and subsequent years.
Taxes for the year 2020 to be paid to local municipality.

Exc. No. 10: Public or private rights. If any, in such portion of the premises described herein as may be used, set out or dedicated in any manner whatsoever, for street (highway) and/or alley purposes.
Public or private rights described herein as may be laid out. General in nature and not known at this time.

Exc. No. 11: Rights and easements, if any, in and to any and all railroad switches, sidetracks, spur tracks, and rights of way located upon or appurtenant to the premises described herein.
Is general in nature. No railroad switches, side tracks, spur tracks and rights of way located upon or appurtenant to the premises described herein.

Exc. No. 12: Easement granted to Wisconsin Electric Power Company by an instrument recorded on August 13, 1993, on Real 1763, Image 0400, as Document No. 1670572.
Shown on Survey.

Exc. No. 13: Easement granted to Wisconsin Electric Power Company by an instrument recorded on September 24, 1973, on Real 055, Image 700, as Document No. 853532.
Shown on Survey.

Exc. No. 14: In the Matter of the Establishment and Creation of a Sanitary District, Town of Pewaukee, Waukesha County, Wisconsin/Order of Town Board of the Town of Pewaukee, Establishing Sanitary District No. 3 of the Town of Pewaukee, Waukesha County, Wisconsin recorded December 6, 1976, on Real 213, Image 323, as Document No. 877265.
Recorded in real and image 323 as Document No. 877265 lands are now Town of Pewaukee established sanitary district No. 3. General in Nature and not depicted.

Exc. No. 15: Easement by and between Village of Pewaukee and Advance Pipe and Supply Company Inc. recorded April 4, 1989, in Volume 1118, Page 131, as Document No. 709293.
Document No. 709293 ingress and egress easement shall be used for utilities and roadway purposes. Does not affect subject property based on legal description.

Exc. No. 16: An Agreement and Easement for Drainage recorded August 11, 1955, in Volume 876 of Deeds, Page 322, as Document No. 421712.
Based on legal description of the three drainage easements document No. 421712 does not affect subject property.

Exc. No. 17: Finding, Determination and Declaration By the State Highway Commission of Wisconsin Establishing Certain Controlled-Access Highways in Waukesha County, Wisconsin recorded September 26, 1951, in Volume 556 of Deeds, Page 384, as Document No. 356777.
Document No. 356777 State Highway Commission of Wisconsin establishes controlled-access. Highway affects "99". Does not affect subject property based on legal description.

LEGAL DESCRIPTION
Parcel 1
All that part of the Southwest 1/4 of Section 10, in Town 7 North, Range 19 East, in the Village of Pewaukee, County of Waukesha, State of Wisconsin, bounded and described as follows:
Commencing at the Southwest corner of Section 10, thence North 1° 40' East, along the West line of said Section, 515.66 feet, thence South 85° 03' East, 624.89 feet to the place of beginning of the parcel hereinafter described; thence continuing South 85° 03' East, 246.00 feet, thence North 24° 57' East, 163.04 feet, thence North 1° 40' East, 201.22 feet, thence North 84° 20' West, 280.00 feet to the place of beginning. Reserving the Easery 30 feet for the right-of-way purposes.
For Informational Purposes only:
1151 Hickory Street, Pewaukee, WI
Tax Key No. PW05 993 003

Parcel 2
All that part of the Southwest 1/4 of Section 10, in Town 7 North, Range 19 East, in the Village of Pewaukee, County of Waukesha, State of Wisconsin, bounded and described as follows:
Commencing at the Southwest corner of Section 10, thence North 1° 40' East, 280.00 feet to the place of beginning of the parcel hereinafter described; thence continuing North 1° 40' East, 498.90 feet to the Southern right-of-way of C.M. St. P. & P. Railroad, thence South 88° 30' East, along said Southern right-of-way line, 297.65 feet, thence South 1° 40' West, 397.91 feet, thence North 84° 20' West, 280.00 feet to the place of beginning. Reserving from the above described parcel, the Northern 50 feet for utilities easement, and for a railroad siding.
For Informational Purposes only:
Lands on Forest Grove Drive, Pewaukee, WI
Tax Key No. PW05 993 007

LEGEND

● IRON PIPE SET	○ EX. STORM MANHOLE	⊕ EX. POWER POLE
○ EX. IRON PIPE	○ EX. CATCH BASIN ROUND	⊖ EX. GUY WIRE
⊕ EX. MONUMENT	⊕ EX. CATCH BASIN SQUARE	⊕ EX. TELEPHONE PEDESTAL
⊕ EX. STAKE	⊕ EX. INVERT	⊕ EX. GAS METER
⊕ EX. SANITARY MANHOLE	⊕ EX. ELECTRIC METER	⊕ EX. GAS VALVE
⊕ EX. WATER MANHOLE	⊕ EX. ELECTRIC PEDESTAL	
⊕ EX. HYDRANT	⊕ EX. AIR CONDITIONER	
⊕ EX. WATER VALVE	⊕ EX. ELECTRIC TRANSFORMER	
⊕ EX. LIGHTPOLE	⊕ EX. ELECTRIC MANHOLE	

