



## PLAN COMMISSION AGENDA

October 14, 2021 – 7:00 pm

Village Hall  
235 Hickory Street, Pewaukee, WI 53072

1. Call to Order and Roll Call
2. Public Hearings.
  - a. To construct a garage addition to the existing residence at 510 Park Avenue that will be offset 6.3 feet from the east/northeast lot line where 10 feet is ordinarily required by Code. The property owner/applicant is Amanda Donath. The property is zoned R-5 Single-Family Residential District.
  - b. To locate a dine-in, sit down type restaurant use (i.e. First Watch-The Daytime Cafe) including both indoor and outdoor seating space, in the north tenant space of the proposed new multi-tenant Building #4 on Lot #3 of the Shops at Meadow Ridge Planned Unit Development (PUD). The property address is 1466 Capitol Drive. The property owner/applicant is Meadow Ridge Shops LLC in c/o John Thompson. The property is Zoned B-1 Community Business District with PUD Overlay.
3. Citizen Comments – *This is an opportunity for citizens to share their opinions with Board Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Board is not able to answer questions or respond to your comments. All comments should be directed to the Board. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*
4. Approval of the Minutes:
  - a. Regular Plan Commission Meeting – September 9, 2021
5. Old Business
  - a. Review, discussion and possible action/recommendation to the Village Board regarding the Village of Pewaukee Comprehensive Plan update in progress. There may also be discussion regarding its relationship(s)/connectivity to the recently completed Village of Pewaukee Strategic Plan Update.
6. New Business.
  - a. Review, discussion and possible approval of a Sign Code waiver request to place a freestanding sign at zero feet setback from the front lot line at 135 Dynex Drive. The applicant is Lisa Wenger d/b/a Healing Haven. The property owner is Terra Engineering & Construction Corporation. This site is zoned B-2 Downtown Business District.
  - b. To construct a garage addition to the existing residence at 510 Park Avenue that will be offset 6.3 feet from the east/northeast lot line where 10 feet is ordinarily required by Code. The property owner/applicant is Amanda Donath. The property is zoned R-5 Single-Family Residential District.

- c. To locate a dine-in, sit down type restaurant use (i.e. First Watch-The Daytime Cafe) including both indoor and outdoor seating space, in the north tenant space of the proposed new multi-tenant Building #4 on Lot #3 of the Shops at Meadow Ridge Planned Unit Development (PUD). The property address is 1466 Capitol Drive. The property owner/applicant is Meadow Ridge Shops LLC in c/o John Thompson. The property is Zoned B-1 Community Business District with PUD Overlay.
- d. Review, discussion and consultative feedback to the applicant, Wellspring Construction Group LLC (in/c/o Tim Knepprath), to add the use “mini-warehousing” to the list of conditional uses that can be considered for approval in the B-5 Zoning District in order to make that use available to themselves for possible development on the lands located just north of and adjacent to the existing uses/building located at 227 Sussex Street. The property is Zoned B-5 Light Industrial.
- e. Review, discussion and possible approval of the building, site and operating plans for the proposed accessory use “veterans memorial tower with related walking paths, seating/reflection area, lighting, landscaping, and shelter” to be located in the southeast quadrant of Kiwanis Village Park located at 325 Capitol Drive. The property is zoned P-1 Park & Recreation District. The property owner is the Village of Pewaukee.

7. Citizen Comments. – *This is an opportunity for citizens to share their opinions with Board Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Board is not able to answer questions or respond to your comments. All comments should be directed to the Board. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*

8. Adjournment

Note: It is possible that members and/or possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; action will not be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in the notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. To request such assistance, contact the Village Clerk at 262-691-5660.

Dated: October 8, 2021



## 9/9/2021 Plan Commission Meeting

### Meeting Minutes

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**VILLAGE OF PEWAUKEE  
PLAN COMMISSION MEETING MINUTES  
September 9, 2021 – 7:00 pm**

**DRAFT - DRAFT - DRAFT- DRAFT - DRAFT- DRAFT - DRAFT- DRAFT - DRAFT - DRAFT - DRAFT**

#### 1. Call to Order and Roll Call

Village Clerk Smith called the meeting to order at approximately 7:03 p.m.

Smith asked for nominations for an acting chairperson for the September 9, 2021 meeting in President Knutson's absence.

Comm. Mantz motioned, seconded by Comm. Lange to appoint Trustee Roberts as acting chairperson for the September 9, 2021, Regular Plan Commission Meeting. No other nominations were voiced and Trustee Roberts accepted the nomination.

Motion carried 5-0.

Plan Commission members present: Comm. Theresa Hoff, Comm. Cheryl Mantz, Comm. Ryan Lange, Comm. Brian Belt, Trustee Craig Roberts. President Jeff Knutson was excused and Comm. Jim Grabowski was absent.

Also in attendance: Village Planner Mary Censky, Village Attorney Matt Gralinski, Village Clerk, Cassie Smith.

#### 2. Public Hearings – None.

#### 3. Citizen Comments - None.

#### 4. Approval of the Minutes:

##### a. Regular Plan Commission Meeting – August 12, 2021

Comm. Lange motioned, seconded by Comm. Belt to approve the minutes of the August 12, 2021, Regular Plan Commission meeting as presented.

Motion carried 5-0.

The Plan Commission unanimously decided to review item 6a before 5a.

#### 5. Old Business

a. Review and discussion regarding portions of the Village of Pewaukee Comprehensive Plan update in progress (i.e. Chapter 8 - Transportation and Facilities Element and Chapter 9 – Implementation and Intergovernmental Cooperation). There may also be discussion regarding its relationship(s)/connectivity to the recently completed Village of Pewaukee Strategic Plan Update.

Planner Censky reviewed the proposed changes to Chapters 8 and 9 of the Comprehensive Plan update. Trustee Roberts questioned if the safe crosswalks leading to the quiet zone and/or the Transportation Utility Fund should be included in Chapter 9 of the update. Planner Censky stated that the first time (10 years ago) the County was our partner in gathering the data and because the County is waiting for the census to be updated before the next Countywide Comprehensive Plan update some data may not be up to date but as

soon as the County updates their document we will shadow their work and possibly incorporate some of the changes. Censky stated that at the next meeting a complete draft will be given to the members for review and when complete it will be recommended to the Village Board for review and for public hearing/input.

**b. Review and possible recommendation to Village Board regarding Village of Pewaukee Comprehensive Plan updates.**

No recommendation was made.

**6. New Business**

**a. Review, discussion and consultative feedback on a conceptual plan submitted by applicant Bell Tower Memorial, in c/o Cheri Enters, to develop a passive use veterans memorial tower with related walking paths, seating/reflection area, lighting and landscaping, in the southeast quadrant of Kiwanis Village Park located at 235 Capitol Drive. The property is zoned P-1 Park & Recreation District. The property owner is the Village of Pewaukee.**

Planner Censky stated that the Bell Tower Memorial group would like feedback on the possibility of utilizing the southeast section of Kiwanis Village Park to install a veteran memorial tower and walking path. The area will be illuminated and landscaped. Cheri Enters, representative of the Bell Tower Memorial group explained that the proposed bell tower as originally designed was too expensive so they are looking at a more scaled-down approach. She stated that the Park and Recreation Board seemed favorable of the idea when discussed at a recent meeting. She indicated that the area would have electricity to serve a possible microphone to be used during special events and that they are interested in placing a pavilion-type structure. Censky responded to Roberts, the area proposed is not a high moving floodwaters type of flood risk, more of a flood storage zone but, if this item proceeds it would need the Village Engineers review. Comm. Mantz suggested that a separate area on the left side of the parking lot be used so the memorial would be more visible. The discussion was favorable on the conception of the project as presented.

**7. Citizen Comments - None.**

**8. Adjournment**

**Comm. Mantz motioned, seconded by Comm. Lange to adjourn the September 9, 2021, Regular Plan Commission Meeting at approximately 7:56 p.m.  
Motion carried 5-0.**

Respectfully submitted,

Cassandra Smith  
Village Clerk

## STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: October 14, 2021

### **General Information:**

**Agenda Item: 5.a.**

**Applicant:**

N/A

**Status of Applicant:**

Village initiated item

**Requested Action:**

Review, discussion and possible action/recommendation to the Village Board regarding the Village of Pewaukee Comprehensive Plan update in progress. There may also be discussion regarding the relationship(s)/connectivity of this plan to the recently completed Village of Pewaukee Strategic Plan Update.

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### **Discussion:**

The Planner will present the full compilation of changes that the Planning Commission has recommended be made to the 'Comprehensive Plan for the Village of Pewaukee:2035'. These changes were considered/recommended over the course of many months review and discussion on the various individual chapters.

Before the Village Board can act on possible adoption of the update, a public hearing must be scheduled/conducted. This hearing will keep the Village in step with the requirements of the Public Participation Procedures Plan adopted by Resolution of the Village Board in 2020 at the outset of this Comprehensive Plan update process, and with the State Statute 66.1001(4)(d).

**STAFF REPORT**

To: Village of Pewaukee Plan Commission

By: Mary Censky  
Date Prepared: October 14, 2021

**General Information:**

**Agenda Item: 6.a.**

**Applicant:** Lisa Wenger d/b/a Healing Haven

**Property Owner:** Terra Engineering & Construction Corporation

**Requested Action:** Sign Code waiver approval to place a freestanding sign with zero setback from the front lot line where Village Code calls for 10 feet minimum.

**Existing Zoning:** B-2 Downtown Business District.

**Surrounding Zoning/Land Use:** North: B-2 Downtown Business District  
South: B-2 Downtown Business District  
East: B-2 Downtown Business District  
West: B-5 Light Industrial District

**Master Plan Classification:** Community Commercial

**Project area:** ~8,167 sq.ft. (.1875 acre)

**Location:** 135 Dynex Drive

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**Discussion:**

The Village’s Sign Code permits 1 freestanding sign, up to 40 square feet in area, 10 feet in height and setback at least 10 from the front lot line at this location. While the Code also provides for wall sign permission at this site, the building sits parallel to Dynex Drive, which is not a through street, so wall sign visibility doesn’t really become effective as a wayfinder until visitors are already at the site. A freestanding sign would be more readily visible to drivers turning southbound onto Dynex Drive from Capitol Drive.

The existing building at this site sits back approximately 8 feet from the property line. From the property line, there is an additional 14 feet +/- of grass terrace area in the right-of-way before the curb of the road.

As depicted in the applicant’s submitted materials, the sign appears to sit, at least partly if not entirely, in the Village right-of-way.

Sec. 70.103 of the Villages Sign Code provides as follows:

Appeals. The planning commission may, in its judgment, waive or modify the provisions of this chapter where it would further the public interest and uphold the purpose of this chapter as put forth in section 70.100. Such waiver or modification may be based on, among other things, site-specific hardships such as topographic aberrations, traffic safety, accessibility and visual encumbrances.

Section Sec. 70.100 of the Villages Sign Code provides as follows:

Purpose. The purpose of this chapter shall be to:

- (1) Regulate the size, type, construction standards, maintenance and placement of signs situated within the boundaries of the Village of Pewaukee, Wisconsin.
- (2) Promote the public health, safety, welfare and comfort of the general public by:
  - a. Reducing distractions and obstructions from signs which would adversely effect traffic safety and alleviate hazards caused by signs projecting over or encroaching upon the public right-of-way;
  - b. Discouraging excessive visual competition in signage and ensuring that signs aid orientation and adequately identify uses and activities to the public; and
  - c. Preserving or enhancing the natural beauty and unique physical characteristics of the village as a community in which to live and work by requiring new and replacement signage which is:
    1. Harmonious with the building, surrounding neighborhood aesthetics and other signs in the area;
    2. Appropriate to the type of activity to which it pertains;
    3. Expressive of the village's identity in a manner which will not diminish property values; and
    4. Complementary to the village's architectural character and unobtrusive commercial developments.

**Recommendation:**

The Planner does not raise any specific objections to this request as presented but recommends the following conditions be considered for attachment to any approval the Commission may inclined toward granting:

1. The sign should be located entirely on the privately owned property at a setback not less than zero feet. If this condition were not abided by the Planning Commission, then the Village Board would also need to review and approve this waiver request as to the structure placement in the public right-of-way. Even if the sign is not going to be partly/fully situated within the right-of-way, the Commission may consider requiring a hold harmless/indemnity type of agreement with the business/sign owner (subject to review and approval by the Village Attorney) as to any damage that might come to the sign for its close placement to the right-of-way.
2. Sign lighting and landscaping plans shall be subject to review and approval by Village Staff prior to issuance of a Sign Permit.
3. Applicant to secure a Sign Permit (and any other required permits such as building, electrical ... if/as needed) prior to placement of the sign at this site.

