



PLAN COMMISSION AGENDA

January 8, 2026 – 6:00 pm
Village Hall
235 Hickory Street, Pewaukee, WI 53072

To view the meeting: <https://www.youtube.com/watch?v=nTvyqu95PJ8>

1. Call to Order, Roll Call, Pledge of Allegiance, & Moment of Silence.

Public Hearings.

- a. Conditional Use Grant amendment request by the Waukesha County Technical College, to construct a second modular burn structure on the existing fire training grounds. This request is located at 800 Main Street. PWV 0925999, is zoned IPS Institutional & Public Service District. Property owner and Applicant is Waukesha County Technical College.
2. Citizen Comments: *This is an opportunity for citizens to share their opinions with Commission Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Commission is not able to answer questions or respond to your comments. All comments should be directed to the Commission. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*
 3. Approval of the Minutes:
 - a. Plan Commission Meeting – December 11, 2025
 4. Old Business.
 - a. None
 5. New Business.
 - a. Review, discussion, and possible action on Conditional Use Grant amendment request by the Waukesha County Technical College, to construct a second modular burn structure on the existing fire training grounds. This request is located at 800 Main Street. PWV 0925999, is zoned IPS Institutional & Public Service District. Property owner and Applicant is Waukesha County Technical College.
 6. Citizen Comments. – *This is an opportunity for citizens to share their opinions with Commission Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Commission is not able to answer questions or respond to your comments. All comments should be directed to the Commission. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*

7. Adjournment

Note: It is possible that members and/or possibly a quorum of members of other governmental bodies of the

municipality may be in attendance at the above-stated meeting to gather information; action will not be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in the notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. To request such assistance, contact the Village Clerk at 262-691-5660.

Dated: December 30, 2025

PLAN COMMISSION AGENDA
December 11, 2025 – 6:00 pm
Village Hall
235 Hickory Street, Pewaukee, WI 53072

To view the meeting: <https://www.youtube.com/watch?v=IAIHuf6nGyg>

1. Call to Order, Roll Call, Pledge of Allegiance, & Moment of Silence.

President Knutson called the meeting to order at approximately 6:02 p.m.

Plan Commission members present: Comm. Theresa Hoff; Comm. Brian Belt; Comm. Katie Jelacic; Comm. Sam Liebert; Trustee Bob Rohde; and President Jeff Knutson.

Excused: Comm. Mark Grabowski.

Also present: Village Attorney, Matt Gralinski; Village Planner, Mark Lyons; Village Administrator, Matt Heiser; and Deputy Clerk, Mackenzie Quigley.

2. Citizen Comments –

The following residents expressed their concerns and shared their research regarding the Pewaukee School District's parking lot proposal located north of the intersection of Lake Street and School Street / PWV 0899235002: **Danny Deppe @ 326 Lake St; Linda Hiller Deppe @ 326 Lake St; Joseph Herbst @ 317 Lake St; Mary Mullen @ 316 Lake St; Jennifer Heinemann @ 224 Lake St; Robert Kirsten @ 213 Lake St; and Michael Glenn @ 128 Lookout Dr.**

These concerns include, but are not limited to:

- Student traffic is already an issue in this area
- Existing parking lot spaces are currently going unused
- School staff do not always park where they are directed
- Lack of school bus and crosswalk safety
- Keeping green space between the school and residential properties
- Light pollution

3. Approval of the Minutes -

a. Plan Commission Meeting – November 13, 2025

Comm. Jelacic motioned/seconded by Comm. Hoff to approve the November 13, 2025, Regular Plan Commission meeting minutes as presented.

Motion carried 6-0.

4. Old Business -

a. None

5. New Business -

- a. **Review, discussion, and possible recommendation on a Comprehensive Plan Land Use amendment request of Pewaukee School District, to amend the existing land use designation from Single Family Residential to Institutional. This request is located north of the intersection of Lake Street and School Street / PWV 0899235002. This 0.598-acre parcel is split zoned, R-5 Single Family Residential and IPS Institutional and Public Service District. The property owner and applicant is the Pewaukee School District.**

Lyons provided an overview of the request, stating that this is only looking at the zoning of the property – not the parking lot.

Discussion between Village Staff and the Commission followed.

John Gahan, Assistant Super Intendent/CFO @ Pewaukee School District addressed questions from the Commission regarding location and purpose.

Discussion was held amongst the Commission. The commissioners voiced their concerns and shared changes they would like to see prior to the parking lot consideration.

Village Planner Recommendations:

The Village of Pewaukee Plan Commission recommends to the Village Board Approval of the Comprehensive Plan Land Use Designation amendment request by Pewaukee School District for the property located at north of the intersection of Lake Street and School Street (0899235002).

Comm. Liebert motioned/seconded by Comm. Hoff to recommend to the Village Board the DENIAL of the Comprehensive Plan Land Use amendment request submitted by Pewaukee School District, to amend the existing land use designation from Single Family Residential to Institutional with a 0.598-acre parcel located north of the intersection of Lake Street and School Street at PWV 0899235002.

Motion carried 6-0.

- b. **Review, discussion, and possible recommendation on a zone change request of Pewaukee School District, to rezone from the existing split zoning of R-5 Single Family Residential and IPS Institutional and Public Service District to IPS Institutional and Public Service District. This request is located north of the intersection of Lake Street and School Street / PWV 0899235002. This 0.598-acre parcel is split zoned, R-5 Single Family Residential and IPS Institutional and Public Service District. The property owner and applicant is the Pewaukee School District.**

Lyons provided a brief overview, noting that the zoning should be consistent with the master land use plan.

Village Planner Recommendations:

The Village of Pewaukee Plan Commission recommends to the Village Board **Approval** of the rezoning request by Pewaukee School District for the property located at north of the intersection of Lake Street and School Street (0899235002) from R-5 Single Family Residential and IPS Institutional and Public Service District to IPS Institutional and Public Service District.

Comm. Liebert motioned/seconded by Comm. Hoff to recommend to the Village Board the denial of the zone change request submitted by the Pewaukee School District to rezone the 0.598-acre parcel located north of the intersection of Lake Street and School Street / PWV 0899235002 from its existing split zoning of R-5 Single Family Residential and IPS Institutional and Public Service District to exclusively IPS Institutional and Public Service District.

Motion carried 6-0.

- c. Review, discussion and possible action on a certified survey map proposed to consolidate and reconfigure the existing 2 contiguous lots 497 Park Avenue into 1 lot. The applicant/property owner is MCE LLC. The property is currently zoned IPS, Institutional and Public Service District and R-5 Residential Detached District with a Lakefront Overlay.**

Lyons provided an overview of the CSM request and shared that a comment from the Survey Team is to be added - **Item F: Remove Village Board signature line**, as a CSM of this nature can be approved by the Plan Commission and does not need to go to the Village Board.

CLARIFICATION – This property is not zoned IPS Institutional and Public Service District. Both lots are zoned R-5 Residential with a Lakefront Overlay.

Village Planner Recommendations:

The Village of Pewaukee Plan Commission Approves the Certified Survey Map Request for a lot combination for the property located at 497 Park Avenue, subject to the following conditions:

1. Any conditions made by the Plan Commission at their meeting of December 11, 2025.
2. That all engineering comments are satisfied for the Certified Survey Map prior to Village signature and recording.

Comm. Liebert motioned/seconded by Comm. Hoff to approve the Certified Survey Map (CSM) Request for a lot combination for the property located at 497 Park Avenue, subject to the conditions listed in the Staff Reports, in addition to comment F (stated above) being added.

Motion carried 6-0.

6. Citizen Comments -

Lake Street residents thanked the Commission for their consideration and **Joseph Herbst @ 317 Lake Street** shared an additional concern regarding safety. Herbst stated that emergency vehicles are unable to get through the area during school dismissal hours, and he does not believe an additional parking lot (at PWV 0899235002) would resolve the issue.

7. Adjournment -

Comm. Liebert motioned/seconded by Comm. Hoff to adjourn the December 11, 2025, Regular Plan Commission meeting at approximately 6:53 p.m.

Motion carried 6-0.

Respectfully submitted,

Mackenzie Quigley
Deputy Clerk

DRAFT

TO: Village of Pewaukee Plan Commission
CC: Matt Heiser – Village Administrator, Jenna Peter - Clerk
FROM: Mark Lyons, Planning Consultant
RPT DATE: December 30, 2025
MTG DATE: January 8, 2026
RE: 5a – WCTC Conditional Use Amendment Request

BACKGROUND:

1. Petitioner: Waukesha County Technical College
2. Property Owner: Waukesha County Technical College
3. Location/Address: 800 Main Street
4. Tax Key Number: PWV 0926997001 & 0926996
5. Area: ~1.75 AC
6. Existing Zoning: IPS Institutional and Public Service
7. Proposed Zoning: N/A

OVERVIEW:

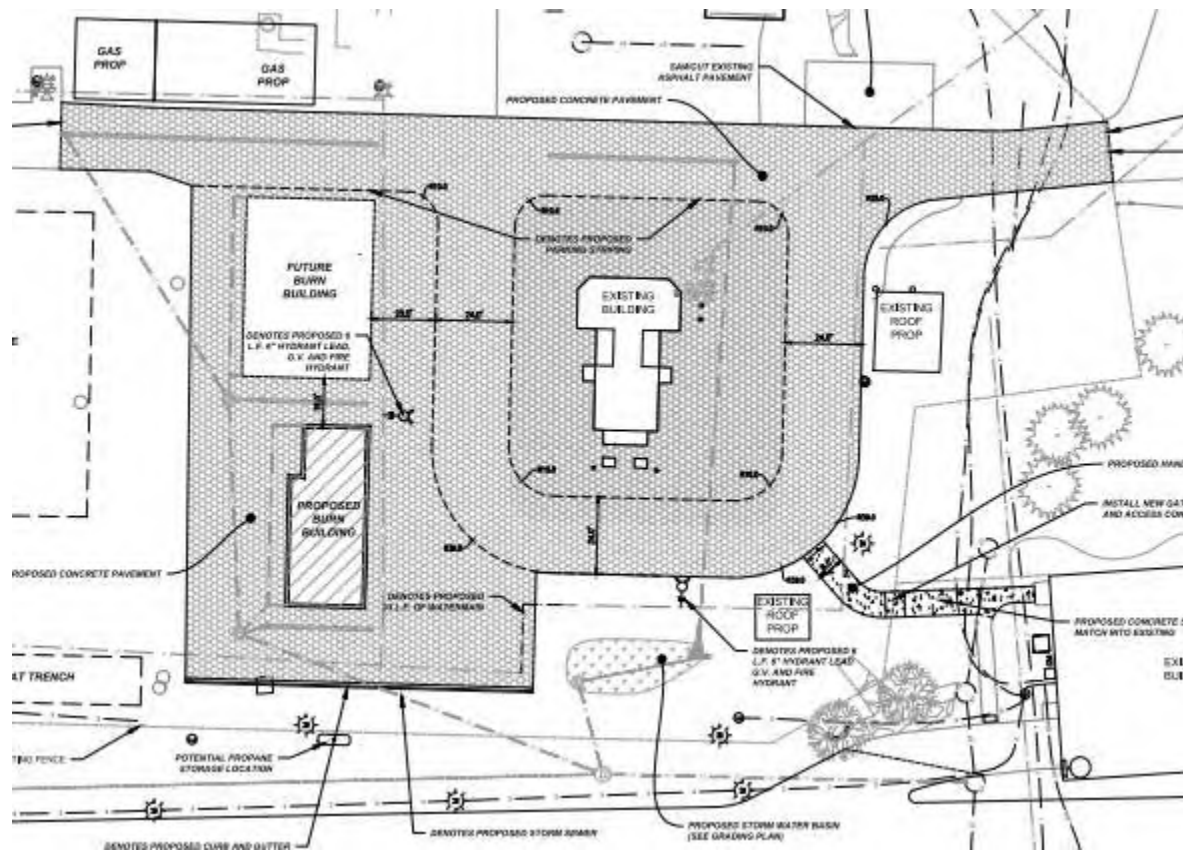
The Petitioners are requesting approval to amend a Conditional Use Grant for an existing fire training area. The applicant was originally approved for a fire training area and tower on February 9th, 2023. Since that time, the applicant has constructed and utilized the previously approved facilities. The applicant is now second to amend that approval to allow for the construction of a second modular burn building to further enhance their fire training area.

SUBMITTAL:

The enclosed submittal includes the Conditional Use Grant application, GIS map and supplemental information for the project.

PLANNER COMMENTS:

In reviewing the subject site, it was determined the best path forward for the applicant was to amend the prior Conditional Use Grant for the fire training area. Below is the site layout from the original approval. Staff would note that the original plans included the potential expansion for a second burn building in the future.



[illegible]

STAFF RECOMMENDATION:

Depending on confirmation by the Village of Pewaukee Plan Commission of the above-described comments, the Village of Pewaukee Plan Commission may take the following actions listed below.

The Village of Pewaukee Plan Commission Approves the Conditional Use Grant Amendment Request Waukesha County Technical College for the property located at **800 Main Street**, subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of January 8, 2026 are met.
2. Continued compliance with the original Conditional Use Grant approved on February 9, 2023.
3. This approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Pewaukee Plan Commission.
4. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission, Village Engineer and Village Planner for the site plan, and other documentation.
5. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
6. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new conditional use approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
7. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
8. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
9. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

EXHIBIT:

- A. GIS Property Location Map
- B. Petitioner Application



WCTC Zoning Map



SEWRPC, Waukesha County Land Information Office

0 100 200
ft
Scale: 1 in. = 451 ft.
1 : 5420



DISCLAIMER: The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

Village of Pewaukee
235 Hickory Street
Pewaukee, WI 53072
262-691-5660

Notes



CONDITIONAL USE GRANT APPLICATION FORM

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukeewi.gov— 262-691-5660

PROPERTY / PROPERTY OWNER INFORMATION ☐

Property Address: 892 Main Street, Pewaukee, WI 53072 Tax Key: PWV 0925999

Property Owner Name: Waukesha County Technical College Zoning of Property: Education

APPLICANT INFORMATION ☐

Applicant Name: Richard Haen Applicant Phone #: 262-691-5301

Applicant Address: 800 Main Street, Pewaukee, WI 53072 Applicant Email: rhaen@wctc.edu

Applicant Email: _____

DESCRIPTION OF REQUEST (Please be thorough and attach additional pages if needed) ☐

Business Name, If applicable: Waukesha County Technical College aka WCTC

FEIN, if applicable: 39-6005054

Description of Proposed Use (Restaurant/Retail/Office) This request is to construct a second modular burn structure on the current fire training grounds used by WCTC fire and EMS programs. The project includes proper surface draining to existing storm water catch basins via existing and new trench drains to control water run off from training sessions and storms water. The exterior color of the modular structure will match the existing structure as well as the existing V building and other buildings located near the emergency vehicle operation course (EVOC) tracks.

DIRECTIONS / NOTES—See page 4 for specific items required ☐

NOTE: As this is for consultative purposes only, an engineering review will not take place at this time. An engineering review will take place if/when a formal application for approval is submitted.

Please include the following required items with this application:

- ☒ 1. One paper copy of the submittal, including plans/drawings/applicable attachments in a size 11x17 page size or less. Also provide one full size scale copy if larger than 11x17.
- ☒ 2. One digital copy of the submittal, including plans/drawings/applicable attachments. (USB/Email)
- ☒ 3. Completed Professional Services Reimbursement Form
- ☒ 4. Signatures on page 3
- ☐ 5. Conditional Use for Restaurant/Night Club must be attached if applicable

For Office Use Only

Staff Initials: _____

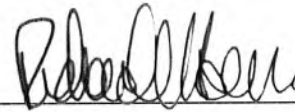
Date/Time Received: _____

Provide detailed information with your application that addresses the following:

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate your application such as architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, site grading and drainage, exterior lighting, dumpster location and screening, outside storage of any sort, and manner of control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & ensure general compatibility of the proposed use within its surroundings.
2. It is the responsibility of the applicant/owner to ensure that the proposed project complies with the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted [Land Use Plan](#) to ensure a proper understanding of the Village's future vision for the area in question.

Richard N. Haen on behalf of WCTC

Property Owner Printed Name

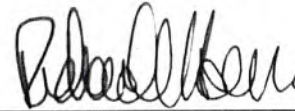


Signature of Property Owner

The application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

Richard N. Haen

Applicant's Printed Name



Signature of Applicant

Return the completed application forms along with the required attachments, **\$190** application fee, and a digital copy of the submittal (plus paper copies if required) to Pewaukee Village Hall, 235 Hickory Street, Pewaukee, WI 53072.

If you have any questions, please call Village Hall at (262) 691-5660.



December 10, 2025

Proposed Addition of Second Modular Burn Building

Dear Sir or Madam,

Waukesha County Technical College (WCTC) respectfully submits this Condition Use Grant Application to support the proposed addition of a second modular burn building on our existing fire training grounds located at 800 Main Street in Pewaukee. The intent of this project is to enhance the quality and realism of firefighter training while maintaining the integrity of our current facilities.

Proposed Use of the Property: The proposed modular burn building will serve as a specialized training structure designed to replicate apartment-style and multi-story buildings commonly found throughout Waukesha County. This addition will allow fire service professionals to train in scenarios that reflect real-world conditions, including vertical firefighting operations and complex interior layouts. Importantly, this project does not involve adding new courses or expanding program offerings; it is solely intended to improve the diversity and effectiveness of existing training exercises.

Existing Use of the Property: The property currently functions as WCTC's Fire Training Grounds, which includes burn buildings and other facilities used for hands-on firefighter training. These structures are essential for providing realistic, controlled environments where students and professionals can practice fire suppression, rescue operations, and safety protocols.

Operational Information: Training activities occur primarily during standard instructional hours, typically between 7:00 AM and 9:00 PM, with occasional sessions on Saturday to accommodate working professionals. All exercises are conducted under strict safety guidelines and supervision by certified instructors. Activities take place both inside and outside the burn structures, but all operations remain confined to the designated training grounds.

Relationship of Proposed Site Layout to Proposed Use: The new modular burn building will be strategically placed within the existing fire training area to complement current facilities without disrupting ongoing operations. Its design will allow for vertical training scenarios, reducing reliance on the existing burn building and thereby minimizing wear and tear on that structure. This thoughtful layout ensures efficient use of space while maintaining safe access and circulation for students and emergency vehicles.



Anticipated Effects on Adjacent/Surrounding Properties: The proposed addition is expected to have minimal impact on adjacent properties. Training activities will continue to be conducted within the established fire training grounds, and no increase in traffic or noise beyond current levels is anticipated. The project will not alter the character of the surrounding area, as the site is already dedicated to fire service education and training.

We believe this addition will strengthen WCTC's ability to prepare firefighters for the unique challenges of our community while preserving the functionality and longevity of existing facilities. Thank you for considering this proposal. Please feel free to contact us with any questions or requests for additional information.