SURVEY NOTES

- DATE OF THE SURVEY FIELD WORK: SEPTEMBER 8, 2020
- BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON SHOULD REFER TO THE DEED, TITLE POLICY AND LOCAL ZONING ORDINANCES
- ALL DIMENSIONS SHOWN ARE IN DECIMAL FEET, US SURVEY UNITS.
- REVIEW LEGAL DESCRIPTION AND RECORD MEASUREMENT ON THIS PLAT AND AT ONCE REPORT ANY APPARENT DIFFERENCE TO THE SURVEYOR
- UTILITIES HAVE NOT BEEN CERTIFIED. THEREFORE, CONTACT THE UTILITY COMPANY FOR EXACT LOCATION OR REFER TO THE DIGGERS HOTLINE NOTICE SHOWN HEREON.
- BASES OF BEARING IF SHOWN IS ASSUMED UNLESS NOTED.
- NO MEASUREMENTS ARE TO BE ASSUMED BY SCALING.
- ANY COMMENTS, MODIFICATIONS, ALTERATIONS & REVISIONS TO THIS SURVEY MUST BE BROUGHT TO OUR ATTENTION WITHIN 30 DAYS FROM THE DATE OF COMPLETION OF THIS SHEET.
- CATEGORY OF THIS SURVEY IS BASED UPON CLIENT'S REQUEST.
- TO INSURE LEGITIMACY OF THIS PLAT, IT MUST CARRY THE EMBOSSED SEAL OF THE DESIGN FIRM OR PROFESSIONAL LICENSEE WHO PREPARED THIS PLAT.

SURVEYING CERTIFICATION

This Survey was prepared based on the Chicago Title Insurance Company, MAM Properties, LLC, and DKT Holding, LLC dated August 7, 2020.
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, effective February 23, 2016, jointly established and adopted by ALTA and NSPS and included items 1, 2, 3, 4, 5, 6(b), 7(a)(c), 11, 13, 16, 20(2) of Table A thereof.

John R. Stigler
JOHN R. STIGLER, WIS. REG. NO. S-1820
Dated this 22nd day of September, 2020

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
811 OR 1-800-242-8511 TOLL FREE
WIS. STATUTE § 22.07(1)(b) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE
MILWAUKEE AREA 1-414-226-1181

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown. Contact Diggers Hotline, Inc. etc.

Village of Pewaukee Plan Commission
Engineer's Report for December 10, 2020

MAM Properties/Beachside Boats
Site Development Plan
1151 Hickory Street

Report

The applicant is planning to redevelop an existing site at the northwest corner of E. Wisconsin Ave. and Forest Grove Drive. A second parcel located north of the corner lot would be combined with the Eaton property and used for outside storage. General comments on the information submitted are as follows:

Access

Access to the site at the corner will be off of E. Wisconsin Ave. Currently, there is a very wide driveway opening. The proposal is to create two driveways into the site, which would make access to the site more orderly. Access to the northerly site will be through the Eaton property. There are wetlands along Forest Grove Drive that would make getting an access off of Forest Grove Drive more challenging. Based on the proposed use, and the availability of access into the northerly site from the Eaton property, adequate access is being provided.

Sanitary Sewer and Water

Sewer and water are available to the site and is adequate to serve the existing building and use. No sewer or water is needed for the northerly site.

Site Grading

No grading plan was provided for the southerly site. The northerly site will be graded to flow to the southeast into a proposed stormwater pond.

Stormwater Management

The southerly site will be reducing the impervious surfaces; therefore, no stormwater management is required. The northerly site would be considered a new development site and be required to meet the stormwater water requirements based on the addition of an impervious surface over a substantial portion of the site.

Recommendation

None – consultation only.

Tim Barbeau, Village Consulting Engineer
December 2, 2020

CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE | WAUSAU
APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MILWAUKEE REGIONAL OFFICE
W238 N1610 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53189
P. 262.513.0666

CLIENT:
CAPITAL COMMERCIAL
STRATEGIC REAL ESTATE ADVISORS

CLIENT ADDRESS:
153 PARK AVENUE
PEWAUKEE, WI 53072

PROJECT:
1151 HICKORY ST.

PROJECT LOCATION:
VILLAGE OF PEWAUKEE
WAUKESHA COUNTY

PLAN MODIFICATIONS:

#	Date	Description
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		

Design/Drawn:
Approved:

SHEET TITLE:
**PRELIMINARY
SITE IMPROVEMENT
LAYOUT**

SHEET NUMBER:

C1.0

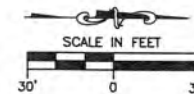
JSD PROJECT NO.