235 Hickory Street, Pewaukee Phone: (262) 691-5660 Fax: (262) 691-5664	<b>SIGN PERMIT APPLICATION</b> Village of Pewaukee	Permit#
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Sign Location Address:	Parcel#
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Owner Name:	Email Address:	Telephone#
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Lisa Wenger	Healinghaven1@gmail.com	414-333-4128
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Mailing Address:	Cell#
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135 Dynex Dr, Pewaukee WI 53072	414-333-4128
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Tenant Name:	Email Address:	Telephone#
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Lisa Wenger	Healinghaven1@gmail.com	414-333-4128
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Mailing Address:	Cell#
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135 Dynex Dr, Pewaukee Wi 53072	
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Sign Company Name:	Email Address:	Telephone#
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Milwaukee Sign Co		262-221-9500
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Mailing Address:	Cell#
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N63 W22625 Main St, Suite 105 Sussex, WI 53089	
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TYPE OF SIGN
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<input checked="" type="checkbox"/> Freestanding Ground	<input type="checkbox"/> Projecting	<input type="checkbox"/> Wall	<input type="checkbox"/> Awning or Canopy	<input type="checkbox"/> Marquee	<input type="checkbox"/> Other _____
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Illuminated / Non-Illuminate	Brief Description of Sign: Non-Illuminated, metal sign with 2 post support	Temporary: NO <input type="checkbox"/>
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DISTANCE FROM SIGN TO LOT LINES:	15' FRONT	200' REAR	70' RIGHT	90' LEFT
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If repairs or replacement contemplated, is the current sign, etc., non-conforming?	<input type="radio"/> YES	<input checked="" type="radio"/> NO
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NAME OF SURETY BOND OR INSURANCE COMPANY ON CERTIFICATE OF ISSUANCE (attach bond or certificate with hold harmless clause to the Village on this application)	Capital Specialty Insurance Corporation
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DATE SIGN TO BE ERECTED	SIGN SQUARE FOOTAGE	SIGN HEIGHT (above grade)	ESTIMATED COST
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9/25/21	12 sq ft	72" tall	\$1500.00
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Application is hereby made for a permit to erect / alter a sign as described herein or shown in accompanying plans or specifications where sign is to be located as shown on the accompanying plan. The information which follows and the accompanying plan and specifications with the representations contained herein are made part of this application in reliance upon which the building inspector is requested to issue a building permit.

It is understood and agreed by this applicant that any error, misstatement or misrepresentation of material fact, either with or without intention on the part of this application such as would operate to cause a refusal of this application or any material alteration or changed in the accompanying plans, specifications or structure made subsequent to the issuance of a permit in accordance without the written approval of the building inspector shall constitute sufficient grounds for the revocation of such permit.

SIGNATURE OF APPLICANT	PRINTED NAME OF APPLICANT	DATE
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	Darin Wenger	09/07/21
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PLEASE SUBMIT THE FOLLOWING DOCUMENTS WITH THIS APPLICATION:

- SITE SURVEY (must detail location and setbacks to lot lines)
- COLOR RENDERING
- SURETY BOND OR INSURANCE COMPANY ON CERTIFICATE OF ISSUANCE
- (IF APPLICANT IS A TENANT) NOTARIZED DOCUMENT FROM PROPERTY OWNER AUTHORIZING PROPOSED USE OF PROPERTY

**APPROVAL CONDITIONS** This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty.  See attached for conditions of approval.

Building & Electrical Permits may be applied for through the Building Services Department located at the Pewaukee City Hall, W240N3065 Pewaukee Road.

OFFICE USE ONLY	DATE RECEIVED:	STAFF INITIALS:
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(AREA x \$2.50/sq ft) \$ _____ + \$50.00 (BASE FEE) = \$ _____	DATE PAID _____	RECEIPT# _____
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FAILURE TO OBTAIN PERMIT WILL RESULT IN THE TOTAL FEES DOUBLING TEMPORARY SIGN EXPIRATION DATE: \_\_\_\_\_

PERMIT APPROVED/DENIED BY: _____	DATE: _____
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Healing Haven of Wisconsin – Proposed Sign Detail  
135 Dynex Dr, Pewaukee WI



Construction:  
Frame: 4" x 4" Wood Post  
Sign: Metal  
Base: Rock & Mulch

Located in front of building, south of wheel chair ramp entrance accessed from Dynex Drive.  
Place between building and street curb, east west orientation, perpendicular to Dynex Drive



Proposed sign location

**Dynex Dr**



### Legend

- Municipal Boundary\_2K
- FacilitySites\_2K\_Labels
- Lots\_2K
  - Lot
  - Unit
  - General Common Element
  - Outlot
- SimultaneousConveyance
  - Assessor Plat
  - CSM
  - Condominium
  - Subdivision
- Cartoline\_2K
  - <all other values>
  - EA-Easement\_Line
  - PL-DA
  - PL-Extended\_Tie\_line
  - PL-Meander\_Line
  - PL-Note
  - PL-Tie
  - PL-Tie\_Line
- Road Centerlines\_2K
- Railroad\_2K
- TaxParcel\_2K
- Waterbodies\_2K\_Labels
- Waterlines\_2K\_Labels

0 8.84 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

### Notes:

Printed: 9/13/2021





0 94.22 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Notes:

Printed: 10/7/2021



## STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: October 14, 2021

### General Information:

Agenda Item: **6.b.**

**Applicant:**

Amanda Donath

**Status of Applicant:**

Property owner

**Requested Action:**

Conditional Use Grant approval to construct a garage addition to the existing residence at 510 Park Avenue that will be offset 6.3 feet from the east/northeast lot line where 10 feet is ordinarily required by Code.

**Current Zoning:**

R-5 Single Family Residential District

**Current Master Plan Classification:**

Single Family Residential

**Surrounding Zoning/Land Use:**

North: R-5(LO) R-5 Single Family Residential Lake Overlay  
South: R-5 Single Family Residential  
East: R-5 Single Family Residential  
West: R-5 Single Family Residential

**Lot Size:**

7,500 sq.ft. existing (vs 10,500 sq.ft. required)

**Lot Width:**

50 feet (vs 70 feet required)

**Location:**

510 Park Avenue and 511 Spring Street (\*two separate single-family residential dwellings on one lot = existing legal nonconforming use)

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### Background:

Section 40.210.4 of the Village Code provides that the minimum front setback and side/rear offsets on a legal nonconforming lot in the R-5 District may be reduced below the minimum required if a conditional use grant is approved.

Section 40.210(1) of the Code provides for a minimum 10-foot setback from the principal structure to the lot line in the R-5 District.

Section 40.419(e)a. of the Code provides an auto-relief mechanism for existing lots less than the required lot width for the District. The offset can be reduced on those lots as follows (70 feet wide lot required, 50 feet wide lot existing = .71 % of required width. 10 feet required offset x

.71 = 7.1 feet)

The applicant is in the process of a remodel of this existing home. There is no attached or detached garage currently serving it. An old, metal shed that did serve this house has been removed from the site.

The applicant seeks approval through CUG to add an attached garage at the east side of the existing home, which addition would extend to within 6.3 feet of the east lot line where ~~40~~ 7.1 feet is required by the Code.

There is an existing, neighboring home located very close to the lot line on the lot next door to this site. It is not known whether the requested offset would result in a building separation of less than 10 feet. In the event it does, this applicant may be required to include special construction materials/design in the construction of the proposed garage addition for fire safety purposes.

The proposed addition would be constructed using the same materials and colors as the main structure (i.e. LP siding and dimensional asphalt shingles).

The garage would be served by an existing, paved driveway at the site.

**Recommendation:**

The Planner raises no specific objections to the request provided the following conditions are considered for attachment any approval that may be granted:

- 1) Applicant to comply with any extra-ordinary building design/materials requirements as may be required by the Building Inspections Department in their review for Building Permit, owing to the limited separation between this proposed garage addition and the neighboring residence to the east.
- 2) Applicant to provide, for Village Staff review and approval prior to building permit issuance, survey evidence of the actual building separation between the proposed addition and the existing residence to the east.
- 3) Applicant to provide, for Village Staff review and approval prior to building permit issuance, survey evidence that with the addition in place, and considering the removal of the old shed, this site is either compliant with the 30% minimum open space requirement and maximum 30% building footprint area (or no more nonconforming than existing conditions) on the lot.
- 4) Village Engineer review and approval of a grading/drainage plan for the site as will ensure that the proposed garage addition will not adversely impact surrounding properties in terms of stormwater flow/management given the narrow distance to the lot line.
- 5) Issuance of a building permit prior to start of any work toward constructing the proposed garage addition.

Village of Pewaukee Plan Commission  
Engineer's Report for October 14, 2021

**Amanda Donath Garage Addition**  
**510 Park Avenue**

**Report**

The proposed garage will be placed where there is currently an asphalt driveway, so no increase in the impervious area. Current drainage pattern is from the south to the north. Water appears to run down the existing driveway to the north into the street gutter. Proposed garage plans do not show downspouts, however, it is likely that they will be located on the northeast and southeast corners of the new garage based on the plans provided.

**Recommendation**

I recommend that a shallow swale be created between the new garage and the property line to the east and that the downspouts be directed to the north (not towards the east) into the swale to keep water on the Donath property as it flows towards Park Ave. A plan showing the swale and downspouts should be submitted to assure that it gets accomplished as part of the project.

Tim Barbeau, Village Consulting Engineer  
October 6, 2021



## **PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Pewaukee Code of Ordinances, the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

I, the undersigned, have been advised that, pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.

The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.

### **RESPONSIBLE PARTY & MAILING ADDRESS**

Amanda Donath  
Name of Company and/or Individual

510 PARK Avenue Pewaukee WI 53072  
Street City State Zip

Phone: 262-689-5689 Fax: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Amanda Donath 9-6-21  
Signature of Applicant & Date

Amanda Donath 9-6-21  
Signature of Property Owner & Date

\_\_\_\_\_  
Village Official Accepting Form & Date

SEND ALL PROFESSIONAL SERVICES INVOICES TO:  
(Check One)

Property Owner

Applicant





**Conditional Use Grant  
Application Form**

Address/Parcel No. of Property Involved: 510 PARK AVENUE

Zoning of Property: Residential

Current Owner of Property: Amanda Donath

Applicant - Name: Amanda Donath / DEBBIE DONATH

Address: 510 PARK AVENUE

Phone: 262-689-1423

Fax: \_\_\_\_\_

Email: adonath@shorewest.com / adonath@uwalumni.com

Nature of Request (If Requesting Approval for a New Business, Please Attach a Business Summary):

garage near lot line

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Provide detailed information with your application that addresses the following:

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate the suitability of architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, drainage, exterior lighting, control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & general compatibility of the proposed use with the area in which it is located.

2. It is the responsibility of the applicant/owner to ensure that the proposed project meets the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted Land Use Plan.

Signature of Property Owner as listed on this Application:



**Application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.**

Signature of Applicant (if different than Owner):

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Please return Completed Application Forms along with required attachments and the \$100 Application Fee to Pewaukee Village Hall, 235 Hickory Street, Pewaukee, WI 53072. If you have any questions, please call Village Hall at (262) 691-5660.

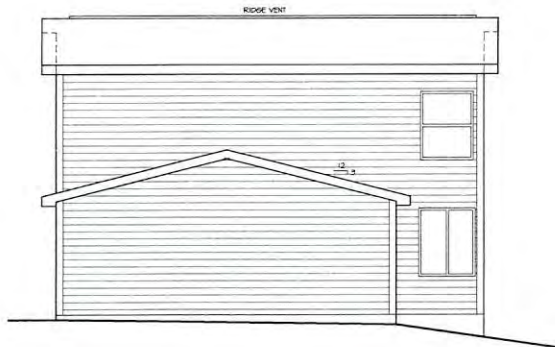
**\*\*Please submit eleven sets of any applicable attachments as well as a digital copy of any attachments submitted.**



1 NORTH ELEVATION  
1/4" = 1'-0"



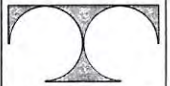
2 SOUTH ELEVATION  
1/4" = 1'-0"



3 WEST ELEVATION  
1/4" = 1'-0"



4 EAST ELEVATION  
1/4" = 1'-0"



TDI ASSOCIATES, INC.  
ARCHITECTURE & PLANNING

58 W2350 JOHNSON DRIVE, SUITE B4  
WAUKESHA, WISCONSIN 53186  
PHONE 262-469-2530 FAX 262-469-2531

DONATH RESIDENCE

510 PARK AVENUE  
PENAUKEE, WISCONSIN

TDI ASSOCIATES, INC.  
All Rights Reserved

OWNERSHIP OF DOCUMENTS

This document and the ideas and design incorporated herein, as an instrument of professional service, is the sole property of TDI Associates, Inc. and is not to be used in whole or in part for any other project or purpose without the expressed written authorization of TDI Associates, Inc.