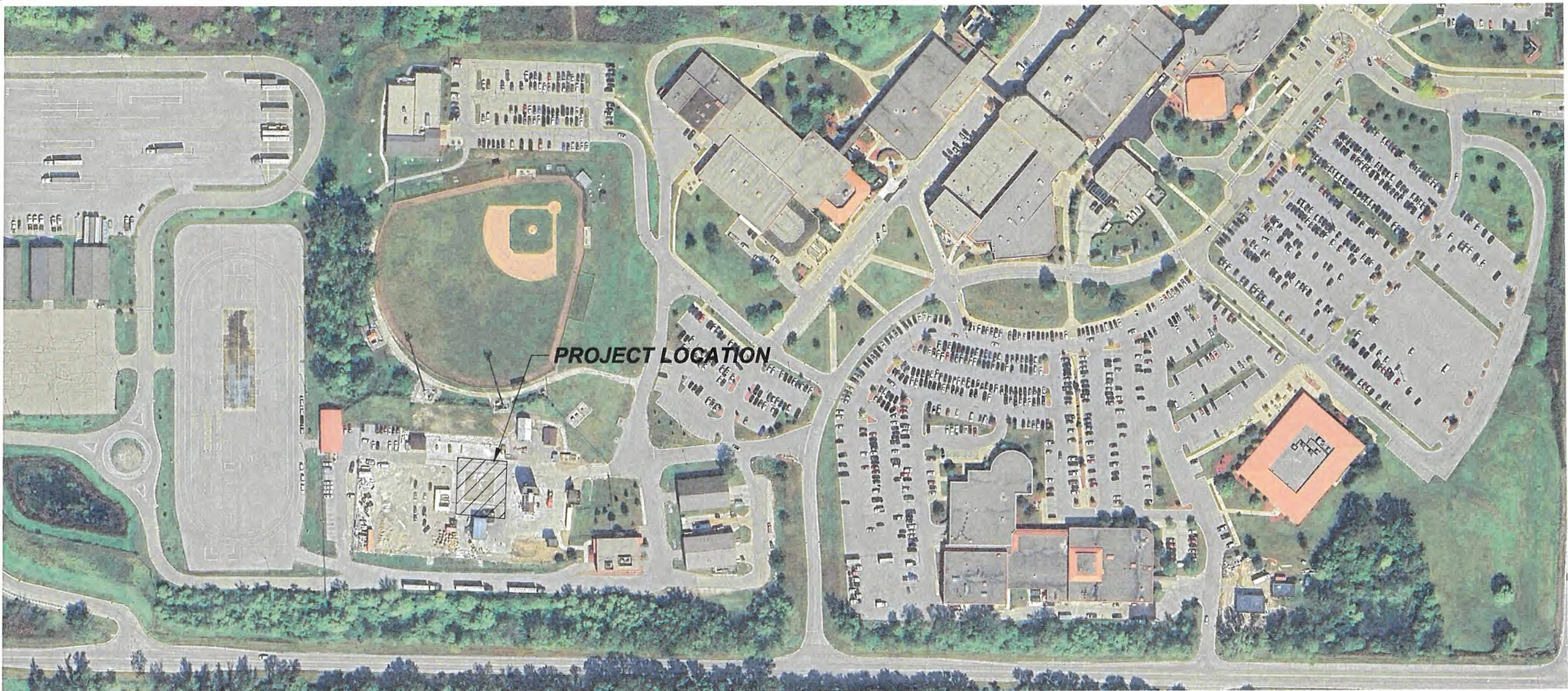
Sincerely,

Richard N. Haen

A handwritten signature in black ink, appearing to read "Richard N. Haen", is written over a horizontal line.

Director of District Facilities

Waukesha County Technical College



HARWOOD

civil - landscape architecture
structural - mechanical - electrical
plumbing / fire protection - security
lighting design - telecommunications

255 North 21st Street,
Milwaukee, Wisconsin 53233
414.475.5554 • hecL.com

Project Name:
**WCTC Burn
Building #2**

Client:



Issuance:

LEGEND:

UTILITY	
EXISTING:	
— W — W —	WATERMAIN
— E — E —	BURIED ELECTRIC
— CHW — CHW —	OVERHEAD WIRE
— GAS — GAS —	GAS LINE
— SAN — SAN — SAN —	SANITARY SEWER
— ST — ST — ST —	STORM SEWER
⊙	UTILITY POLE
⊙	LIGHT POLE
⊙	SANITARY MANHOLE
⊙	FIRE HYDRANT
⊙	WATER VALVE
⊙	STORM SEWER STRUCTURE
PROPOSED:	
— W — W —	WATERMAIN
— E — E —	ELECTRICAL LINE
— GAS — GAS —	GAS LINE
— SAN — SAN — SAN —	SANITARY SEWER
— ST — ST — ST —	STORM SEWER
⊙	WATER VALVE
⊙	STORM SEWER STRUCTURE
⊙	FLARED END SECTION

GRADING	
EXISTING:	
— 160 —	MAJOR CONTOUR
— 160 —	MINOR CONTOUR
EXIST 100.00	EXISTING SPOT ELEVATION
PROPOSED:	
— 160 —	MAJOR CONTOUR
— 160 —	MINOR CONTOUR
100.00	SPOT ELEVATION (FINISHED GRADE, TOP OF PAVEMENT, FLANGE OF CURB)
DOOR 100.00	DOOR ELEVATION
OP 100.00	GROUND GRADE AT BUILDING
100.507/C	SPOT ELEVATION (T/C - TOP OF CURB, E/P - EDGE OF PAVEMENT)
100.507/W	RETAINING WALL SPOT ELEVATION (T/W - GROUND GRADE AT TOP OF WALL, B/W - GROUND GRADE AT BOTTOM)
12" FES 100.008/W	FLARED END SECTION (PIPE SIZE, INVERT ELEVATION)
→	DRAINAGE FLOW DIRECTION
///	EMERGENCY OVERTFLOW ROUTE

SITE	
EXISTING:	
⊗	EXISTING PARKING COUNT
⊗	EXISTING SIGN
⊗	EXISTING ADA PARKING SPACE
PROPOSED:	
⊗	PARKING COUNT
⊗	ADA PARKING SPACE
⊗	SIGN
⊗	TRUNCATED DOMES
↩ ↪ ↴ ↵	PAVEMENT MARKING DIRECTIONAL ARROWS

GENERAL NOTES AND SPECIFICATIONS:

- THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PROVIDED BY CAPITOL SURVEY ENTERPRISES. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UTILITY ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK. QUESTIONS REGARDING THE EXISTING SURVEY SHALL BE DIRECTED TO THE PARTIES LISTED ABOVE.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, EXCAVATE EACH EXISTING LATERAL TO BE CONNECTED TO (VERIFY ELEVATION, LOCATION AND SIZE). SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR EVALUATION.
- ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003), AS WELL AS, THE MUNICIPAL CONSTRUCTION STANDARDS AND THE DEPT. OF SAFETY AND PROFESSIONAL SERVICES SEC. 382-387.
- ALL PERMITS MUST BE RECEIVED FROM THE MUNICIPALITY PRIOR TO THE START OF CONSTRUCTION. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE ALL APPLICABLE PERMITS ARE RECEIVED PRIOR TO STARTING CONSTRUCTION.
- NOTIFY THE PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
- BACKFILL REQUIREMENTS AND ROADWAY/SIDEWALK RESTORATION SHALL ADHERE TO LOCAL STANDARDS (GRANULAR BACKFILL UNDER OR WITHIN 5' OF CURBS, SIDEWALK, OR PAVEMENT SPOIL MAY BE USED ELSEWHERE. SLOPPY BACKFILL WILL BE REQUIRED IN PUBLIC ROADWAYS.)
- PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
- AS A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NONMETALLIC UTILITIES MUST BE PROVIDED. PROVIDE TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS SECTIONS 182.0715(2R) OF THE STATE STATUTES.
- UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- ALL MANHOLES, CATCH BASINS, INLETS, VALVES BOXES, ETC WITHIN THE PROJECT AREA SHALL BE RESET AND ADJUSTED TO MATCH FINISH GRADE.
- ALL EXCAVATED OR STRIPPED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION.
- MATCH PROPOSED CONCRETE CURB AND GUTTER, SIDEWALK AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
- REMOVAL OF CURB AND GUTTER, SIDEWALK AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T.
- ALL CONCRETE FOR CURB AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 4000 PSI.
- PROTECT ALL PROPERTY CORNERS.
- REPAIR ANY DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS. DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
- AS-BUILTS ARE TO BE PROVIDED TO THE CLIENT TRACKING ANY CHANGES THAT OCCURRED DURING CONSTRUCTION.



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "TONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

Scale: 1" = 100'



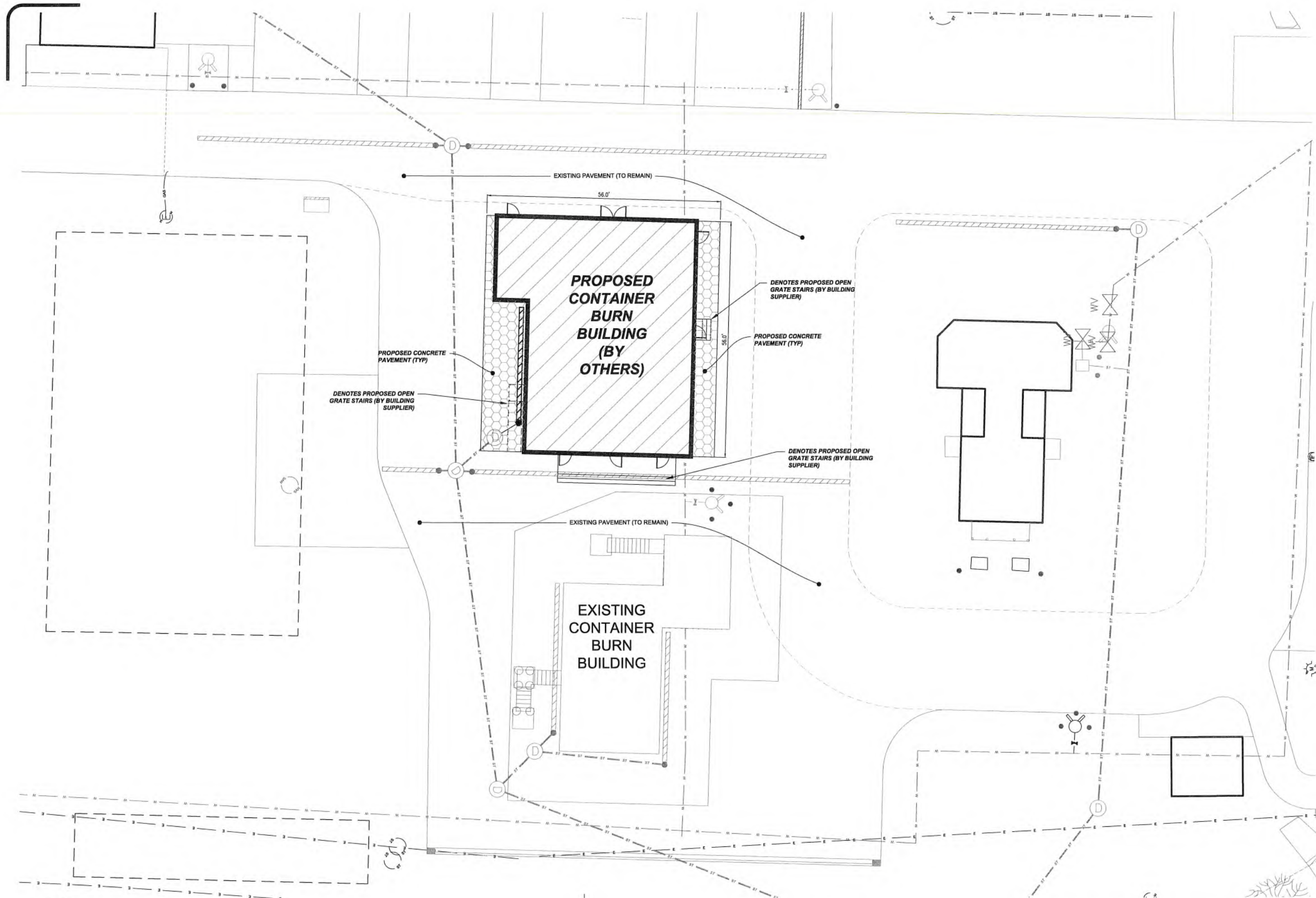
Date: 12/10/2025

Project Number:

Sheet Name:
**PROJECT
LOCATION AND
GENERAL NOTES**

Sheet Number:

C1.10



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "TONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

HATCH LEGEND	
	PROPOSED CONCRETE PAVEMENT



HARWOOD

civil • landscape architecture
structural • mechanical • electrical
plumbing / fire protection • security
lighting design • telecommunications

255 North 21st Street,
Milwaukee, Wisconsin 53233
414.475.5554 • hecL.com

Project Name:
**WCTC Burn
Building #2**

Client:



Issuance:

Scale: 1" = 10'



Date: 12/10/2025

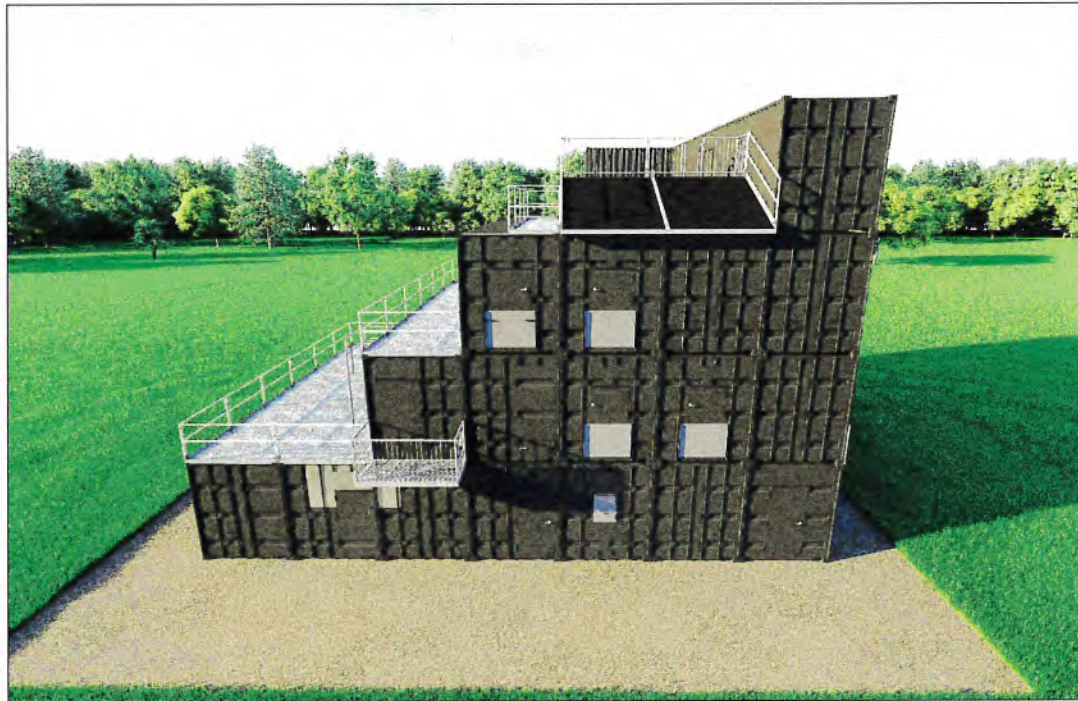
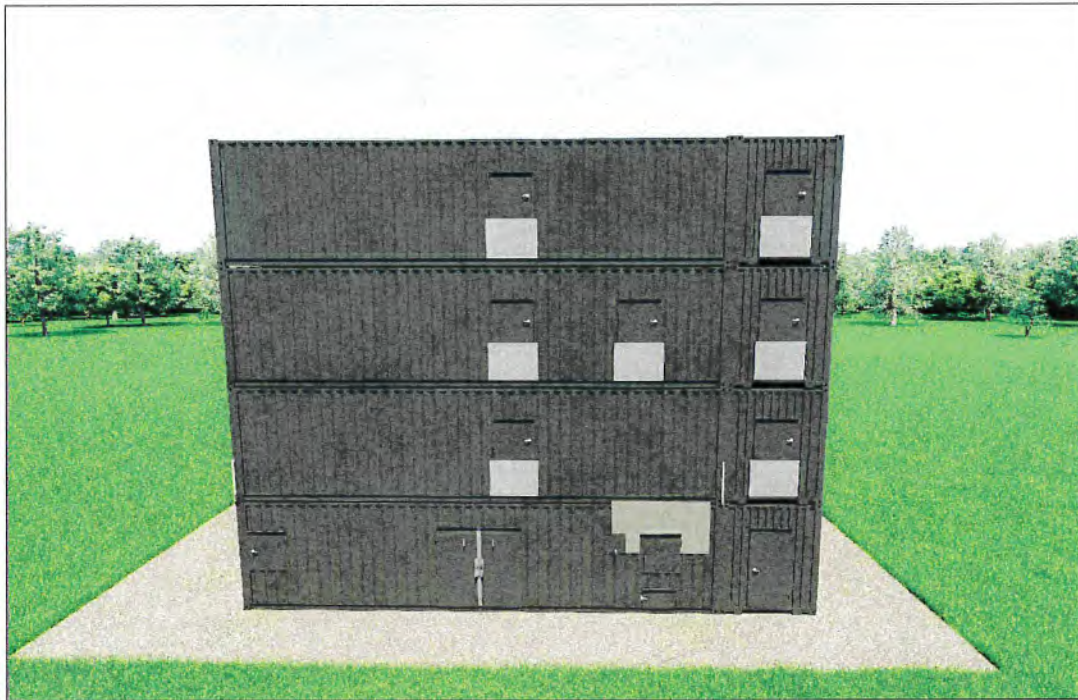
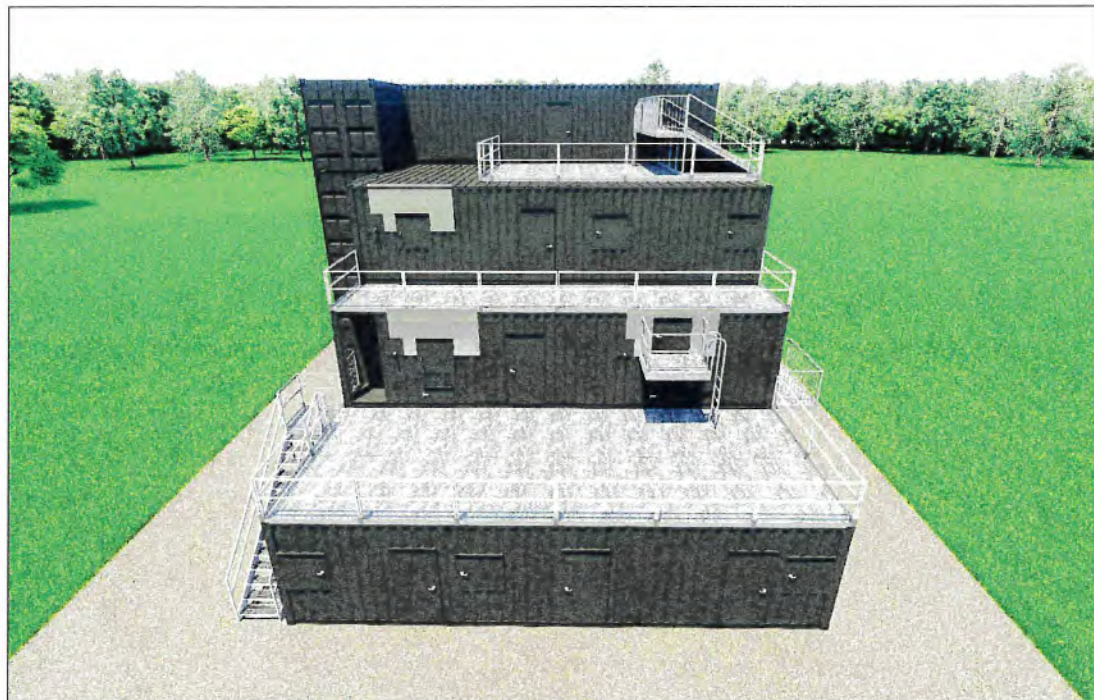
Project Number:

Sheet Name:
SITE PLAN

Sheet Number:

C1.11

PROPOSAL FOR FIRE TRAINING PROP WAUKESHA COUNTY T.C. - PEWAUKEE, WI.