20-10195

SITE ADDRESS	1151 HICKORY ROAD
PROPERTY ACREAGE	2.02 ACRES (88,061 SF)
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	71,385 SF
EXISTING PERVIOUS SURFACE AREA	16,676 SF
EXISTING GREEN SPACE PERCENTAGE	18.9%
PROPOSED IMPERVIOUS SURFACE AREA	
PROPOSED IMPERVIOUS SURFACE AREA	35,567 SF
PROPOSED PERVIOUS SURFACE AREA	52,494 SF
PROPOSED GREEN SPACE PERCENTAGE	59.6%

LEGEND

⊕	SANITARY SEWER MANHOLE	⊕	POWER POLE
⊕	STORM MANHOLE	—	GUY WIRE
⊕	CURB INLET	F	MAIL BOX
⊕	FIRE HYDRANT	⊕	DECIDUOUS TREE
⊕	WATER VALVE	⊕	CONIFEROUS TREE
⊕	ELECTRICAL MANHOLE	—	SAN
⊕	TELEPHONE MANHOLE	—	SANITARY SEWER
⊕	GAS VALVE	—	W
⊕	TELEPHONE PEDESTAL	—	WATER MAIN
⊕	SOIL BORING	—	ST
⊕	BOLLARDS	—	STORM SEWER
⊕	ELECTRICAL PEDESTAL	—	G
⊕	LIGHT POLE	—	UNDERGROUND GAS
⊕	YARD LIGHT	—	T
⊕	SIGN	—	UNDERGROUND TELEPHONE
		—	E
		—	UNDERGROUND ELECTRIC
		—	FIB
		—	UNDERGROUND FIBER OPTICS
		—	OH
			OVERHEAD UTILITY





STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: December 10, 2020

General Information:

Agenda Item: 6.e.

Applicant:

Riverside 321 Partners LLC in c/o Christian Hlavinka

Status of Applicant:

Property owner

Requested Action:

Recommendation to the Village Board to amend the Comprehensive Plan Land Use Plan Map element from existing “Institutional” to proposed “Single-Family Residential (4 Units/Acre Max Density)”.

Existing Zoning:

IPS Institutional and Public Service

Proposed Zoning:

R-5 Residential Detached District with Infill Redevelopment District Overlay

Surrounding Zoning/Land Use:

North: R-M Multi-Family Residential
South: City of Pewaukee
East: P-1 Park and Recreation
West: Hwy. 16

Existing Master Plan Classification:

Institutional

Proposed Master Land Use Plan Classification:

Single-Family Residential (7 Units/Acre Max Density)

Location:

321 Riverside Dr.

Lot Size:

13.84 acres

Discussion:

Anticipating a prospective development plan to be submitted for consideration under the new Residential Infill-Redevelopment Overlay District Zoning, the applicant begins with this request for Land Use Plan Amendment.

The surrounding area to the north and west is single-family residential with lot sizes ~12,000 sq.ft., generally speaking. To the east is the Pewaukee River and to the south is a county owned natural area.

This existing site has remnant improvements related to a previous non-residential use. These improvements might be described as obsolete or even blighted at this point. The site has been out of economic use for a couple of years.

This site meets the characteristics identified in the purpose statement of the Village's new Residential Infill-Redevelopment Overlay District – (i.e. ...*“Target locations for this overlay district to be applied may include sites where current or previously existing, often times non-single-family-residential type land uses may be/been situated on properties that are closely comingled within existing single-family residential use neighborhoods and where a resumption, modification or intensification of the prior or current non-single-family-use(s) is no longer necessarily desired based upon potential land use incompatibility issues, concerns about impact on available public services and facilities,...and similar. These prospective infill-redevelopment sites/uses might now be phasing out of their former uses and into development/redevelopment opportunities where the Village believes it would be beneficial to incentivize use conversion to single-family residential type use by offering this slightly higher density residential development opportunity in order to promote this option in pursuit of better synergy among land uses.”*

Recommendation:

The Planner has no objection to this request as presented provided the Village Engineer shall first determine that current public facilities and services are adequate to support this type of higher density single-family residential land use at this location.

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: December 10, 2020

General Information:

Agenda Item: 6.f.

Applicant:

Riverside 321 Partners LLC in c/o Christian Hlavinka

Status of Applicant:

Property owner

Requested Action:

Recommendation to Village Board to rezone the property located at 321 Riverside Drive from current IPS Institutional and Public Service District to R-5 Residential Detached District with Infill Redevelopment District Overlay

Existing Zoning:

IPS Institutional and Public Service

Proposed Zoning:

R-5 Residential Detached District with Infill Redevelopment District Overlay

Surrounding Zoning/Land Use:

North: R-M Multi-Family Residential
South: City of Pewaukee
East: P-1 Park and Recreation
West: Hwy. 16

Existing Master Plan Classification:

Institutional

Proposed Master Land Use Plan Category:

Single-Family Residential (4 Units/Acre Max Density)

Location:

321 Riverside Dr.

Lot Size:

13.84 acres

Discussion:

The applicant wants to submit a residential subdivision plat with lots averaging 8,429 sq.ft. in area. The only district in the Village which would allow this density/lot size is the new Infill Redevelopment Overlay District.