Sheet Title  
EXTERIOR  
ELEVATIONS

Issued For: Date:

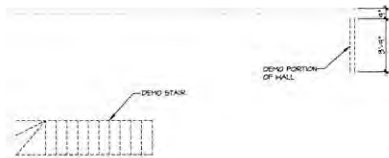
Date: 12-03-2020

Job NO.: 20165\_000

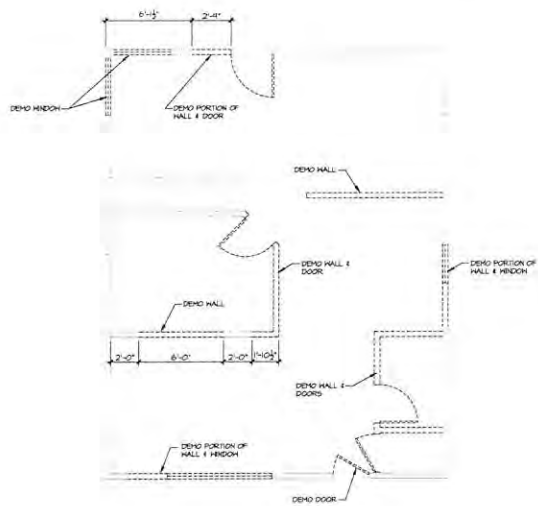
Drawn By: R.J.H.

Sheet No.

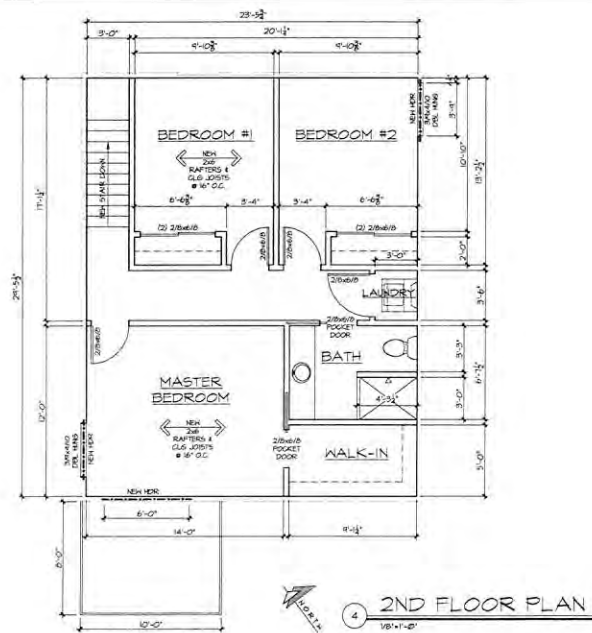
A2.1



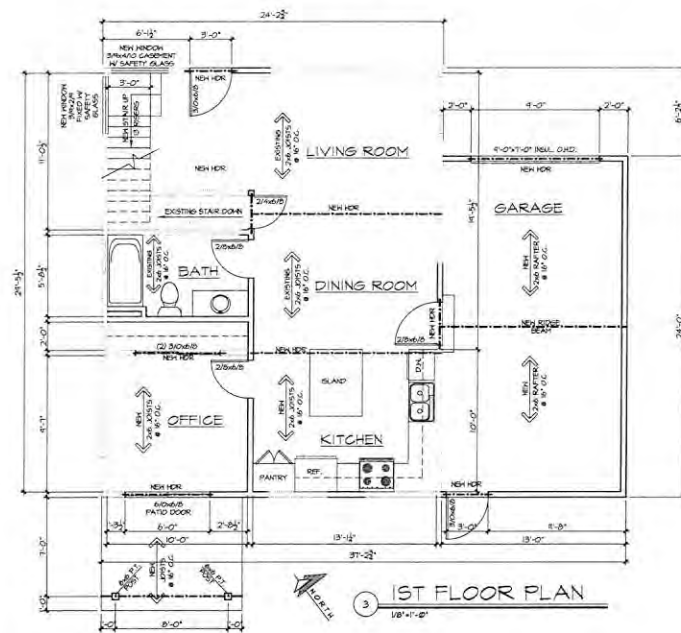
1 2ND FLOOR DEMO PLAN  
1/8"=1'-0"



1 1ST FLOOR DEMO PLAN  
1/8"=1'-0"



4 2ND FLOOR PLAN  
1/8"=1'-0"



3 1ST FLOOR PLAN  
1/8"=1'-0"



TDI ASSOCIATES, INC.  
ARCHITECTURE & PLANNING

N8 W2350 JOHNSON DRIVE, SUITE B4  
WAUKESHA, WISCONSIN 53186  
PHONE 262-489-2530 FAX 262-489-2531

DONATH RESIDENCE

510 PARK AVENUE  
PENAUCKEE, WISCONSIN

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Sheet Title  
FLOOR PLAN

Issued For: \_\_\_\_\_ Date: \_\_\_\_\_

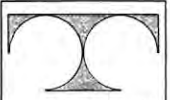
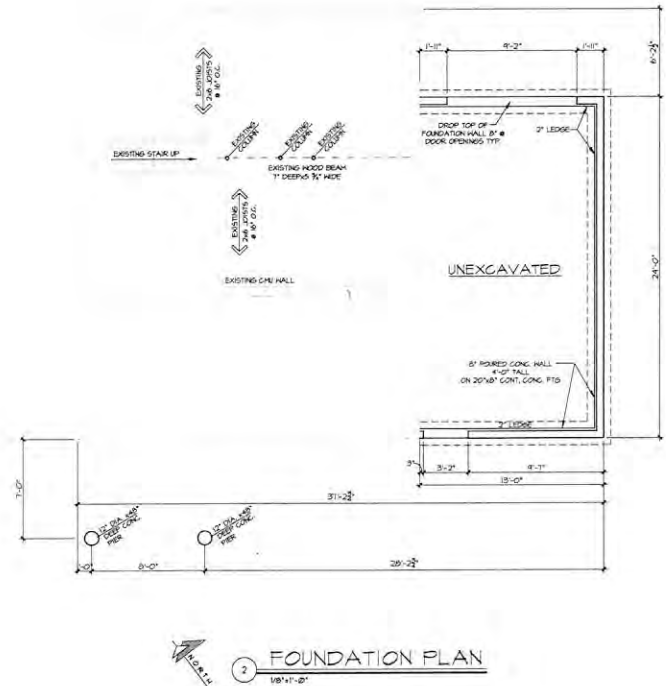
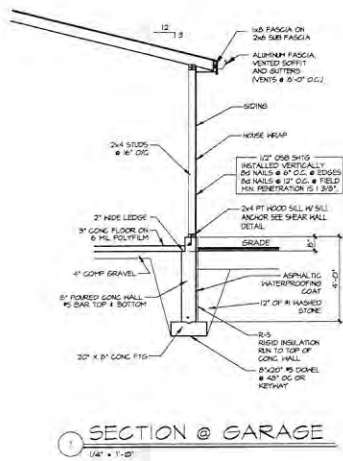
Date: 12-08-2020

Job NO.: 20165.000

Drawn By: RJH

Sheet No. \_\_\_\_\_

A1.1



TDI ASSOCIATES, INC.  
ARCHITECTURE & PLANNING  
N8 W2350 JOHNSON DRIVE, SUITE B4  
WALKEISHA, WISCONSIN 53186  
PHONE 262-469-2530 FAX 262-469-2511

DONATH RESIDENCE

510 PARK AVENUE  
PENAUKEE, WISCONSIN

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Sheet Title  
**FOUNDATION PLAN & SECTION**

Issued For: \_\_\_\_\_ Date: \_\_\_\_\_

Date: 12-08-2020

Job NO.: 20165.000

Drawn By: RLH

Sheet No.

A1.0

# Lot 2, Block 2, D.M. Flanagan's A Condominium

Declarant:  
Amanda M. Donath  
510 Park Ave.  
Pewaukee, WI 53072

Surveyor:  
Donald J. Thoma  
Accurate Surveying & Engineering, LLP  
2911 Wildlife Lane  
Richfield, WI 53076

Lot 2, in Block 2, in D.M. Flanagan's Subdivision, a subdivision of a part of the Northeast 1/4 of Section 17, Township 7 North, Range 19 East, and the Southeast 1/4 of Section 8, Township 7 North, Range 19 East in the Village of Pewaukee, Waukesha County, Wisconsin.

### Unit Addresses

Unit 1 - 510 Park Ave., Pewaukee, WI 53072-3443  
Unit 2 - 511 Spring Street, Pewaukee, WI 53072-3443

### First Floor Plan Unit 1

Note: The areas shown are calculated to the exterior of the building.



### First Floor Plan Unit 2

Note: The areas shown are calculated to the exterior of the building.



### Second Floor Plan Unit 1

Note: The areas shown are calculated to the interior of the building.



### Second Floor Plan Unit 2

Note: The areas shown are calculated to the interior of the building.



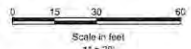
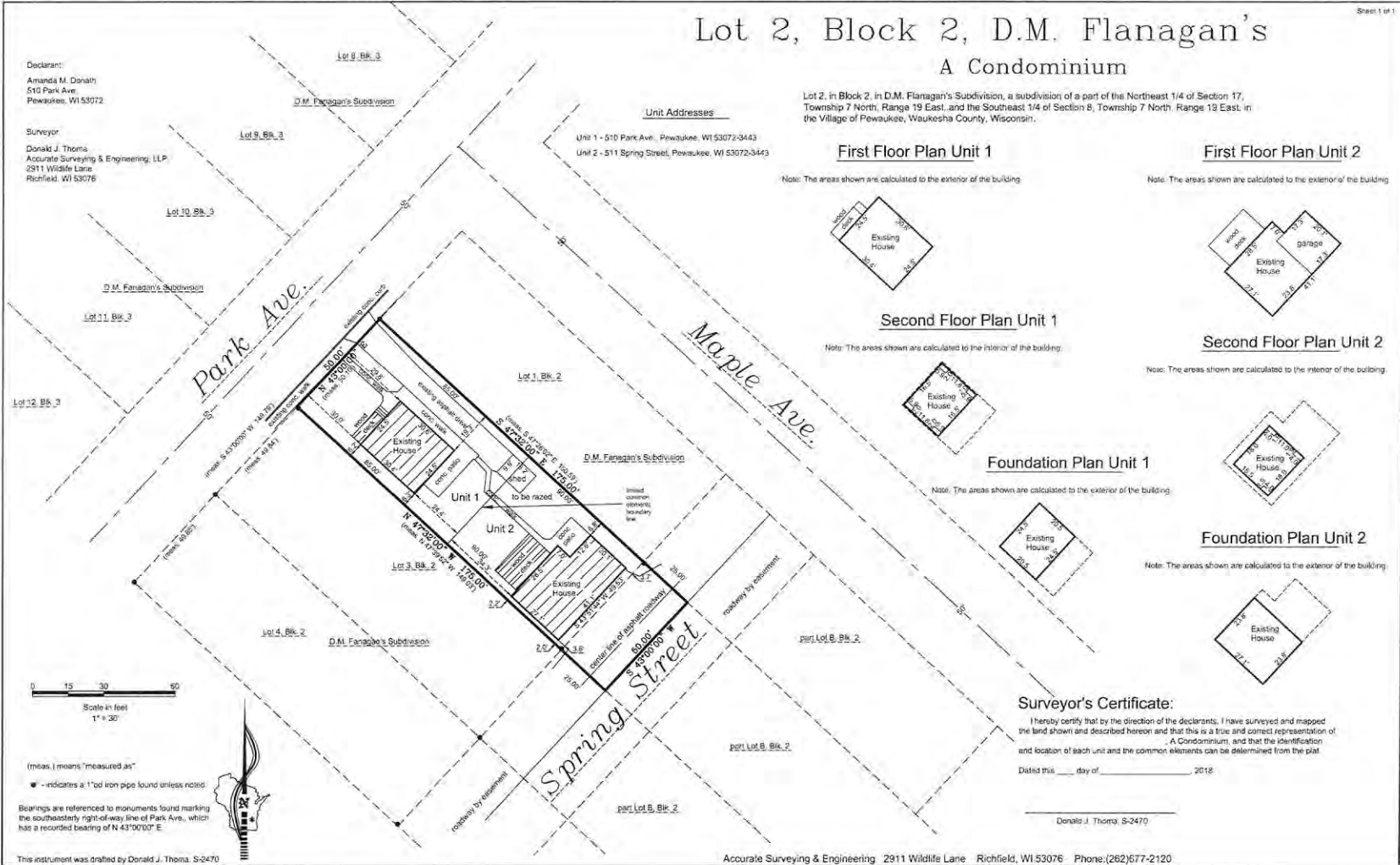
### Foundation Plan Unit 1

Note: The areas shown are calculated to the exterior of the building.