CONCEPTUAL VIEWS

UNIT SPECIFICATIONS

- 17 - 40' CONTAINERS
- 4 - 20' CONTAINERS
- 3 - 40' DECKING W/ RAILINGS
- 3 - 28' DECKING W/ RAILINGS
- 1 - EXTERIOR STAIRCASE W/ 4' LANDING
- 3 - INT. SWITCHBACK STAIRCASE
- 4 - INT. STRAIGHT RUN STAIRCASE
- 1 - DENVER DRILL WINDOW
- 1 - BASEMENT BAILOUT (BURN) WINDOW
- 18 - 36X36 WINDOW
- 28 - 36X80 DOOR
- 1 - DOUBLE FORCED ENTRY DOOR
- 3 - FORCED ENTRY DOOR
- 2 - 30' WALK-THROUGH
- 3 - 20' WALK-THROUGH
- 3 - 16' WALK-THROUGH
- 4 - 14' WALK-THROUGH
- 2 - 12' WALK-THROUGH
- 3 - 8' WALK-THROUGH
- 5 - 6' WALK-THROUGH
- 2 - 4' WALK-THROUGH
- 2 - 8' KNEE WALL
- 1 - 5' KNEE WALL
- 1 - 4'X4' RECESSED DOORWAY
- 1 - 4'X4' RECESSED BALCONY
- 1 - 4'X8' CANT. BALCONY
- 1 - JIB CRANE
- 1 - 16'X8' SINGLE PITCH ROOF PROP
W/ NO SAFETY GATES
W/ NO TOE-KICKS ON FRONT
W/ 1'-0" OVERHANG
- 1 - 16'X3' CAT WALK ATTACHED TO BACK OF
ROOF PROP
- 1 - BENCH PROP
- 1 - LAUNDRY PROP
- 1 - 3LVL STANDPIPE
- 1 - 12'X8' OPEN BAY BURN AREA
- 1 - 8'X16' BURN AREA
- 1 - 8'X18' LOW TEMP BURN AREA
- 1 - 12'X14' BURN ROOM
- 1 - 20'X16' BURN ROOM
- 1 - 12'X12' BURN ROOM
- 3 - 4' WIDE BURN APRON
- 1 - 6' WIDE BURN APRON
- 4 - HIGH/LOW RTD SYSTEMS
- 3 - BURN CART
- 1 - BED BURN PROP
- 3 - HI/LOW WALL MOUNTED BURN BASKET
- 7 - BURN DOOR
- 5 - BURN WINDOW
- 5 - MECH VENT
- 5 - FLUSH-OUT HATCH
- 54 - FLOOR DRAINS
- TRAINING AREA = 8,000 SQ.FT.

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TRAINING SYSTEMS"

AMERICAN FIRE TRAINING SYSTEMS, INC.
12315 SOUTH NEW AVE., POB #39
LEMONT, ILLINOIS 60439
(630) 257-0112



PROPOSAL FOR FIRE TRAINING PROP
WAUKESHA COUNTY T.C. - PEWAUKEE, WI.

DRAWN BY: J.T.B.

REV: 1

DATE: 08-22-25

SCALE: -

PROJECT #: J00106

DWG #:

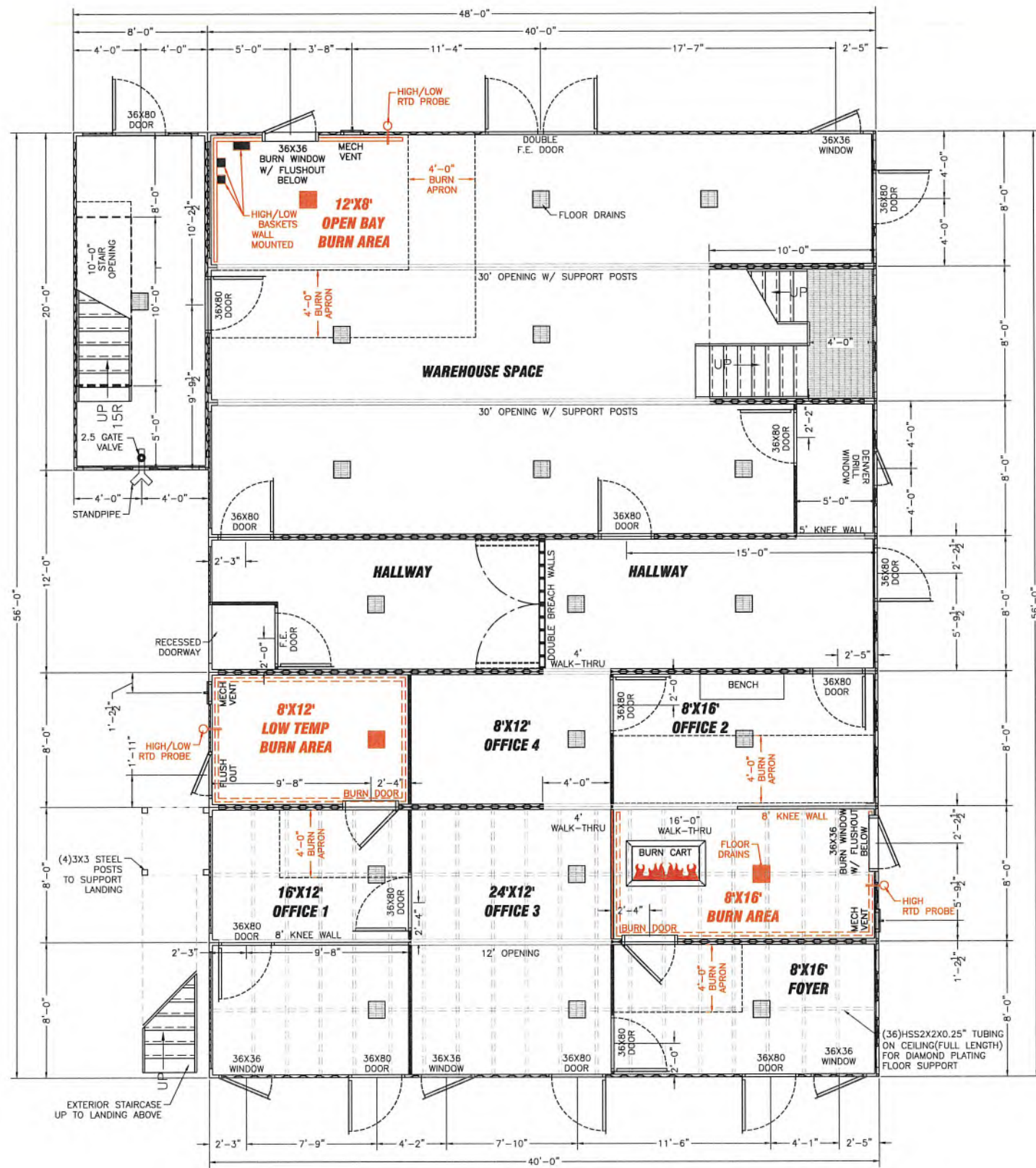
A00

ALL FLOORS TO BE SCORPION LINED
TO PREVENT WARPING

ALL WINDOWS TO BE 36" ABOVE FLOOR
LEVEL

ALL STAIR DIMENSIONS TO BE TO STAIR
OPENING ONLY

B



A

FIRST FLOOR LEVEL

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PROPOSAL FOR FIRE TRAINING PROP
WAUKESHA COUNTY T.C. - PEWAUKEE, WI.

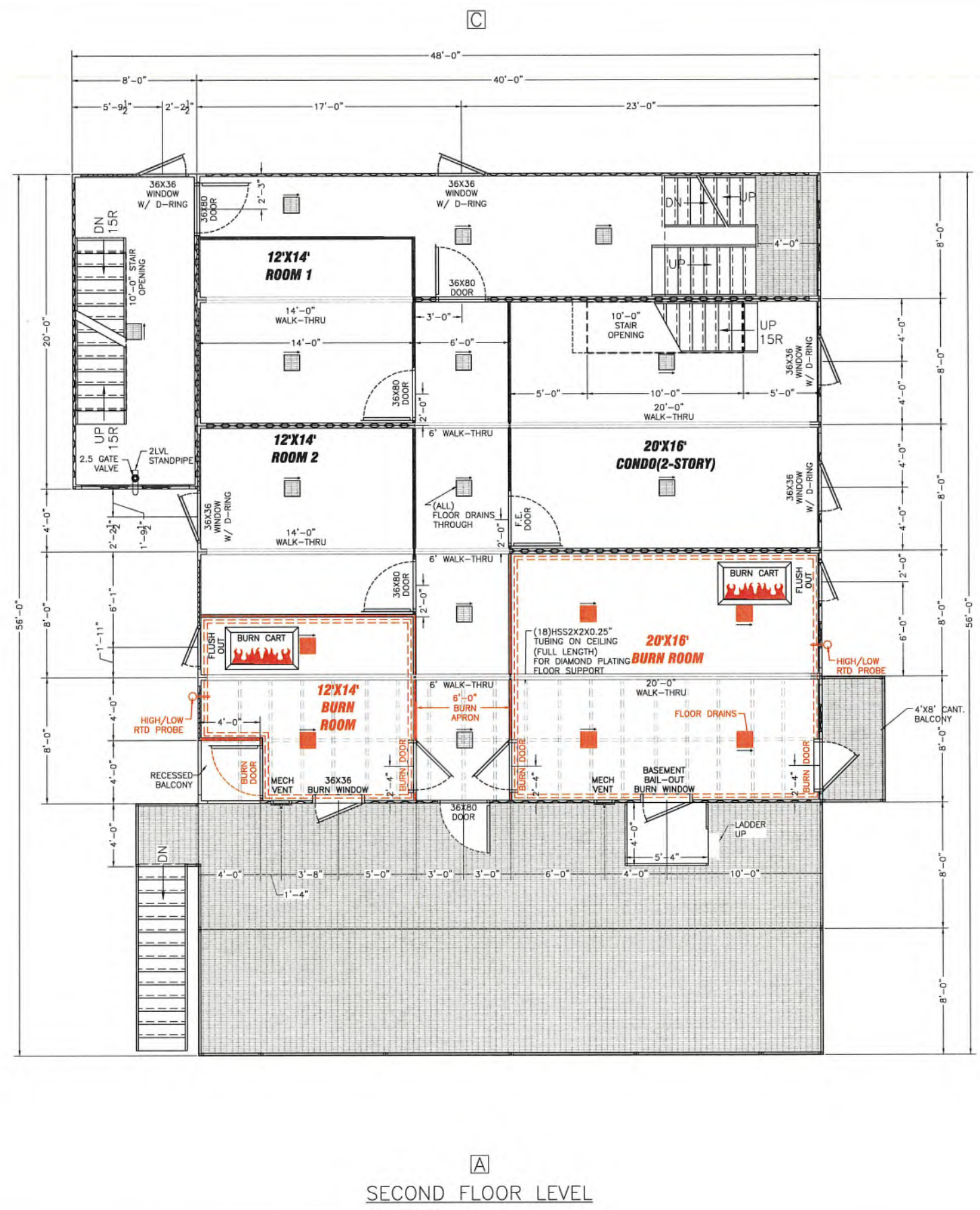
DRAWN BY: J.T.B.
REV: 1
DATE: 08-22-25
SCALE: 1/8"=1'-0"
PROJECT #: J00106
DWG #:
A01

ALL FLOORS TO BE SCORPION LINED
TO PREVENT WARPING

ALL WINDOWS TO BE 36" ABOVE FLOOR
LEVEL

ALL STAIR DIMENSIONS TO BE TO STAIR
OPENING ONLY

B



A
SECOND FLOOR LEVEL

D

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PROPOSAL FOR FIRE TRAINING PROP
WAUKESHA COUNTY T.C. - PEWAUKEE, WI.