The surrounding area to the north and west is single-family residential with lot sizes ~12,000 sq.ft., generally speaking. To the east is the Pewaukee River and to the south is a county owned natural area.

This existing site has remnant improvements related to a previous non-residential use. These improvements might be described as obsolete or even blighted at this point. The site has been out of economic use for a couple of years.

This site meets the characteristics identified in the purpose statement of the Village's new Residential Infill-Redevelopment Overlay District – (i.e. ... *“Target locations for this overlay district to be applied may include sites where current or previously existing, often times non-single-family-residential type land uses may be/been situated on properties that are closely comingled within existing single-family residential use neighborhoods and where a resumption, modification or intensification of the prior or current non-single-family-use(s) is no longer necessarily desired based upon potential land use incompatibility issues, concerns about impact on available public services and facilities,...and similar. These prospective infill-redevelopment sites/uses might now be phasing out of their former uses and into development/redevelopment opportunities where the Village believes it would be beneficial to incentivize use conversion to single-family residential type use by offering this slightly higher density residential development opportunity in order to promote this option in pursuit of better synergy among land uses.”*

Recommendation:

The Planner has no objection to this request as presented provided the Village Board shall first complete the process of amending the Land Use Plan and Land Use Plan Map Elements of the Village's Comprehensive Plan to attach “Single-Family Residential (4 Units/Acre Max Density)” to this property.

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: December 10, 2020

General Information:

Agenda Item: **6.g.**

Applicant:

Riverside 321 Partners LLC in c/o Christian Hlavinka

Status of Applicant:

Property owner

Requested Action:

Consultative review, discussion and feedback to the Village staff and applicant on concept plans to develop the property into 36 detached, single-family lots/residences and including possible TIF assistance for the project.

Existing Zoning:

IPS Institutional and Public Service

Proposed Zoning:

R-5 Residential Detached District with Infill Redevelopment District Overlay

Surrounding Zoning/Land Use:

North: R-M Multi-Family Residential

South: City of Pewaukee

East: P-1 Park and Recreation

West: Hwy. 16

Existing Master Plan Classification:

Institutional

Proposed Master Land Use Plan Category:

Single-Family Residential (7 Units/Acre Max Density)

Location:

321 Riverside Dr.

Lot Size:

13.84 acres

Discussion:

The applicant presents a residential subdivision plat with lots averaging 8,429 sq.ft. in area. A Land Use Plan Amendment and Rezoning would first be required in order to clear the way for a request at this density/lot size. Overall density of this project is approximately 2.6 units/acre.

The surrounding area to the north and west is single-family residential with lot sizes ~12,000 sq.ft., generally speaking. To the east is the Pewaukee River and to the south is a County owned natural area.

This existing site has remnant improvements related to a previous non-residential use. These improvements might be described as obsolete or even blighted at this point. The site has been out of economic use for a couple of years.

This site meets the characteristics identified in the purpose statement of the Village's new Residential Infill-Redevelopment Overlay District – (i.e. ... *“Target locations for this overlay district to be applied may include sites where current or previously existing, often times non-single-family-residential type land uses may be/been situated on properties that are closely comingled within existing single-family residential use neighborhoods and where a resumption, modification or intensification of the prior or current non-single-family-use(s) is no longer necessarily desired based upon potential land use incompatibility issues, concerns about impact on available public services and facilities,...and similar. These prospective infill-redevelopment sites/uses might now be phasing out of their former uses and into development/redevelopment opportunities where the Village believes it would be beneficial to incentivize use conversion to single-family residential type use by offering this slightly higher density residential development opportunity in order to promote this option in pursuit of better synergy among land uses.”*

The delineated wetland, floodplains and environmentally sensitive areas of the site are preserved, undisturbed by this plan.

Provided the more detailed layout would reveal compliance with the overall regulations of the new district as to greenspace, offsets, setbacks, minimum home size,... the Planner would not raise any particular objections to the concept at this time.

The applicant does anticipate requesting TIF assistance to help finance this project in order to offset some of the “extraordinary” costs associated with it. The applicant also wants to discuss cost saving options as to narrower road rights-of-way and limited sidewalk provisions in the design.

Recommendation:

As this is consultation, no recommendation is given at this time.



Petition for Rezoning Form

Return Completed Form along with 13 copies of all materials to be reviewed and the \$100 Application Fee as well as a digital copy of any attachments submitted.