### Foundation Plan Unit 2

Note: The areas shown are calculated to the exterior of the building.



(meas. ) means "measured as"  
# - indicates a 1"od iron pipe found (unless noted)

Bearings are referenced to monuments found marking the southeasterly right-of-way line of Park Ave., which has a recorded bearing of N 43°00'00" E.

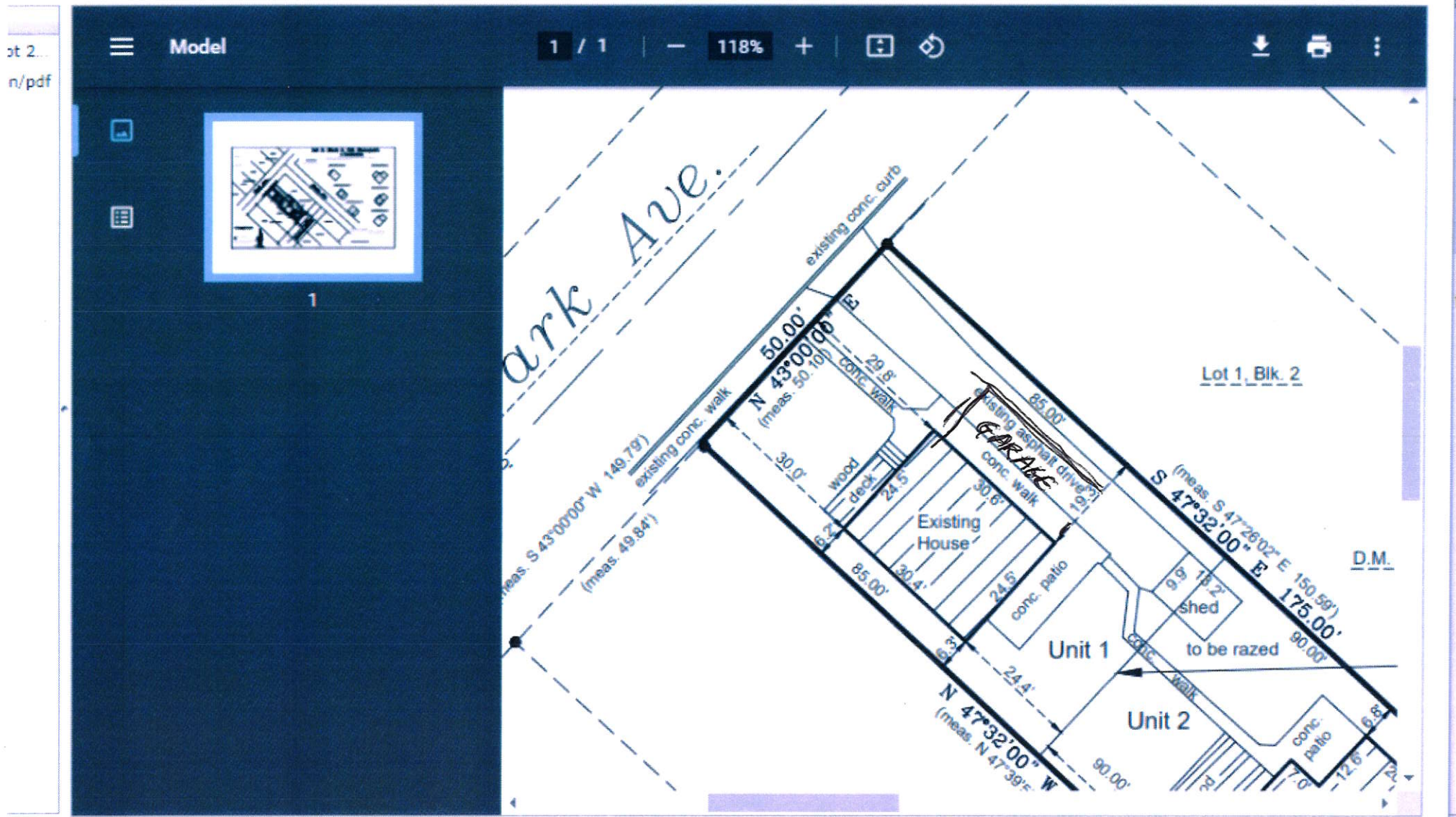
This instrument was drafted by Donald J. Thoma, S-2470

### Surveyor's Certificate:

I hereby certify that by the direction of the declarants, I have surveyed and mapped the land shown and described hereon and that this is a true and correct representation of a Condominium, and that the identification and location of each unit and the common elements can be determined from the plat.

Dated this \_\_\_ day of \_\_\_\_\_, 2018.

Donald J. Thoma, S-2470



# CITY/VILLAGE OF PEWAUKEE

It shall be unlawful to commence work before this placard is placed in a conspicuous place on the premises.

It shall be unlawful to occupy this building until an occupancy permit is issued in accordance with the Building Codes of The Pewaukee Building Services Department.

THIS CERTIFIES THAT

## BUILDING PERMIT

Permit # 2021025-B HAS BEEN ISSUED TO

SITE ADDRESS 510 Park Ave

In compliance with the requirements of the Ordinances of the City/Village of Pewaukee for

PROJECT House Remodel + Deck

DATED 1-13-2021

80  
Services Director/Building Inspector





The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

**Notes:**

Printed: 10/7/2021



## STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: October 14, 2021

### **General Information:**

**Agenda Item: 6.C.**

**Applicant/Property Owner:**

Meadow Ridge Shops LLC in c/o  
John Thompson

**Requested Action:**

Conditional Use Grant approval to  
locate a dine-in, sit down type  
restaurant use (i.e. First Watch-The  
Daytime Cafe) including both indoor  
and outdoor seating space

**Current Zoning:**

B-1 Community Business w/ PUD  
Overlay

**Current Master Plan Classification:**

Community Commercial

**Surrounding Zoning/Land Use:**

North: Capitol Drive/Meadowcreek  
Market

South: R-6 Plex Residential and City  
of Pewaukee properties

East: Summit Credit Union

West: Chick fil-A

**Project Area:**

Lot 3 is 1.27 acres

**Property Location:**

Southeast corner of Capitol Drive at  
Meadowcreek Drive (east of  
Associated Bank)

---

### **Discussion:**

The approved Planned Unit Development Ordinance for this Shops at Meadow Ridge development reads as follows with respect to Lot #3/Building #4:

“Maximum pre-approved total building area is 7,200 square feet. use "automotive service facility not including gasoline sales, car wash or automotive repair (i.e. engine or body)" is pre-approved on this lot in this building as a part of this PUD. The "Building Footprint" and "Individual Site Development Boundary" for this building are as depicted on the approved site plan which is contained in Exhibit "A" and made a part hereof and incorporated herein by reference. Development of this pre-approved use within the "Individual Site Development Boundary" shall (in all respects except for the pre-approved use itself) be subject to Conditional Use Grant review, consideration and approval prior to any building, physical site improvement or use being constructed, installed or conducted on this lot. Any other use initially or any subsequent change in use for this building, shall be reviewed and considered in accordance with Chapter 40 of the Village Ordinance comprehensively and the B-1 Zoning District specifically.

With that in mind, the footprint of the proposed new building, at 6,200 square feet, does comply with the PUD. Further, the proposed new building and outdoor seating area both essentially “fit” within the pre-approved "Individual Site Development Boundary" and "Building Footprint" for this lot according to the approved PUD.

Within the B-1 Community Business District, “restaurant” is listed as a prospective Conditional Use.

There is no drive-thru service proposed as a part of the First Watch Café tenant occupancy.

Proposed hours of operation for the café are 7 a.m. to 2:30 p.m., daily.

The First Watch Café would occupy 4,200 square feet of the building + an outdoor seating area for up to 30 guests.

Parking is proposed to include the area designated on the original PUD plan as possible future parking area and would provide 65 spaces within Lot 3. There is a shared parking and dumpster use agreement in effect among the multiple sites that make-up this PUD. By itself, under the Village Code, the First Watch Café should have approximately 52 parking spaces allocated to it’s use. The second tenant space, at 2,000 square feet, should have approximately 12 stalls available for use.

The bank of 4 parking stalls located south of the building may be in conflict with the traffic flow on the throughway to the east. The two-way drive aisles are required by Code to be 25 feet wide.

Architecturally this building is very similar in design, materials, colors,... to the existing buildings located on Lots 1 and 2 of this development.

There is a Code compliant 50 square foot freestanding sign proposed to be placed in the northwest corner of the lot. It’s depicted as providing display space for both/multiple tenants on the sign and being setback more than 10 feet from the north lot line. It’s notated to be no more than 10 feet in height.

Wall signs requested include one per tenant, on both the east and west building elevations, to be located over each of the respective tenant spaces. Neither of these elevations is considered street facing so the Code provides no specific wall sign allocation for them although the Commission has granted waiver for some side wall signs within this development previously.

On the north elevation, just one tenant sign is proposed for the tenant occupying the northmost tenant space. On the south elevation, just one tenant sign is proposed for the tenant occupying the southmost tenant space.

By Code all tenant wall signs in a multi-tenant building are limited to 30 square feet in area.

The lighting plan is consistent with the overall plan approved as a part of the original PUD. The individual fixtures proposed for this building/use are Code compliant as to their cutoff design.

The landscaping plan is consistent with the overall plan approved as a part of the original PUD. The more specific plantings within the site development boundary and around the sign are thorough and thoughtful.

Some information has been given as to the outdoor seating area furnishings. Details as to the construction of the outdoor seating area are included on the plans.

The dumpster location is proposed to be located, per the original PUD, well south of the building and parking area on this lot – across the through-way that leads to/from Summit Credit Union.

**Recommendation:**

The Planner does not raise specific objections to this request as presented but recommends that if the Planning Commission is inclined toward an approval in this case, the following conditions should be considered for attachment thereto:

- 1) Village Staff review and approval of all tables, chairs, umbrellas, lighting, and any other fixtures, materials, equipment or supplies to be placed in the outdoor seating area, prior to use/occupancy of the outdoor seating area.
- 2) Applicant to secure sign permits for any permitted signs and Planning Commission Sign Code waiver for any other signs prior to permit issuance.



Click for Tax Keys

0 188.45 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Notes:

Printed: 10/7/2021





## TRANSMITTAL

9-21-2021

**To:**

Village of Pewaukee  
Village Hall  
Attn: Scott Gosse  
235 Hickory Street  
Pewaukee, WI 53072  
P: 262-691-5660

**From:**

Jeremy Bartlett, Architect  
Thrive Architects  
259 South St., Ste A  
Waukesha, WI 53186  
P: 833-380-6180

**Regarding:**

Somerstone Retail, Lot 3

**Contents:**

11 copies of:

Conditional Use Grant Application Form  
Concept Renderings A9.0, A9.1  
PUD Civil Engineering Plans, (previously approved for development)  
Site Plan SP1.0  
Site Details SP1.1  
Landscape Plans  
Site Lighting Photometrics  
Proposed Floor Plan A1.0  
Exterior Elevations A3.0

(1) check for application fee \$100



## APPLICATION PROCESS FOR CONDITIONAL USE GRANT REQUESTS

Step 1: Please read through the attached sections of the Village's Development Code that explain conditional use grant regulations (Section 40.152 of Land Development Code or web link:

[https://library.municode.com/wi/pewaukee/codes/code\\_of\\_ordinances?nodeId=PTIIMUCO\\_CH40LADE\\_ARTVCOUS](https://library.municode.com/wi/pewaukee/codes/code_of_ordinances?nodeId=PTIIMUCO_CH40LADE_ARTVCOUS)).