DRAWN BY: J.T.B.
REV: 1
DATE: 08-22-25
SCALE: 1/8"=1'-0"
PROJECT #: J00106
DWG #:

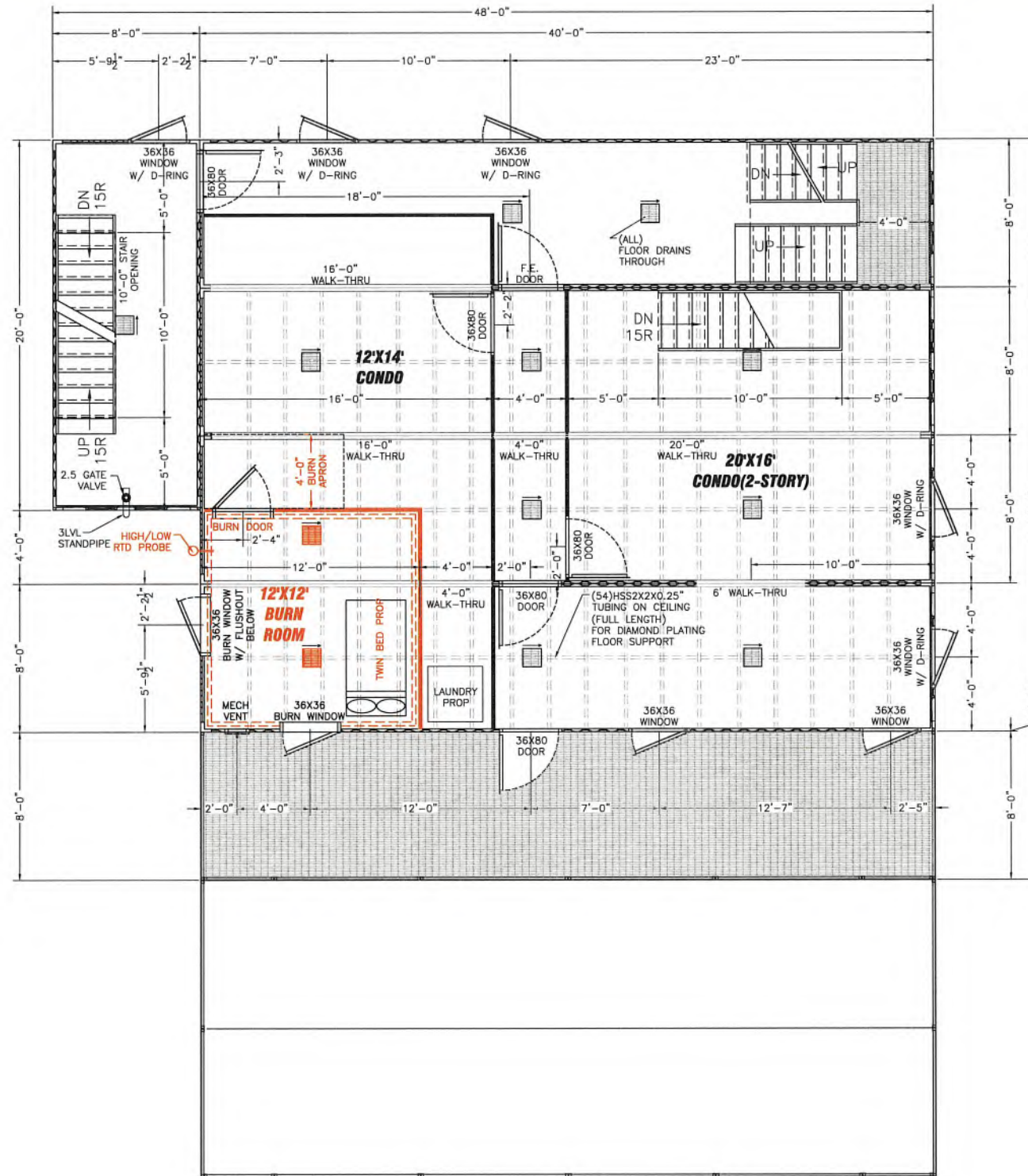
A02

ALL FLOORS TO BE SCORPION LINED
TO PREVENT WARPING

ALL WINDOWS TO BE 36" ABOVE FLOOR
LEVEL

ALL STAIR DIMENSIONS TO BE TO STAIR
OPENING ONLY

B



A

THIRD FLOOR LEVEL

D

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PROPOSAL FOR FIRE TRAINING PROP
WAUKESHA COUNTY T.C. - PEWAUKEE, WI.

DRAWN BY: J.T.B.
REV: 1
DATE: 08-22-25
SCALE: 1/8"=1'-0"
PROJECT #: J00106
DWG #:

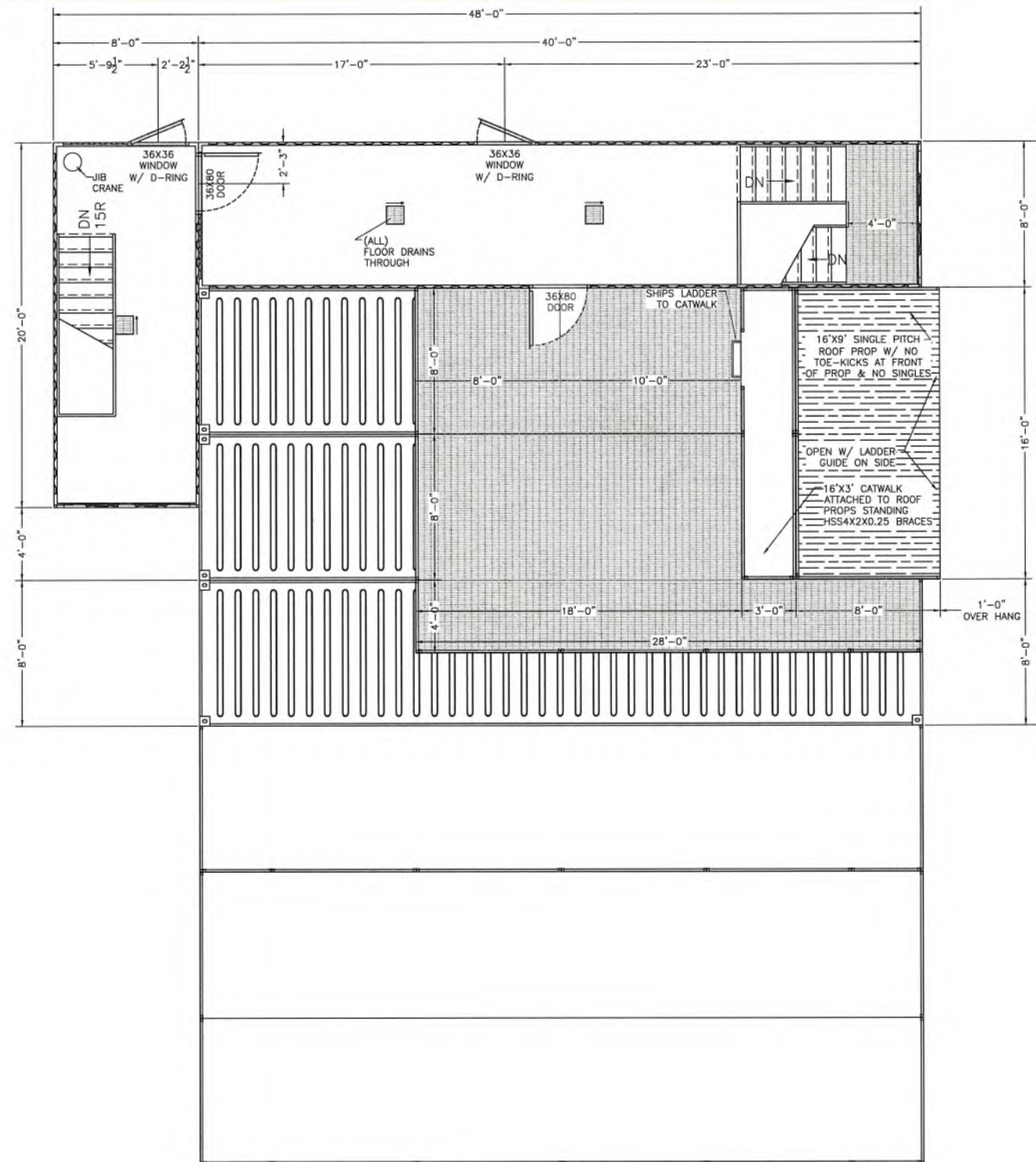
A03

ALL FLOORS TO BE SCORPION LINED
TO PREVENT WARPING

ALL WINDOWS TO BE 36" ABOVE FLOOR
LEVEL

ALL STAIR DIMENSIONS TO BE TO STAIR
OPENING ONLY

B



A

FOURTH FLOOR LEVEL

D

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PROPOSAL FOR FIRE TRAINING PROP
WAUKESHA COUNTY T.C. - PEWAUKEE, WI.