Riverside 321 Partners LLC

Attn: Christian Hlavinka hereby petitions the Village of Pewaukee for a change in zoning of the following property:

Address/Parcel No. of Property Involved: **321 Riverside Drive / PWV 0925038**
(Please include an exact legal description of the property with your submittal. In the case of a request that involves only a portion of parcel(s), be sure to include a legal description that denotes exactly which portion of the affected parcel(s) is to be considered for rezoning).

Present Use/Zoning of Property: **IPS Institutional and Public Service, FC Floodplain Conservancy, FW Floodway**

Proposed Use/Zoning of Property: **Proposed R-5 single family residential with a residential infill-redevelopment overlay district on the Institutional area, FC Floodplain Conservancy, FW Floodway**

Current Owner of Property (Print Name): **Riverside 321 Partners LLC Attn: Christian Hlavinka**

Applicant – Name (Please Print): **Riverside 321 Partners LLC Attn: Christian Hlavinka**
Address: **PO Box 752, Arlington Heights, IL 60006**
Phone: **414-699-4326**
Fax: **---**
Email: **rhinvestments04@yahoo.com**

Signature of Property Owner as listed on this Application:

DocuSigned by:

Christian Hlavinka

D296B3776FFF456...

Petition will not be processed without the Owner’s Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Rezoning Petition for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this Petition.

Signature of Applicant (if different than Owner):

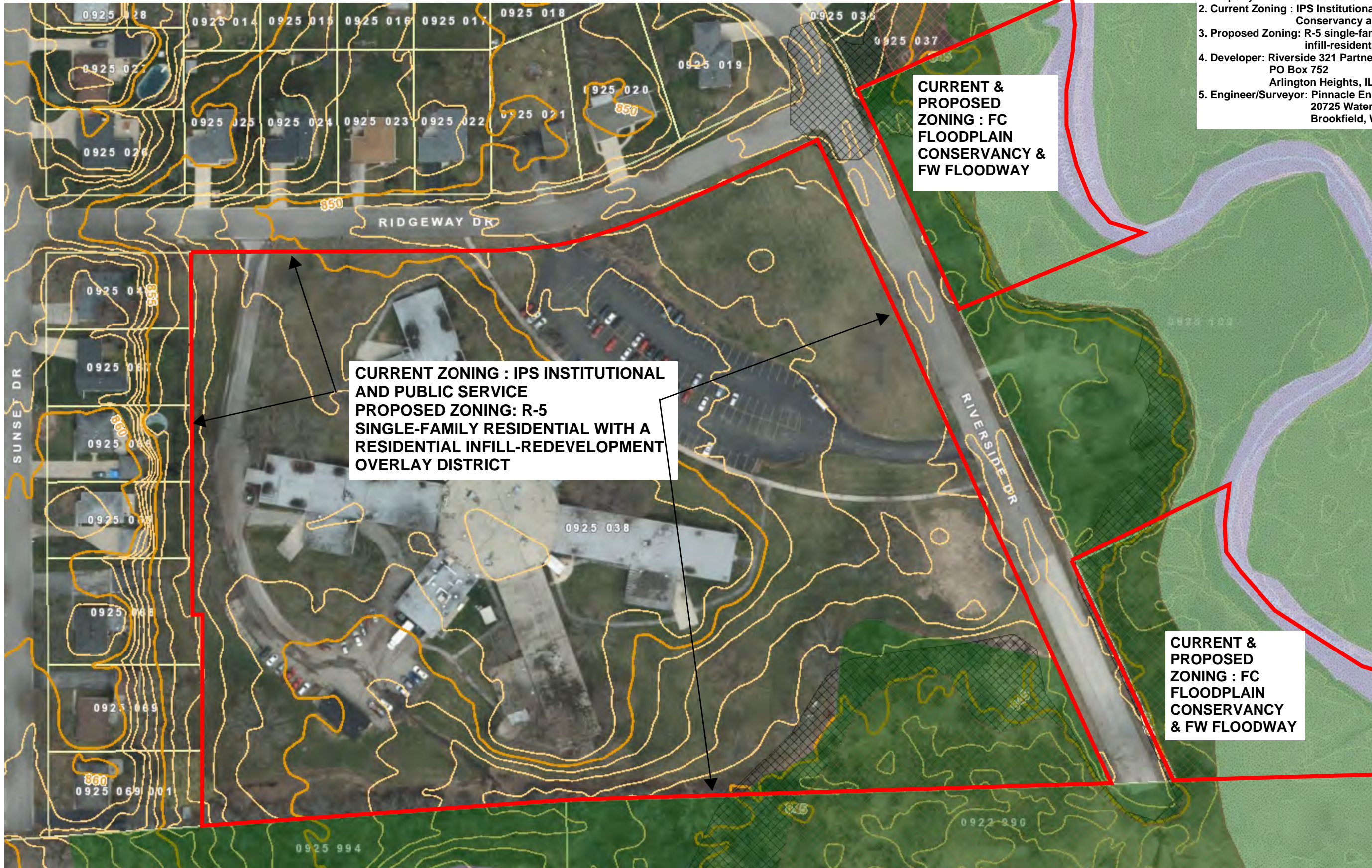
*** Application must be submitted at least 3 weeks prior to the meeting date**