Step 2: Submit a fully completed application form along with **13 copies** (and one digital copy) of all attachments you wish to have considered by the Plan Commission as part of your application. (Please fold all attachments so that they are 8 1/2" x 11" size and with project name/identification visible.) Please note: Incomplete applications will not be accepted.

Please note: Applications must be submitted to Village Hall by the required submittal deadline (copy of deadlines attached) which is generally three weeks and two days prior to the Plan Commission meeting. Plan Commission meetings are held on the second Thursday of each month at 7:00 p.m. The submittal deadline requirement allows the Village time to review the application, obtain additional information from you if need be and set up/publish the required public hearing. All property owners within 300' of the subject property will be sent a notice of the public hearing.

Step 3: Along with the completed application, the application fee must be paid. The fee for a conditional use grant approval request is **\$100.00**. The fee is collected to offset the cost of required legal notices that must be published in the newspaper and the cost of mailings to neighboring property owners.

Step 4: The Village Planner and the Village's consulting Engineer will be reviewing your application and will prepare a report for the Plan Commission, which will include recommendations for action.

Step 5: If your conditional use request is approved, a document will be prepared that contains the approval conditions. That document will need to be signed by the applicant, property owner and the Village. The Waukesha County Register of Deeds will then record the signed document.

Please note: Multiple Plan Commission meetings are often required prior to final project approval.

(Revised 8/16/06; 01/2019; 6/2019)



**Conditional Use Grant  
Application Form**

Address/Parcel No. of Property Involved: 1466 Capitol Drive / Parcel No. 0904990017

Zoning of Property: B-1 Community Business with PUD overlay

Current Owner of Property: Meadow Ridge Shops, LLC

Applicant – Name: John Thomsen, Somerstone LLC

Address: 19035 W. Capitol Dr. Suite 108

Phone: 262-290-1620

Fax: 317-324-3196

Email: jthomsen@somerstone.com

Nature of Request (If Requesting Approval for a New Business, Please Attach a Business Summary):

Seeking approval for new retail building located at Lot 3 of

The Shops at Meadow Ridge.

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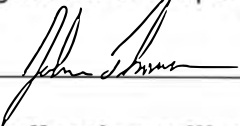
Provide detailed information with your application that addresses the following:

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate the suitability of architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, drainage, exterior lighting, control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & general compatibility of the proposed use with the area in which it is located.



2. It is the responsibility of the applicant/owner to ensure that the proposed project meets the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted Land Use Plan.

Signature of Property Owner as listed on this Application:



---

**Application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.**

Signature of Applicant (if different than Owner):

---

Please return Completed Application Forms along with required attachments and the \$100 Application Fee to Pewaukee Village Hall, 235 Hickory Street, Pewaukee, WI 53072. If you have any questions, please call Village Hall at (262) 691-5660.

**\*\*Please submit eleven sets of any applicable attachments as well as a digital copy of any attachments submitted.**



**PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Pewaukee Code of Ordinances, the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner or any other of the Village’s professional staff results in a charge to the Village for that professional’s time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

I, the undersigned, have been advised that, pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.


The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.


**RESPONSIBLE PARTY & MAILING ADDRESS**

Meadow Ridge Shops, LLC  
Name of Company and/or Individual

19035 W. Capitol Dr. Suite 108                      Brookfield                      WI.                      53045  
Street    City    State    Zip

Phone: 262-290-1620 Fax: \_\_\_\_\_ E-Mail: jthomsen@somerstone.com

                      9/21/21  
Signature of Applicant & Date

                      9/21/21  
Signature of Property Owner & Date

\_\_\_\_\_  
Village Official Accepting Form & Date

<p><b>SEND ALL PROFESSIONAL SERVICES INVOICES TO:</b> <b>(Check One)</b></p> <p>____ Property Owner</p> <p>____ Applicant</p>
---



## 2021 Plan Commission Submittal Deadlines

<u>Plan Commission Meeting</u>	<u>Agenda Item Deadline</u>	<u>CUG deadline</u>	<u>CUG Applications Before:</u>
1/14/2021	12/22/2020	12/21/2020	10 a.m.
2/11/2021	1/21/2021	1/20/2021	10 a.m.
3/11/2021	2/18/2021	2/17/2021	10 a.m.
4/8/2021	3/18/2021	3/17/2021	10 a.m.
5/13/2021	4/22/2021	4/21/2021	10 a.m.
6/10/2021	5/20/2021	5/19/2021	10 a.m.
7/8/2021	6/17/2021	6/16/2021	10 a.m.
8/12/2021	7/22/2021	7/21/2021	10 a.m.
9/9/2021	8/19/2021	8/18/2021	10 a.m.
→ 10/14/2021	9/23/2021	9/22/2021	10 a.m.
11/11/2021	10/21/2021	10/20/2021	10 a.m.
12/9/2021	11/18/2021*	11/17/2021*	10 a.m.
1/13/2022	12/22/2021*	12/21/2021*	10 a.m.

- Conditional Use Grants are due before 10 a.m. the third Wednesday before the Plan Commission Meeting to meet publication requirements.
- All other agenda items are due the third Thursday before the Plan Commission Meeting.

\*Subject to change based upon possible publication deadline changes.



CANOPY - NORTH

1

Project Info. — 20053 —  
**SOMERSTONE  
 RETAIL**  
 NEW CONSTRUCTION  
 CAPITOL DRIVE  
 PEWAUKEE, WI

Sheet Title —  
**PROPOSED CONCEPT  
 RENDERINGS**

Revisions

No.	Date	Description
	09.21.2021	PC Submittal

NOT FOR CONSTRUCTION

Sheet No. —  
**A9.0**



CANOPY - WEST

1



CANOPY - NORTHEAST

1

Project Info. — 20053

**SOMERSTONE  
RETAIL**  
NEW CONSTRUCTION  
CAPITOL DRIVE  
PEWAUKEE, WI

Sheet Title

**PROPOSED CONCEPT  
RENDERING**

Revisions

No.	Date	Description
1	09.21.2021	PC Submittal

Sheet No.

**A9.1**

NOT FOR CONSTRUCTION

# THE SHOPS AT MEADOW RIDGE MEADOWCREEK DR. & CAPITOL DR. SOMERSTONE LLC VILLAGE OF PEWAUKEE WAUKESHA COUNTY WISCONSIN

PAGE INDEX



WAUKESHA COUNTY,  
WISCONSIN

SITE LOCATION



SITE LOCATION AERIAL MAP

## LEGEND

- - SET IRON STAKE
- - - - - FOUND IRON PIPE
- P/L- - - - - PROPERTY LINE
- x 100.00 - - - - - EXISTING SPOT ELEVATION
- ⊙ - SEWER MANHOLE
- ⊕ - COMMUNICATION MANHOLE
- ⊖ - ELECTRIC MANHOLE
- ⊗ - CATCH BASIN
- ⊙ - TRAFFIC MANHOLE
- EM - - - - - ELECTRIC METER
- GM - - - - - GAS METER
- WV - - - - - WATER VALVE
- GV - - - - - GAS VALVE
- HY - - - - - HYDRANT
- △ - - - - - TRAFFIC SIGNAL
- - - - - - UTILITY BOX
- ⊖ - - - - - UTILITY POLE
- ▽ - - - - - FLOOD LIGHT
- ☆ - - - - - LIGHT POLE
- - - - - - WELL
- ⊙ - - - - - CURVE TABLE ITEM
- ⊙ - - - - - SCHEDULE "B" ITEM
- △ - - - - - ENCROACHMENT ITEM
- ⊖ - - - - - INGRESS/EGRESS EASEMENT
- ⊖ - - - - - WATER MAIN UTILITY EASEMENT
- ⊖ - - - - - WISCONSIN BELL UTILITY EASEMENT
- ⊖ - - - - - WE ENERGIES UTILITY EASEMENT
- B-4 ⊙ - - - - - BORING
- ⊙ - - - - - CLEAN OUT
- ⊖ - - - - - TRANSFORMER
- ⊖ - - - - - AIR CONDITIONER
- ⊙ - - - - - BOLLARD
- - - - - UNDERGROUND WATER
- - - - - UNDERGROUND ELECTRIC
- - - - - UNDERGROUND TELECOMMUNICATIONS
- - - - - OVERHEAD ELECTRIC
- - - - - UNDERGROUND GAS
- - - - - SANITARY SEWER
- - - - - STORM SEWER
- - - - - CHAIN LINK FENCE
- - - - - SILT FENCE
- - - - - HAND RAIL

### CONTACT LIST

**KEY ENGINEERING**  
 DEB TARNOW, P.E. - dtarnow@keyengineering.com - 414-224-8300 ext. 209  
 KEN W. WEIN - kwein@keyengineering.com - 414-224-8300 ext. 210  
 JEREMY HINDS, P.E. - jhinds@keyengineering.com - 414-224-8300 ext. 203  
 ROB NEWELL - rnewell@keyengineering.com - 414-224-8300 ext. 205

**VJS CONSTRUCTION (ARCHITECTURE)**  
 KATIE KAWCZYNSKI - Kkawczynski@vjsca.com - 262-446-6461

**SOMERSTONE LLC (OWNER)**  
 JIMMY ROSEN - jrosen@somerstone.com - 414-708-1200  
 JOHN THOMSEN - jthomsen@somerstone.com - 262-290-1620  
 JOHN HAWKINS - jhawkins@somerstone.com - 317-580-1000

Bearings hereon are based on the North line of the Southeast 1/4 of Section 10, T7N, R19E which bears N89°44'41"W, WI. State Plane Coordinate System, South Zone. NGVD 1929. Surveyed June, 2017.

C-0	TITLE PAGE
C-1	PROPOSED SITE PLAN
C-2	PROPOSED SITE PLAN DETAILS
C-3	EROSION CONTROL PLAN
C-4	DEMOLITION, CLEARING & GRUBBING PLAN
C-5	PROPOSED GRADING PLAN
C-6	PROPOSED UTILITY PLAN
C-7	WATER MAIN PLAN & PROFILE
C-8	SANITARY SEWER PLAN & PROFILE
C-9	MEADOWCREEK DR. IMPROVEMENTS, SIGNAGE, & STRIPING
C-10	MEADOWCREEK DR. DEMOLITION PLAN
C-11	MEADOWCREEK DR. GRADING PLAN
C-12	STORM WATER DETAILS
C-13	TURNING RADIUS EXHIBIT
C-14	STANDARD DETAILS
C-15	STANDARD DETAILS
C-16	STANDARD SPECIFICATIONS
C-17	RETAINING WALL PROFILE
C-18	RETAINING WALL DETAILS
A1.01	DUMPSTER ENCLOSURE DETAIL
LSP1.0	LANDSCAPING PLAN
LSP1.1	LANDSCAPING PLAN
LSP1.2	LANDSCAPING PLAN
LSP1.3	LANDSCAPING PLAN
LSP1.4	LANDSCAPING PLAN
LSP1.5	LANDSCAPING PLAN
PH01.0	PHOTOMETRIC PLAN
PH01.1	PHOTOMETRIC PLAN
PH01.2	PHOTOMETRIC PLAN
PH01.3	PHOTOMETRIC PLAN
PH01.4	PHOTOMETRIC PLAN