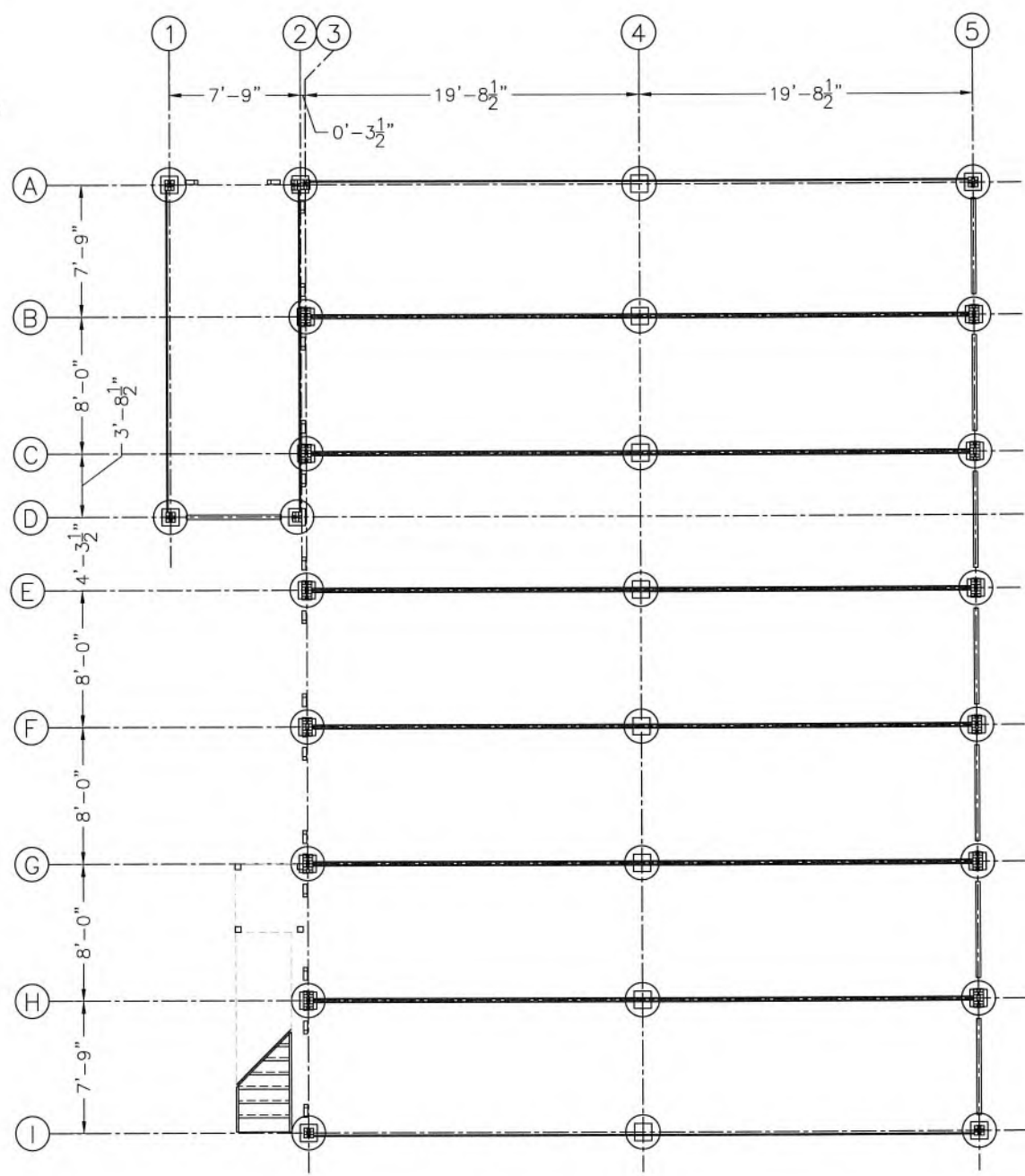
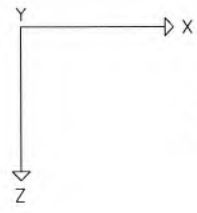
DRAWN BY: J.T.B.
REV: 1
DATE: 08-22-25
SCALE: 1/8"=1'-0"
PROJECT #: J00106
DWG #:

A04

FDN. MARK	1			2			3			4			5			6			7			8		
	DEAD LOAD			LIVE LOAD			WIND LOAD			SNOW LOAD			EARTHQUAKE											
	Fx(kip)	Fy(kip)	Fz(kip)	Fx(kip)	Fy(kip)	Fz(kip)	Fx(kip)	Fy(kip)	Fz(kip)	Fx(kip)	Fy(kip)	Fz(kip)	Fx(kip)	Fy(kip)	Fz(kip)									
A7	0.00	5.99	0.00	0.00	1.34	0.00	-0.79	-3.72	-0.93	0.00	0.70	0.00	-0.98	-3.13	-1.17									
A8	0.00	7.16	0.00	0.00	17.81	0.00	0.43	-3.51	-0.96	0.00	0.81	0.00	0.01	-1.59	-0.99									
B1	0.00	6.28	0.00	0.00	20.71	0.00	-1.31	-5.76	-1.07	0.00	1.14	0.00	-1.70	-4.70	-1.42									
B3	0.00	10.21	0.00	0.00	33.52	0.00	-0.01	-8.14	-0.95	0.00	1.75	0.00	-1.63	-4.06	-1.22									
B5	0.00	12.28	0.00	0.00	36.52	0.00	0.42	-7.64	-0.25	0.00	1.86	0.00	-1.27	-2.04	-1.25									
C1	0.00	8.83	0.00	0.00	33.94	0.00	-1.77	-8.46	-0.05	0.00	2.00	0.00	-1.60	-3.96	-1.25									
C3	0.00	13.77	0.00	0.00	54.29	0.00	0.02	-11.91	-0.01	0.00	2.92	0.00	-2.17	-2.61	-1.69									
C5	0.00	12.33	0.00	0.00	42.11	0.00	0.99	-8.32	0.06	0.00	2.28	0.00	-1.38	-0.66	-1.33									
D7	0.00	3.82	0.00	0.00	13.24	0.00	0.20	-2.81	-0.04	0.00	0.76	0.00	-0.65	-0.04	-1.19									
D8	0.00	8.99	0.00	0.00	27.16	0.00	-0.15	-5.07	-0.26	0.00	1.60	0.00	-0.34	1.22	-1.87									
E1	0.00	8.92	0.00	0.00	35.95	0.00	-1.81	-8.48	0.17	0.00	2.23	0.00	-1.47	-2.93	-1.41									
E3	0.00	13.78	0.00	0.00	56.78	0.00	0.06	-12.08	0.20	0.00	3.38	0.00	-2.16	-1.46	-1.79									
E5	0.00	12.37	0.00	0.00	43.98	0.00	0.96	-8.55	-0.19	0.00	2.64	0.00	-1.46	0.57	-1.42									
F1	0.00	8.69	0.00	0.00	36.43	0.00	-1.36	-7.43	0.13	0.00	2.14	0.00	-1.30	-1.95	-1.31									
F3	0.00	13.23	0.00	0.00	58.39	0.00	-0.28	-10.81	0.32	0.00	3.10	0.00	-2.03	-0.35	-1.70									
F5	0.00	13.08	0.00	0.00	47.83	0.00	0.83	-8.92	0.28	0.00	2.97	0.00	-1.42	1.70	-1.61									
G1	0.00	5.85	0.00	0.00	25.58	0.00	-1.28	-5.62	0.95	0.00	2.12	0.00	-0.69	0.00	-0.49									
G3	0.00	9.14	0.00	0.00	47.34	0.00	-0.04	-7.34	1.00	0.00	5.13	0.00	-1.32	1.63	-1.00									
G6	0.00	8.80	0.00	0.00	32.48	0.00	0.13	-5.82	0.90	0.00	2.71	0.00	-0.68	3.06	-1.15									
G8	0.00	7.30	0.00	0.00	24.11	0.00	0.74	-4.30	0.98	0.00	1.90	0.00	-0.96	3.87	-1.64									
H2	0.00	4.48	0.00	0.00	22.52	0.00	0.04	-3.84	-0.22	0.00	2.22	0.00	-1.28	0.16	-0.41									
H4	0.00	4.66	0.00	0.00	22.38	0.00	0.33	-3.21	-0.21	0.00	2.31	0.00	-1.17	0.76	-0.39									
I2	0.00	0.82	0.00	0.00	10.40	0.00	0.01	0.08	0.00	0.00	2.23	0.00	-0.06	-0.08	-0.01									
I4	0.00	0.82	0.00	0.00	10.61	0.00	-0.01	0.22	0.00	0.00	2.28	0.00	-0.05	-0.04	-0.01									

PEWAUKEE, WI. FIRE DEPARTMENT TRAINING FACILITY UNFACTORED FOUNDATION LOAD CASES

NORTH = -X UPLIFT = -Y
SOUTH = +X
EAST = +Z
WEST = -Z



STEEL INSERT PLATE LAYOUT
TOP OF INSERT PLATE IS AT LOCAL ELEVATION 0.00'

STEEL INSERT PLATE LAYOUT ONLY. NO FOUNDATION DESIGN IS PROVIDED OR RECOMMENDED IN THIS LAYOUT, OR THE PROPOSAL PLAN SET.

RECOMMENDED PIER DESIGN ONLY. LOCAL SOIL AND CODE REQUIREMENTS MAY REQUIRE CHANGE IN DESIGN. SEE LOCAL CODE.

NOTE:
PLATES TO BE 1/2" ABOVE TOP OF CONCRETE AND WELDED TO CORNER CASTERS.