Legal Description of land to be rezoned:

Lots 2 through 21, inclusive, in Block 4 and Lots 3 through 14, inclusive, in Block 5, and all that portion of vacated Longacre Road lying between the described Lots in Blocks 4 and 5; and Outlot 15, in Block 5, excepting the West 160.20 feet thereof, all being in River Hills Park, being a subdivision in part of the Southeast 1/4 of Section 9, and part of the Northwest 1/4 of Section 15 and part of the Northeast 1/4 of Section 16, Township 7 North, Range 19 East, in the Village of Pewaukee, County of Waukesha, State of Wisconsin, more particularly bounded and described as follows: beginning at the northwest corner of said Lot 2, Block 4; thence South 89°35'00" East along the south right-of-way line of Ridgeway Drive, 309.80 feet; thence westerly 192.64 feet along said south right-of-way line and the arc of curve, curve center lies to the left, radius of 459.89 feet, chord bears North 78°25'00" East, 191.23 feet; thence North 66°25'00" East along said south right-of-way line 180.00 feet to the west right-of-way line of Riverside Drive; thence South 23°35'00" East along said west right-of-way line 741.21 feet to the south subdivision line of said River Hills Park; thence South 89°12'30" West along said south subdivision line 569.89 feet; thence South 86°41'30" West along said south subdivision line 383.81 feet; thence North 00°25'00" East 221.10 feet; thence North 89°35'00" West, 10.00 feet; thence North 00°25'00" East 380.00 feet to the place of beginning. Containing 501,089 square feet (11.50 acres) of land.

SUMMARY

1. 321 Riverside Partners LLC Property
Address: 321 Riverside Drive
TKN: PWV 0925038
Property Area: 13.85 acres +/-
2. Current Zoning : IPS Institutional & Public Service, FC Floodplain Conservancy and FW Floodway
3. Proposed Zoning: R-5 single-family residential with a residential infill-residential overlay district
4. Developer: Riverside 321 Partners LLC Attn: Christian Hlavinka
PO Box 752
Arlington Heights, IL 60006
5. Engineer/Surveyor: Pinnacle Engineering Group Attn: Anthony Zanon
20725 Watertown Road, Suite 100
Brookfield, WI 53186



- 1% Chance Flood Area (Zone AE v)
- AE, Floodway
- Index Contours
- Intermediate Contours
- Municipal Boundary_2K
- FacilitySites_2K_Labels
- Road Centerlines_2K
- Railroad_2K
- TaxParcel_2K
- Waterbodies_2K_Labels
- Waterlines_2K_Labels

0 100.00 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Notes
REZONING MAP
NOVEMBER 17, 2020
PEG #2035.00

Application is due three weeks prior to meeting date.



**Planning Commission Consultation
Application Form**

Address/Parcel No. of Property Involved: 321 Riverside Drive / PWV 0925038

Zoning of Property: IPS Institutional and Public Service, FC Floodplain Conservancy, FW Floodway (requesting a rezone to R-5 single family residential with a residential infill-redevelopment overlay district on the Institutional area)

Current Owner of Property: Riverside 321 Partners LLC

Applicant – Name: Riverside 321 Partners LLC Attn: Christian Hlavinka

Address: PO Box 752, Arlington Heights, IL 60006

Phone: 414-699-4326

Fax: ---

Email: rhinvestments04@yahoo.com

Name of Business that Consultation is for: Concept plan - single family residential development

Describe Nature of Business (Restaurant, Retail, Office, etc.):

See attached.

Signature of Property Owner as listed on this Application:

DocuSigned by:
Christian Hlavinka
D296B3776FFF456...

Application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Consultation Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

Signature of Applicant (if different than Owner):

** For Consultation Purposes, an Engineering Review will not take place. Engineering Reviews will begin if and when an Application for Final Approval is processed.*

***Please submit eleven sets of any applicable attachments as well as a digital copy of any attachments submitted.**

Application is due three weeks prior to meeting date.



PROFESSIONAL SERVICES REIMBURSEMENT NOTICE

Pursuant to the Village of Pewaukee Code of Ordinances, the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner or any other of the Village’s professional staff results in a charge to the Village for that professional’s time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

I, the undersigned, have been advised that, pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.

The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.