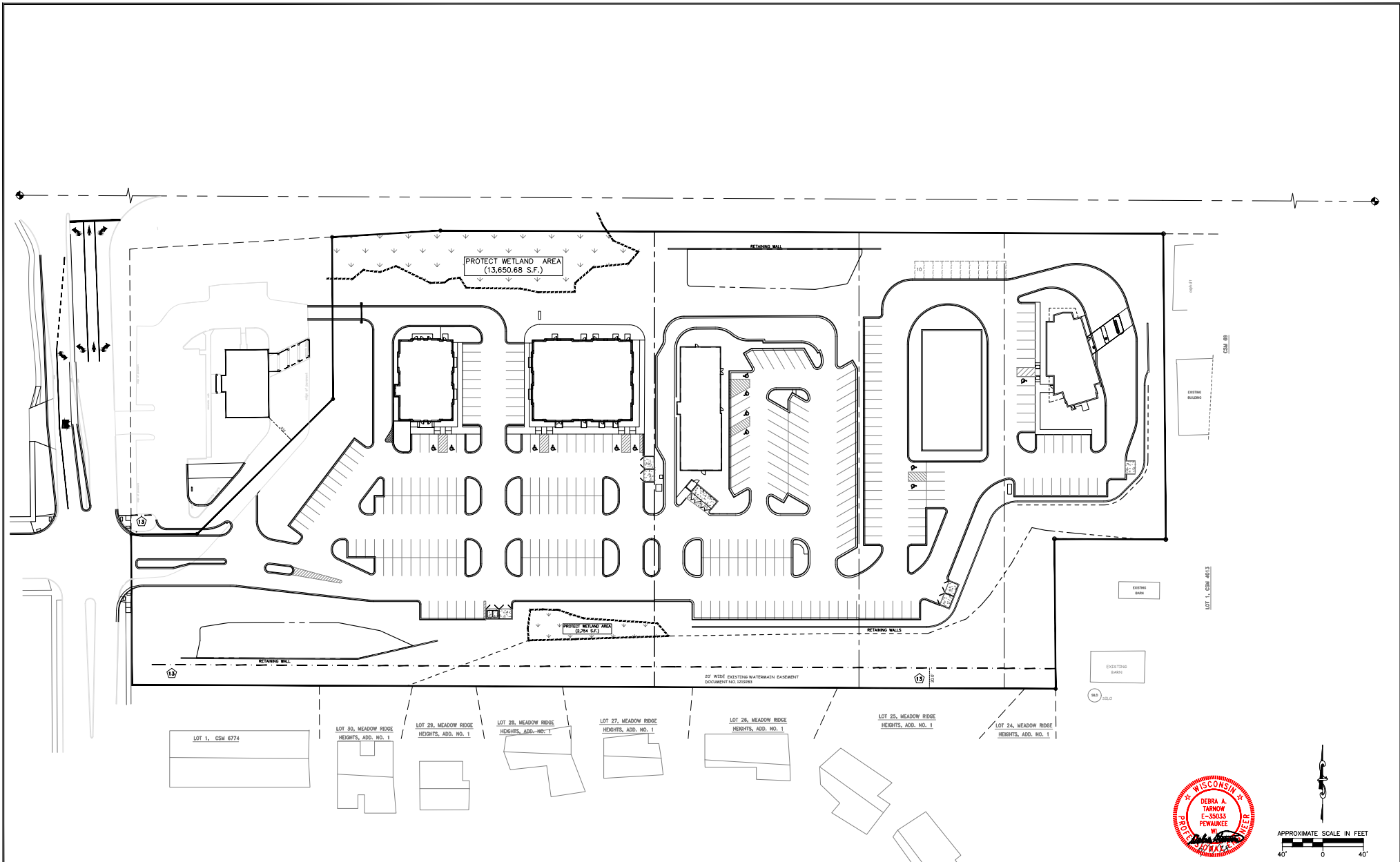
"THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO."

REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
1	LOT 3 REVISIONS PER OWNER	7/31/18	RJN		6-1-2018
2	UTILITY LABEL CORRECTIONS	8/14/18	RJN		
3	LOT 4 REVISIONS PER OWNER	8/29/18	RJN		6-1-2018
4	REVISED SPOT GRADING	10/16/18	RJN		
5	MINOR CURB CORRECTIONS	10/29/18	RJN		6-1-2018
6	NW ACCESS GRADE CORRECT & CULVERT	11/2/18	RJN		

**PROPOSED PLAN SET  
THE SHOPS AT MEADOW RIDGE  
MEADOWCREEK DR.  
VILLAGE OF PEWAUKEE, WI**

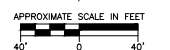


KEY PROJECT NUMBER	2510003
PROJECT SCALE	
SHEET NUMBER	C-0



REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
1	LOT 3 REVISIONS PER OWNER	7/31/18	R/JN	DAT/R/JN	6-1-2018
2	UTILITY LABEL CORRECTIONS	8/14/18	R/JN	DAT/R/JN	6-1-2018
3	LOT 4 REVISIONS PER OWNER	8/29/18	R/JN	DAT	6-1-2018
				ISSUANCE	
				CONSTRUCTION	

**PROPOSED SITE PLAN**  
**THE SHOPS AT MEADOW RIDGE**  
**MEADOWCREEK DR.**  
**VILLAGE OF PEWAUKEE, WI**



KEY PROJECT NUMBER  
**2510003**  
 PROJECT SCALE  
**1" = 40'**  
 SHEET NUMBER  
**C-1**

NOTES:

1. MEASUREMENTS TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL CURB REJECTION STYLE UNLESS OTHERWISE SPECIFIED.
3. SEE DETAIL FOR LOT 4 HEAVY DUTY CONCRETE.
4. CURB & GUTTER WITHIN LOT 2 TO BE ALL 24 INCH SIZE EXCEPT WHERE OTHERWISE NOTED.
5. CURB & GUTTER WITHIN RIGHT-OF-WAY TO BE ALL 30 INCH SIZE EXCEPT WHERE OTHERWISE NOTED.
6. START AND END OF STANDARD (ACCEPTING STYLE) CURB & GUTTER TO BE MARKED ON PLAN.

INDIVIDUAL SITE DEVELOPMENT BOUNDARY  
 SITE BOUNDARY  
 BUILDING 1: 8,556 S.F.  
 BUILDING 2: 12,808 S.F.  
 BUILDING 3: 10,774 S.F.  
 BUILDING 4: 11,861 S.F.  
 BUILDING 5: 12,404 S.F.  
 CONCRETE PAVEMENT & SIDEWALK  
 LANDSCAPE AREA

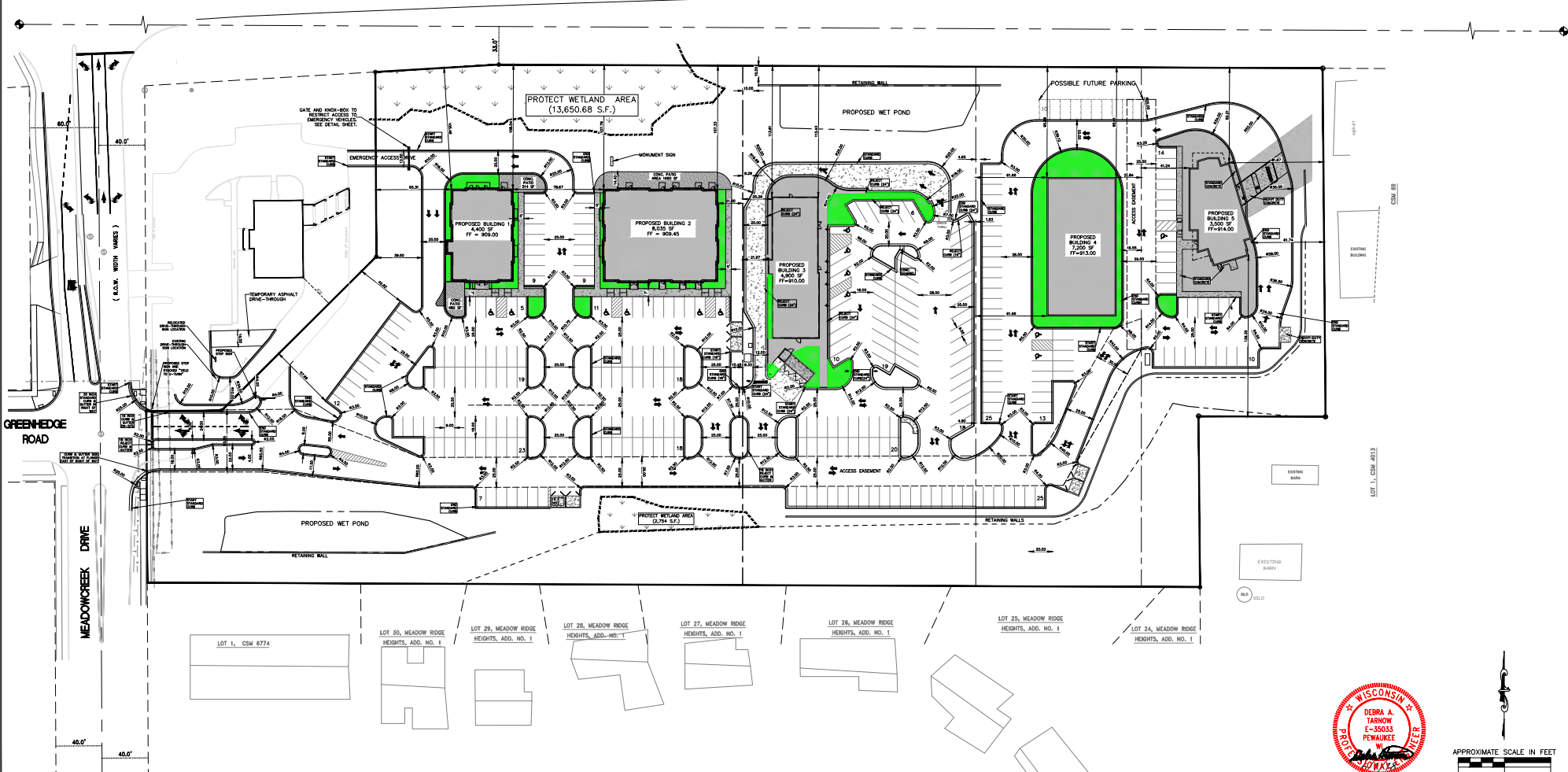
PARKING SPACES  
 LOT 1: 131  
 LOT 2: 91  
 LOT 3: 45  
 LOT 4: 28  
 PROPOSED: 285  
 REQUIRED: 253

LOT	GREEN SPACE AREAS		PERCENT GREEN SPACE
	GREEN SPACE (SQUARE FEET/ACRE)	LOT SIZES (SQUARE FEET/ACRE)	
1	86,975 (2.04AC)	181,215 (4.16AC)	49.10%
2	37,204 (0.85AC)	90,925 (2.08AC)	40.92%
3	24,285 (0.56AC)	64,576 (1.48AC)	37.58%
4	32,229 (0.69AC)	55,239 (1.27AC)	54.72%
TOTAL	180,673 (3.95AC)	391,953 (9.00AC)	46.10%

CAPITOL DRIVE

( R.O.W. WIDTH VARIES )

S.T.H. '190'



REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
1	LOT 3 REVISIONS PER OWNER	7/31/18	R.J.N	DAT/R.J.N	6-1-2018
2	UTILITY LABEL CORRECTIONS	8/14/18	R.J.N	DAT/R.J.N	6-1-2018
3	LOT 4 REVISIONS PER OWNER	8/22/18	R.J.N	DAT	6-1-2018
4	MINOR CURB CORRECTIONS	10/29/18	R.J.N	DAT	6-1-2018

**PROPOSED SITE PLAN DETAILS**  
**THE SHOPS AT MEADOW RIDGE**  
 MEADOWCREEK DR.  
 VILLAGE OF PEWAUKEE, WI



APPROXIMATE SCALE IN FEET  
 0 40'