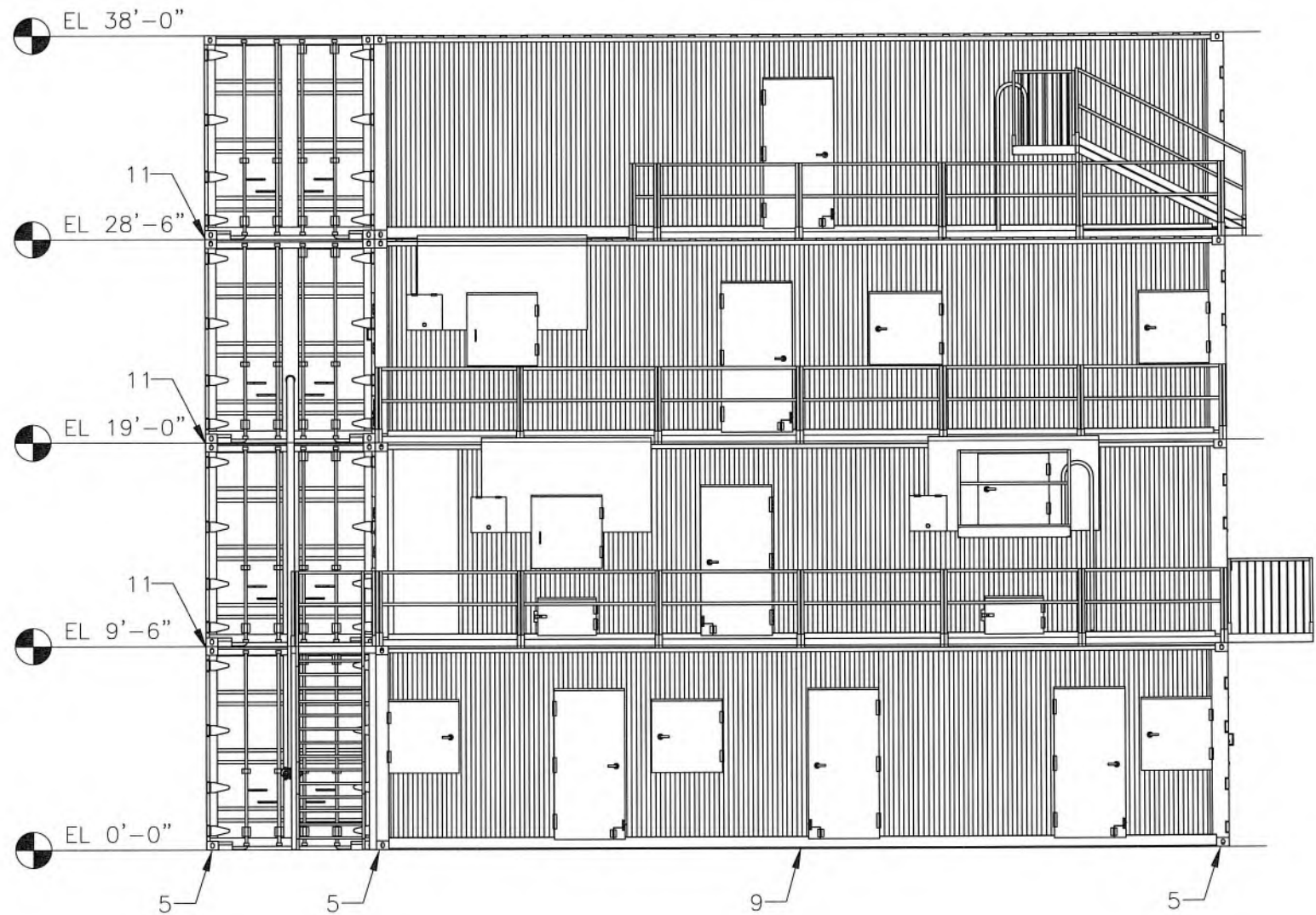
12X12X1/2 PL
REBAR LEGS WELDED TO PLATE

DETAIL "B"

Itemref	Quantity	Title/Name, designation, material, dimension etc			Article No./Reference	
Designed by	Checked by	Approved by - date	File name	Date	Scale	
-	-	-	J00106	08-22-25	AS NOTED	
AFTS			WAUKESHA COUNTY T.C.			
			PIER LAYOUT	Edition	Sheet	
				-	S02	

	1	2	3
	ATTACHMENT NOTES		
A	1	REFER TO SHEET S01 FOR GENERAL STRUCTURAL NOTES	
	2	REFER TO SHEET S02 FOR FOUNDATION REQUIREMENTS	
	3	ISO CONTAINER	
	4	ISO CONTAINER BEYOND	
	5	SEE DETAIL 01 ON SHEET S07	
B	6	SEE DETAIL 02 ON SHEET S07	
	7	SEE DETAIL 03 ON SHEET S07	
	8	SEE DETAIL 04 ON SHEET S07	
	9	SEE DETAIL 05 ON SHEET S07	
	10	SEE SHEET S08	
	11	SEE SHEET S9	
	12	SEE SHEET S10	

RevNo	Revision note	Date	Signature	Checked
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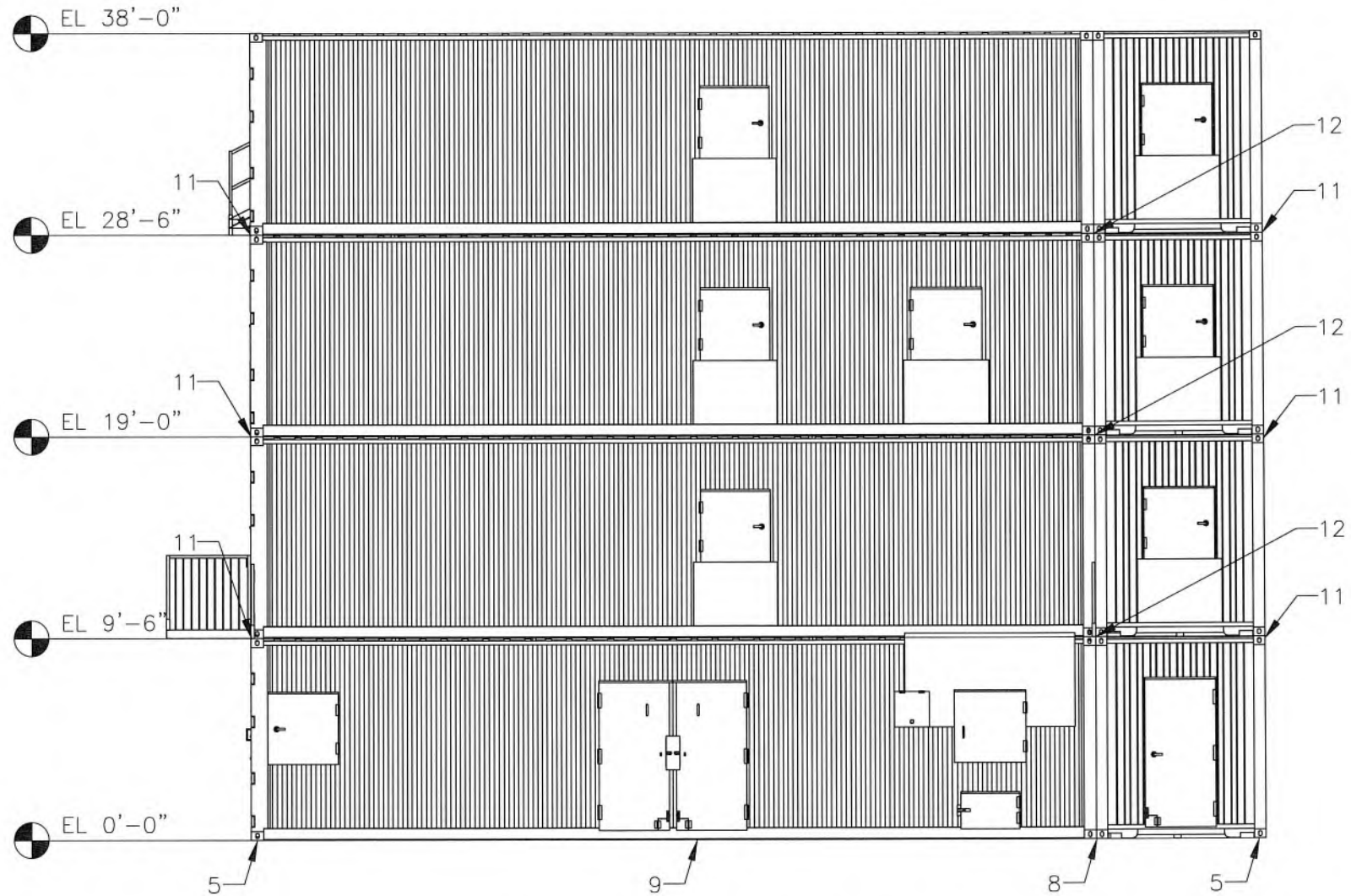


SOUTH ELEVATION VIEW

Itemref	Quantity	Title/Name, designation, material, dimension etc			Article No./Reference	
Designed by JTB		Checked by -	Approved by - date -	File name J00106	Date 08-22-25	Scale AS NOTED
AFTS			WAUKESHA COUNTY T.C.			
			ATTACHMENT LOCATIONS		Edition -	Sheet S03

ATTACHMENT NOTES	
1	REFER TO SHEET S01 FOR GENERAL STRUCTURAL NOTES
2	REFER TO SHEET S02 FOR FOUNDATION REQUIREMENTS
3	ISO CONTAINER
4	ISO CONTAINER BEYOND
5	SEE DETAIL 01 ON SHEET S07
6	SEE DETAIL 02 ON SHEET S07
7	SEE DETAIL 03 ON SHEET S07
8	SEE DETAIL 04 ON SHEET S07
9	SEE DETAIL 05 ON SHEET S07
10	SEE SHEET S08
11	SEE SHEET S9
12	SEE SHEET S10

RevNo	Revision note	Date	Signature	Checked
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NORTH ELEVATION VIEW

Itemref	Quantity	Title/Name, designation, material, dimension etc			Article No./Reference	
Designed by JTB		Checked by -	Approved by - date -	File name J00106	Date 08-22-25	Scale AS NOTED
AFTS				WAUKESHA COUNTY T.C.		
				ATTACHMENT LOCATIONS	Edition -	Sheet S04