RESPONSIBLE PARTY & MAILING ADDRESS

Riverside 321 Partners LLC Attn: Christian Hlavinka

Name of Company and/or Individual

PO Box 752	Arlington Heights	IL	60006
Street	City	State	Zip

Phone: **414-699-4326** Fax: **---** E-Mail: **rhinvestments04@yahoo.com**

DocuSigned by:

Christian Hlavinka

Signature of Applicant & Date

DocuSigned by:

Christian Hlavinka

Signature of Property Owner & Date

Village Official Accepting Form & Date

SEND ALL PROFESSIONAL SERVICES INVOICES TO:
(Check One)

____ Property Owner

____ Applicant

Re: 321 Riverside Drive, Parcel PWV 0925038

Riverside 321 Partners, LLC owns approximately 13 acres of land that formerly served as the River Hills West Skilled Nursing Facility since 1963. The facility was closed in early 2016 due to a lack of residents. Riverside 321 Partners LLC has owned the site for over four years, during that time they have done extensive marketing, worked diligently with numerous potential buyers, and actively worked with the Village to re-use the site as it is. After four years of effort the owners and Village were not able to locate a user that was harmonious with the neighboring properties and fit within the scope of the Village's future land use plan. Riverside 321 Partners LLC is now planning to redevelop the entire site into a planned community of single-family homes with open green space.

Proposed new use as 36 newly constructed single-family homes in a size and number compatible with the homes to the north and east of the subject property, platted to include ample open green spaces on the west and south of the site abutting natural wetland areas. The proposed concept plan is attached.

EXISTING SITE

The current 13 acre site consists of three parcels under one tax key number, two abutting the Pewaukee River on the east side of Riverside Drive on either side of the Village Park, and one large parcel at the Southwest corner of Riverside and Ridgeway. The two small parcels are vacant. The larger parcel is currently improved with a vacant Skilled Nursing Facility on the site that was originally built in 1963 with 240 rooms in 4 wings ($\pm 77,000$ sf) and support services in a fifth, smaller wing.

As the current owners, Riverside 321 Partners LLC has conducted numerous tests and assessments over the last few months in preparation for the potential necessity to redevelop the site into an active usable parcel again. Results from those assessments indicate the existing building can be demolished and removed with the existing utilities capped in preparation of new, more efficient, and safer distribution laid through the site. The water level tests, important due to the Pewaukee River to the east and the ponded natural area to the south, show a need to bring in extensive fill to make the interior of the larger parcel buildable.

PROPOSED NEW USE

Riverside 321 Partners LLC has considered many options for the future use of the site. The most fitting would be to compliment the single-family homes to the north and east of the site with additional single-family homes in a similar size to the surrounding homes. New homes here would add residential owners that would have a long term vested interest in the Pewaukee village and its schools. Further, the new single-family use is consistent with the Village's long-term plan for this area.

Riverside 321 Partners LLC has worked closely with Kaerek Homes to plan a community that would feature homes averaging 1,800 to 2,800 sf on lots ranging from 1/8 to 1/3 acres with generous green space along the south and east sides protecting the existing adjacent natural

areas. These lot sizes and average size home would blend with the nearby homes already in the neighborhood. Preliminary engineering shows 36 lots are feasible on the larger parcel, leaving the two smaller parcels on the east side of River Side in their natural state. Please see the attached concept plan. Within the open space is a planned storm water management facility to hold all the anticipated runoff for the new subdivision. To further protect the natural habitats this planned community will use a minimum of paved surfaces and non-essential lighting.