KEY PROJECT NUMBER  
 2510003  
 PROJECT SCALE  
 1" = 40'  
 SHEET NUMBER  
**C-2**



**EROSION CONTROL NOTES**

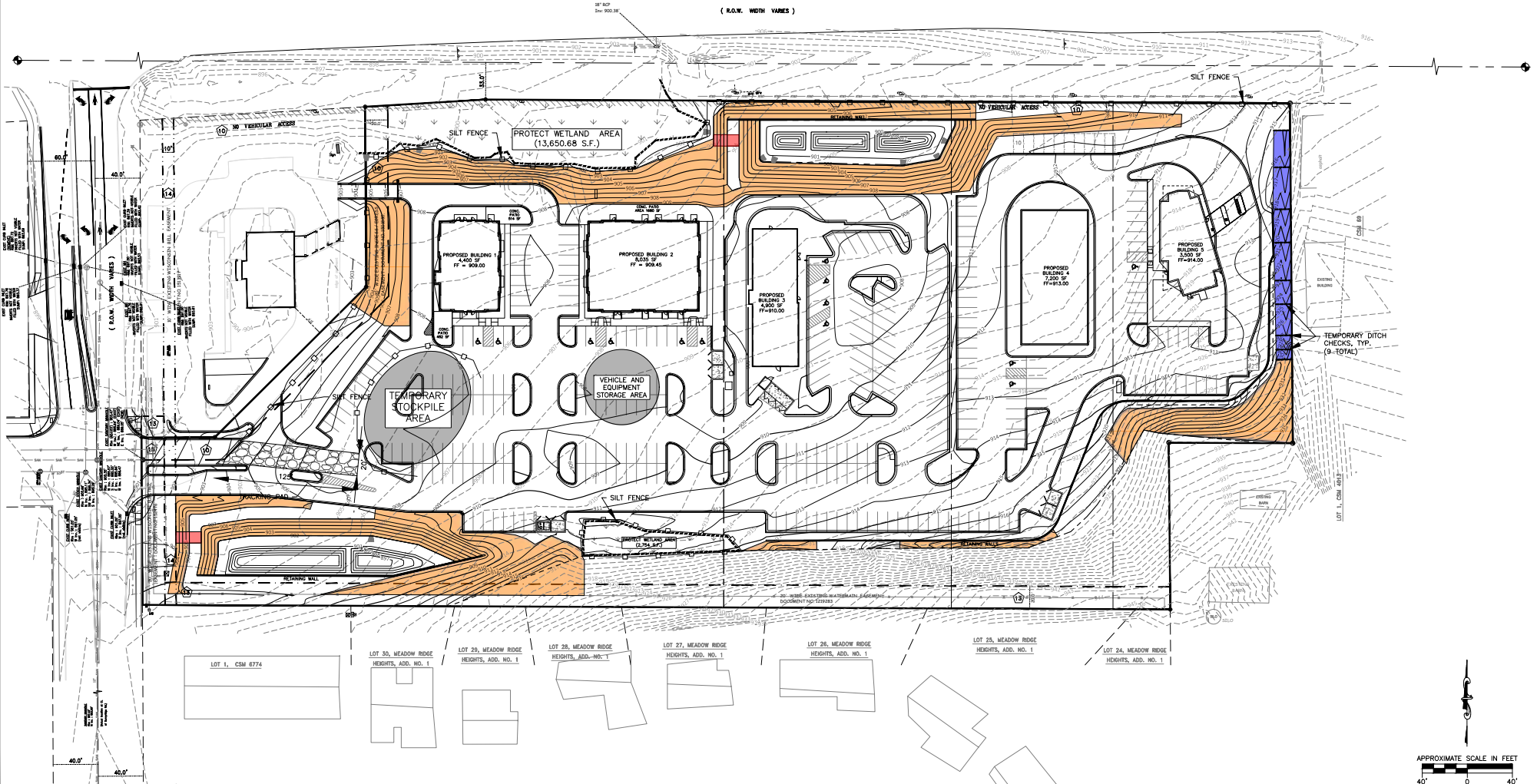
- DITCH CHECKS TO BE INSTALLED WITHIN DITCHES EVERY 2' FEET OF ELEVATION CHANGE AND WHEREVER ADDITIONALLY INDICATED ON THE PLANS.
- DITCH CHECKS SHALL BE OF "LOG" VARIETY AND APPROVED BY WISDOT PRODUCT ACCEPTABILITY LIST, DITCH CHECKS SHALL BE INSTALLED TO FIT THE ENTIRE WIDTH OF THE DITCH AND PERPENDICULAR TO THE DIRECTION OF WATER FLOW.
- ALL EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBANCE ACTIVITIES. DEVICES SHALL BE INSTALLED AND MAINTAINED PER WISCONSIN DEPARTMENT OF NATURAL RESOURCES BEST MANAGEMENT PRACTICES (BMPs), TECHNICAL STANDARDS.
- IF DEMATERIALING IS REQUIRED DURING CONSTRUCTION, ALL WATER SHALL BE DIRECTED TOWARD AND TREATED USING GEOTEXTILE SEDIMENT BAGS. ALL DEMATERIALING ACTIVITIES SHALL COMPLY WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. NO SEDIMENT SHOULD BE DEPOSITED INTO CITY STORM SEWERS.
- GEOTEXTILE BAGS SHALL BE SIZED ACCORDING TO THE PARTICLE SIZE BEING TRAPPED, EXPECTED FLOW OR PUMPING RATE (GPM) PER SQUARE FOOT OF FABRIC AND SOIL CLOGGING FACTOR. THE FOOTPRINT OF THE BAG SHALL BE NO SMALLER THAN 100 SQ. FT. BAGS SHALL BE STAGED IN AREA WHERE DISCHARGE WILL NOT FLOW OVER DISTURBED AREAS.
- CONTRACTOR SHALL PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE THROUGH CONSTRUCTION PHASING AND TIMELY STABILIZATION. SITE WATERING AND MULCH CAN ALSO BE USED TO REDUCE DUST ON THE SITE.
- AT THE END OF EACH WORKDAY, ALL OFF-SITE SEDIMENT DEPOSITS OR TRACKED SOIL ORIGINATING FROM THE SITE SHALL BE CLEANED UP. FLUSHING IS NOT PERMITTED UNLESS TREATED PRIOR TO DISCHARGE FROM SITE.
- ALL AREAS OF FINAL GRADING SHALL BE STABILIZED WITHIN 7 DAYS.
- ALL EROSION CONTROL DEVICES SHALL BE CHECKED WEEKLY AND AFTER A RAINFALL EVENT OF 0.5 INCH OR MORE. ALL MAINTENANCE SHALL BE COMPLETED IMMEDIATELY.
- CONTRACTOR SHALL VERIFY ALL ELEVATIONS IN FIELD PRIOR TO CONSTRUCTION.
- DURING THE GROWING SEASON, ALL DISTURBED AREAS SHALL BE LEFT UNTOUCHED FOR 14 DAYS OR LONGER SHALL BE TEMPORARILY STABILIZED WITH SEED AND MULCH PER WDNR TECHNICAL STANDARD. MULCH MAY BE ANCHORED BY MECHANICAL CRIPING OR THROUGH USE OF A TACKIFIER, WHICH EVER IS MORE COST EFFECTIVE. DURING THE WINTER MONTHS, ALL DISTURBED AREAS SHALL BE TEMPORARILY STABILIZED WITH A POLYMER PER WDNR TECHNICAL STANDARD.
- DURING THE WINTER MONTHS ALL TILES SHALL BE PUSHED INTO A STOCKPILE AND TEMPORARILY STABILIZED WITH A POLYMER IF LEFT UNTOUCHED FOR 7 DAYS OR LONGER.
- ALL INLETS SHALL HAVE INLET PROTECTION PER DETAIL DRAWINGS AND WDNR STANDARDS.
- ANIONIC POLYACRYLAMIDE SHALL BE APPLIED TO ALL DISTURBED AREAS WHERE STABILIZATION OR EROSION IS PROBLEMATIC DURING INCLIMATIC WEATHER WHEN SEEDING IS NOT LIKELY TO GERMINATE. APPLICATION OF POLYACRYLAMIDE SHALL BE PERFORMED IN ACCORDANCE WITH WDNR CONSERVATION PRACTICE STANDARD 1050 (EROSION CONTROL, LAND APPLICATION OF ANIONIC POLYACRYLAMIDE).
- TEMPORARY STOCKPILES OF SOIL SHALL BE PLACED WITHIN SILT FENCED AREAS PROTECTING ALL DOWN-SLOPE DIRECTIONS SURROUNDING THE STOCKPILE. STOCKPILES LEFT UNTOUCHED FOR 14 DAYS SHALL BE SUBJECT TO NOTE 11.

**EROSION CONTROL MATING**

- WISDOT CLASS I URBAN TYPE B (APPROX 49,319 S.F.)
- WISDOT CLASS III TYPE C (APPROX 3,064 S.F.)
- WISDOT CLASS III TYPE D (APPROX 225 S.F.)
- 12" EROSION CONTROL LOG OR WATTLE

**CONSTRUCTION SEQUENCE**

- INSTALL TRACKING PAD, INLET PROTECTION, AND SILT FENCE.
- CLEAR AND GRUB.
- CONSTRUCT WET PONDS AND SWALES ALONG EAST BOUNDARY. IMMEDIATELY AS-BUILT PONDS AND SWALES UPON COMPLETION AND PERMANENTLY RESTORE PONDS AND SWALES.
- ROUGH GRADE SITE.
- INSTALL UNDERGROUND UTILITIES AND CONSTRUCT BUILDINGS.
- FINAL GRADE SITE.
- CONSTRUCT CURB AND GUTTER.
- INSTALL ASPHALT PAVING AND STRIPING.
- INSTALL TRAFFIC CONTROL AND PERFORM DEMOLITION IN MEADOWCREEK DR.
- PAVE MEADOWCREEK DR.
- ROUGH & FINISH GRADE MEADOWCREEK DR.
- INSTALL MEADOWCREEK DR. CURB & GUTTER.
- PAVE MEADOWCREEK DR.
- REMOVE MEADOWCREEK DR. TRAFFIC CONTROL.
- INSTALL LANDSCAPING.
- REMOVE EROSION CONTROL DEVICES AFTER 70% OF VEGETATION IS HEALTHY AND GROWING.



REVISION	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
1	LOT 3 REVISIONS PER OWNER	7/31/18	R.J.N	DAT/R.J.N	6-1-2018
2	UTILITY LABEL CORRECTIONS	8/14/18	R.J.N	R.J.N/DAT	6-1-2018
3	LOT 4 REVISIONS PER OWNER	8/29/18	R.J.N	DAT	6-1-2018
				ISSUANCE	
				CONSTRUCTION	

**PROPOSED EROSION CONTROL PLAN**  
**THE SHOPS AT MEADOW RIDGE**  
 MEADOWCREEK DR.  
 VILLAGE OF PEWAUKEE, WI



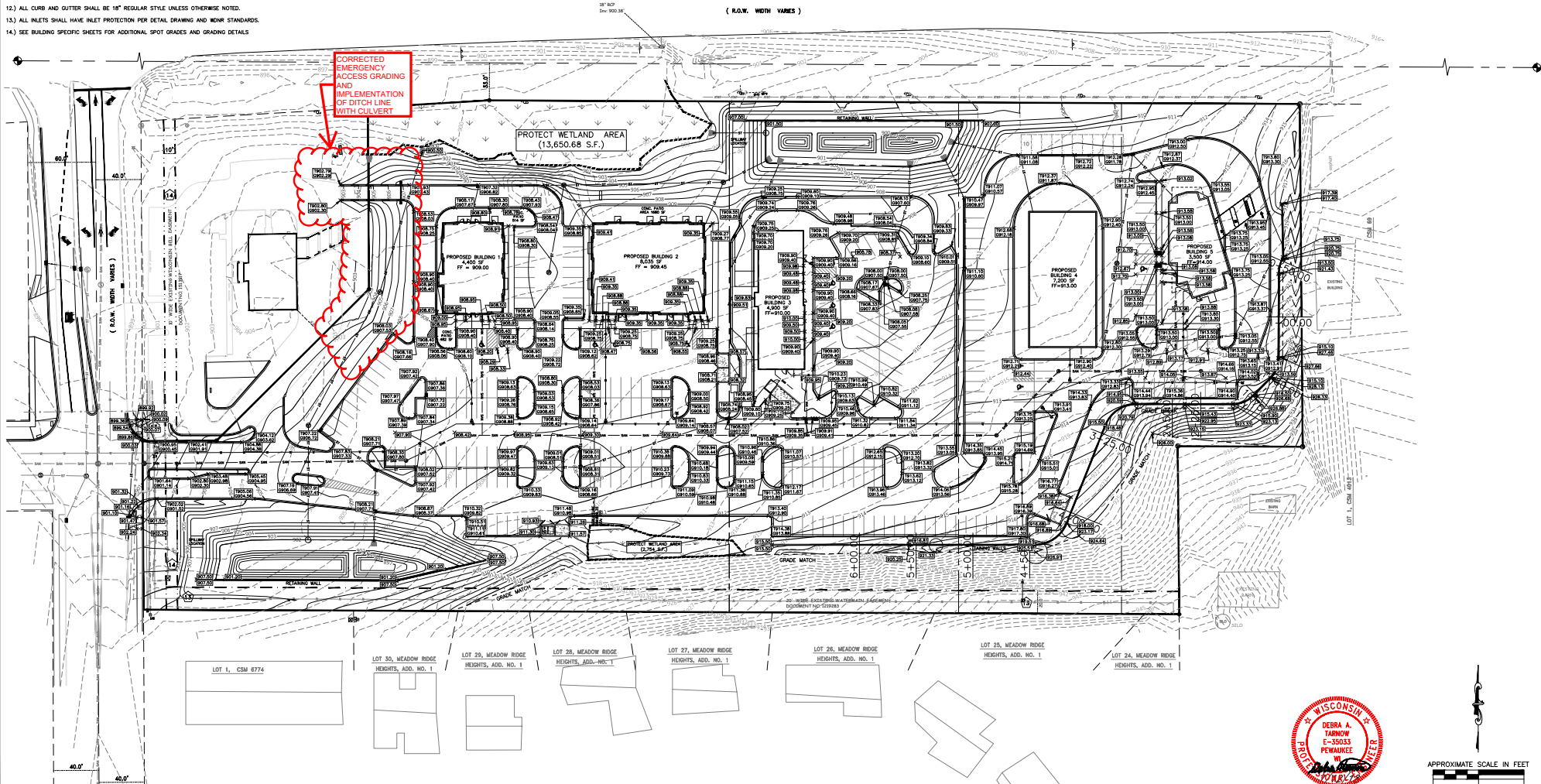
KEY PROJECT NUMBER	2510003
PROJECT SCALE	1" = 40'
SHEET NUMBER	C-3