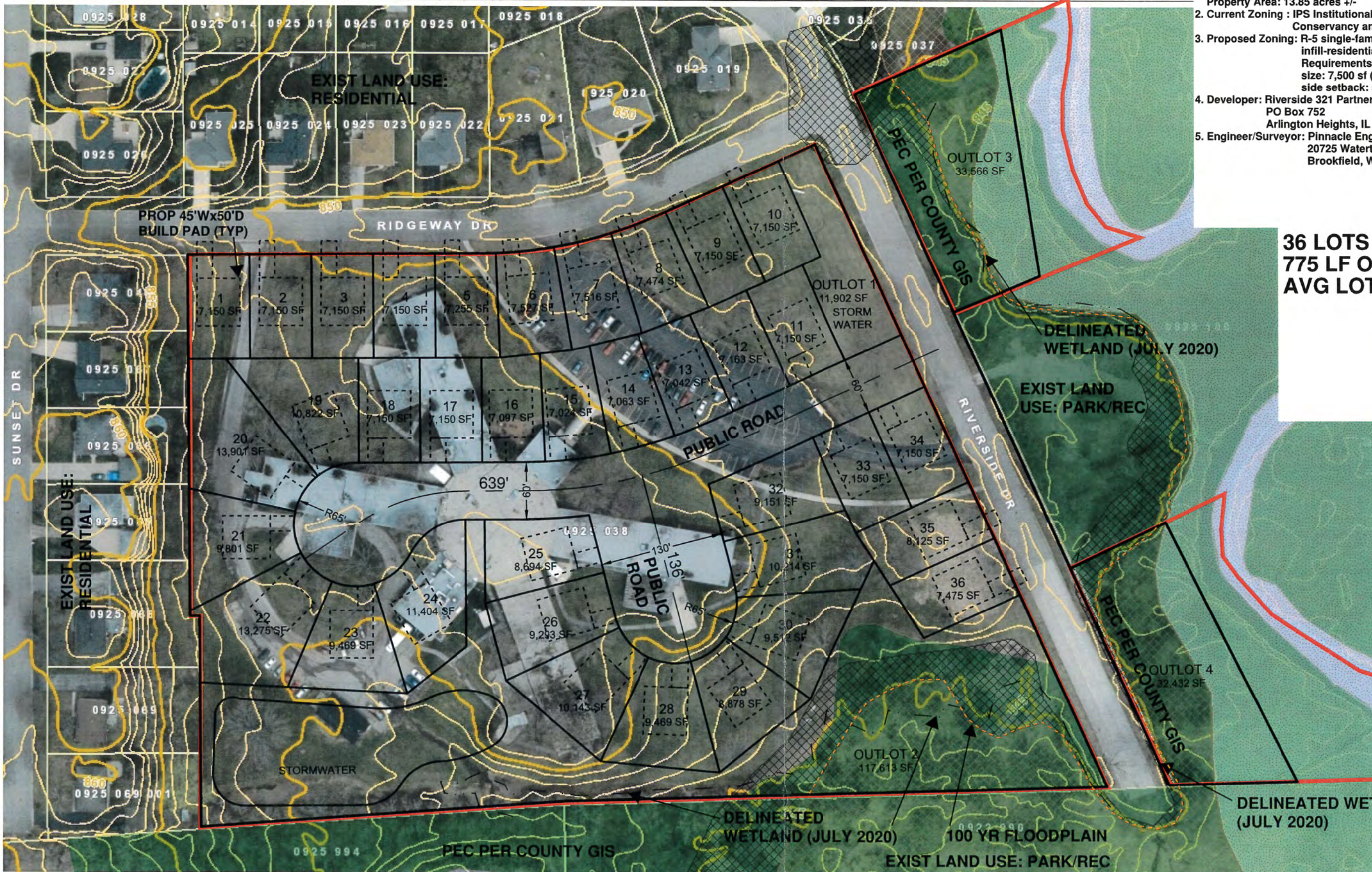
The concept plan is being submitted to the Plan Commission to receive questions and comments early in the process. In addition, feedback is being requested on the following items:

1. Reduced public road cross-section
2. Sidewalk

Waukesha County GIS Map

SUMMARY

1. 321 Riverside Partners LLC Property
Address: 321 Riverside Drive
TKN: PWV 0925038
Property Area: 13.85 acres +/-
2. Current Zoning : IPS Institutional & Public Service, FC Floodplain Conservancy and FW Floodway
3. Proposed Zoning: R-5 single-family residential with a residential infill-residential overlay district
Requirements: Min lot size: 7,000 sf, average lot size: 7,500 sf (redevelopment), front setback: 25', side setback: 5', rear setback: 20'
4. Developer: Riverside 321 Partners LLC Attn: Christian Hlavinka
PO Box 752
Arlington Heights, IL 60006
5. Engineer/Surveyor: Pinnacle Engineering Group Attn: Anthony Zanon
20725 Watertown Road, Suite 100
Brookfield, WI 53186



36 LOTS
775 LF OF ROAD
AVG LOT SIZE: 8429 SF

0 100.00 Feet

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Notes
CONCEPT PLAN
November 17, 2020
PEG #2035.00

Village of Pewaukee Plan Commission
Engineer's Report for December 10, 2020

Riverside 321 Partners, LLC
321 Riverside Drive

Report

Below are general comments related to the proposed subdivision development:

Access

Access to this development will be via Ridgeway Drive and Riverside Drive, which have adequate capacity for the proposed development. Some homes will access the existing roads directly and some homes will gain access to existing public roads via new internal public roadways.

Sanitary Sewer and Water

Sanitary sewer and public water are available along Ridgeway Drive and Riverside Drive. The water system dead ends at the south end of Riverside Drive. To assure reliability of the water system, a looped connection through the development is strongly recommended. Final determination of whether a looped system will be required will be made after consultation with the Village DPW at the time the development is submitted for approval.

Site Grading/ Stormwater Management

I have been informed that the site will be filled between 0 and 8 feet. The site currently drains to the east. The conceptual grading plan based on a conversation with the design engineer would have the westerly half of the site drain to the southwest to a stormwater pond and then easterly towards the existing low area in the southeast corner of the site. There is also an outlot that will be used for stormwater at the northeast corner of the site. That area appears to be quite small. No stormwater calculations have been done for the site. The number of lots may have to change to accommodate stormwater management.

Recommendation

None at this time – consultation only.

Tim Barbeau, Village Consulting Engineer
December 2, 2020