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- NOTES:
- 1.) ALL EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBANCE ACTIVITIES. DEVICES SHALL BE INSTALLED AND MAINTAINED PER WISCONSIN DEPARTMENT OF NATURAL RESOURCES BEST MANAGEMENT PRACTICES (BMPs), TECHNICAL STANDARDS.
  - 2.) IF DRAINAGE IS REQUIRED DURING CONSTRUCTION, ALL WATER SHALL BE DIRECTED TOWARD AND TREATED USING GEOTEXTILE SEDIMENT BAGS. ALL DRAINAGE ACTIVITIES SHALL COMPLY WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. NO SEDIMENT SHOULD BE DEPOSITED INTO CITY STORM SEWERS.
  - 3.) GEOTEXTILE BAGS SHALL BE SIZED ACCORDING TO PARTICLE SIZE BEING TRAPPED, EXPECTED FLOW OR PUMPING RATE (GPM) PER SQUARE FOOT OF FABRIC AND SOIL CLOSING FACTOR. THE FOOTPRINT OF THE BAG SHALL BE NO SMALLER THAN 100 SQ. FT. BAGS SHALL BE STAGED IN AREA WHERE DISCHARGE WILL NOT FLOW OVER DISTURBED AREAS.
  - 4.) CONTRACTOR SHALL PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE THROUGH CONSTRUCTION PHASING AND TIMELY STABILIZATION. SITE WATERING AND MULCH CAN ALSO BE USED TO REDUCE DUST ON THE SITE.
  - 5.) AT THE END OF EACH WORKDAY, ALL OFF-SITE SEDIMENT DEPOSITS OR TRACKED SOIL ORIGINATING FROM THE SITE SHALL BE CLEANED UP. FLUSHING IS NOT PERMITTED UNLESS TREATED PRIOR TO DISCHARGE FROM SITE.
  - 6.) ALL AREAS OF FINAL GRADING SHALL BE STABILIZED WITHIN 7 DAYS.
  - 7.) ALL EROSION CONTROL DEVICES SHALL BE CHECKED WEEKLY AND AFTER A RAINFALL EVENT OF 0.5 INCH OR MORE, ALL MAINTENANCE SHALL BE COMPLETED IMMEDIATELY.
  - 8.) CONTRACTOR SHALL VERIFY ALL ELEVATIONS IN FIELD PRIOR TO CONSTRUCTION.
  - 9.) DURING THE GROWING SEASON, ALL DISTURBED AREAS LEFT UNTOUCHED FOR 14 DAYS OR LONGER SHALL BE TEMPORARILY STABILIZED WITH SEED AND MULCH PER NRMH TECHNICAL STANDARD. MULCH MAY BE ANCHORED BY MECHANICAL DRAPING OR THROUGH USE OF A TACKIFIER, WHICH EVER IS MORE COST EFFECTIVE. DURING THE WINTER MONTHS, ALL DISTURBED AREAS SHALL BE TEMPORARILY STABILIZED WITH A POLYMER PER NRMH TECHNICAL STANDARD.
  - 10.) DURING THE WINTER MONTHS, ALL FILL PILES SHALL BE PUSHED INTO A STOOPPILE AND TEMPORARILY STABILIZED WITH A POLYMER IF LEFT UNTOUCHED FOR 7 DAYS OR LONGER.
  - 11.) ALL PROPOSED SPOT GRADES ARE TO FINISH GRADE OR FLOW LINE OF CURB UNLESS OTHERWISE NOTED.
  - 12.) ALL CURBS AND GUTTERS SHALL BE 14" REGULAR STRENGTH UNLESS OTHERWISE NOTED.
  - 13.) ALL INLETS SHALL HAVE INLET PROTECTION PER DETAIL DRAWING AND NRMH STANDARDS.
  - 14.) SEE BUILDING SPECIFIC SHEETS FOR ADDITIONAL SPOT GRADES AND GRADING DETAILS.

- NOTES (CONTINUED):
- 14.) SEE SHEET C-10 FOR CROSS SECTION DETAILS OF WET PONDS
  - 15.) SEEDING FOR PERMANENT PERVIOUS AREA STABILIZATION AND LANDSCAPING SHOULD FOLLOW WISDOT STANDARD SPECIFICATIONS SECTION 630.
    - A. USE WISDOT SEED MIXTURE NO. 10 (1.5 POUNDS PER 1000 SQUARE FEET) OR OTHER MIXTURE CONTAINING A MAJORITY PERCENTAGE OF A COMBINATION OF KENTUCKY BLUEGRASS AND RED FESCUE GRASSES (FOR PROPOSAL FROM CITY ENGINEER).
    - B. 4" TOPSOIL IS REQUIRED ON TOP OF FINAL ROUGH GRADE OR SUBGRADE SOILS. SEE SHEET C-7 FOR DETAIL.
    - C. THE SUBGRADE SHALL BE WELDED TOGETHER AND ALL STRESS POINTS AND ALL JOINTS SHALL BE REPAIRED PRIOR TO INSTALLATION OF TOPSOIL.
    - D. TOP OF TOPSOIL SHALL BE NEARLY GRADE AND RAKED FOR SMOOTHNESS ACCORDING TO WISDOT STANDARD SPECIFICATIONS SECTION 625.3.3
    - E. THE SEEDING OF SEED SHALL CONFORM TO WISDOT STANDARD SPECIFICATIONS SECTION 630.3.3, METHOD A OR B.
    - F. SEED SHALL BE WATERED AND MAINTAINED UNTIL THE ROOT SYSTEMS HAVE TAKEN HOLD. THE AREAS SHALL BE WATERED AS OFTEN AS NECESSARY TO ASSURE GOOD GROWTH.



REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
1	LOT 3 REVISIONS PER OWNER	7/31/18	R/JN	DAT/R/JN	6-1-2018
2	UTILITY LABEL CORRECTIONS	8/14/18	R/JN	DAT/R/JN	6-1-2018
3	LOT 4 REVISIONS PER OWNER	8/22/18	R/JN	DAT/R/JN	6-1-2018
4	SINGLE TIER RETAINING WALL STUDY	9/27/18	R/JN	DAT/R/JN	6-1-2018
5	ADD SPOT FLE. AT DUMPSTER PADS	10/15/18	R/JN	DAT/R/JN	6-1-2018
6	REVISED SPOT GRADING	10/28/18	R/JN	DAT/R/JN	6-1-2018
7	NW ACCESS GRADE CORRECT & CULVERT	11/27/18	R/JN	DAT/R/JN	6-1-2018

ISSUANCE	CONSTRUCTION
DATE	6-1-2018

**PROPOSED GRADING PLAN**  
**THE SHOPS AT MEADOW RIDGE**  
 MEADOWCREEK DR.  
 VILLAGE OF PEWAUKEE, WI

315 NORTH WATER STREET, SUITE 510  
 41424 ARNOLD DR., PEWAUKEE, WI 53151  
 414.24.4890 (OFF) • 414.24.8363 (CELL)

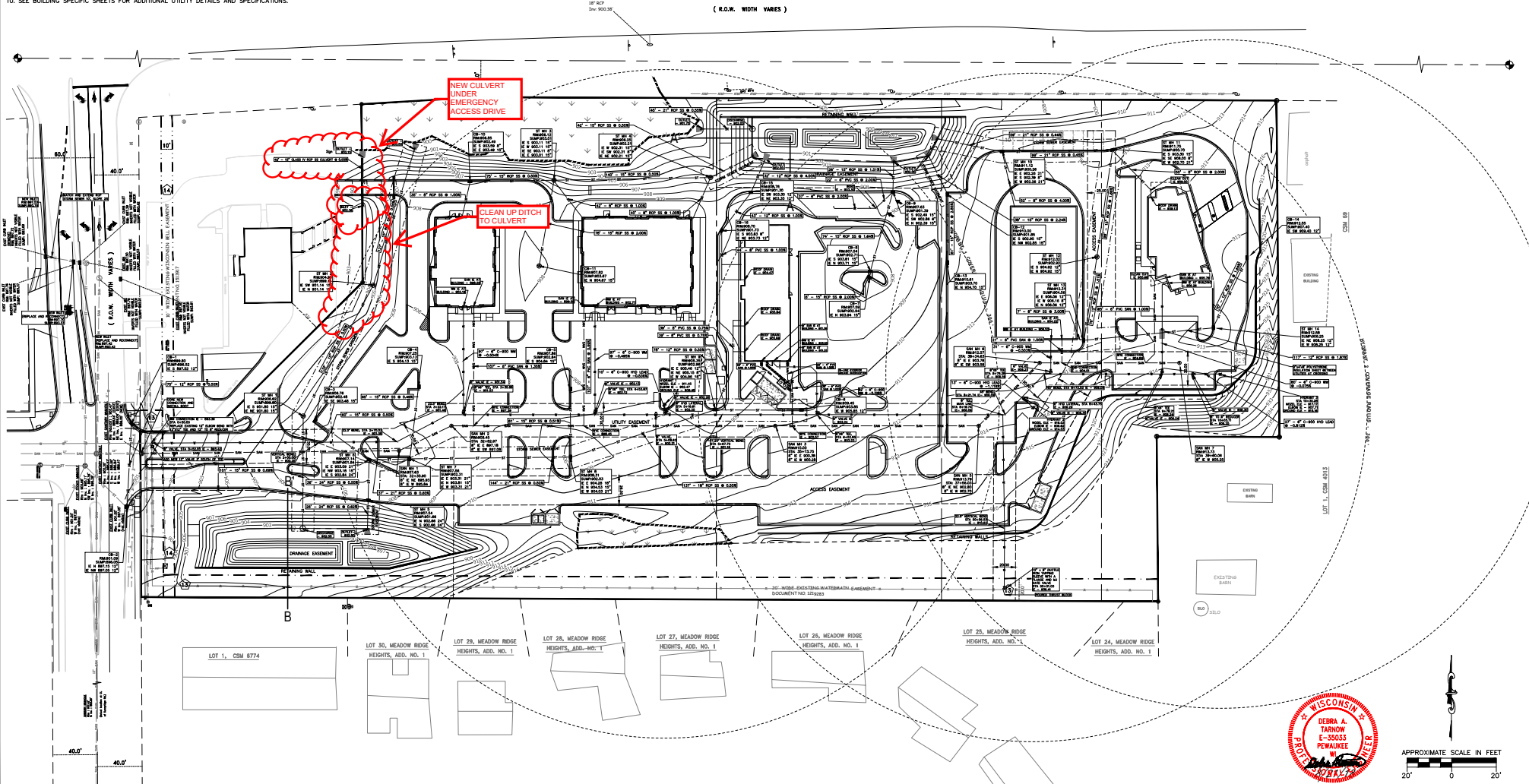
KEY PROJECT NUMBER  
2-6-2018

PROJECT SCALE  
1" = 40'

SHEET NUMBER  
**C-5**

**UTILITY NOTES**

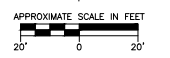
1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
3. SPECIFICATIONS SHALL COMPLY WITH THE VILLAGE OF PEWAUKEE SPECIAL PROVISIONS.
4. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
5. WATER MAIN ELEVATIONS MEASURED TO TOP OF OUTSIDE CROWN, BURIED A MINIMUM OF 6'. STORM WATER AND SANITARY SEWER UTILITY ELEVATIONS ARE MEASURED TO INVERT.
6. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
7. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
8. ALL WORK WITHIN THE STREET RIGHT-OF-WAY REQUIRES A STREET EXCAVATION PERMIT WHICH SHALL BE OBTAINED FROM THE VILLAGE OF PEWAUKEE ENGINEERING DEPARTMENT.
9. CONTACT VILLAGE ENGINEER, 72 HOURS PRIOR TO ANY WORK WITHIN PUBLIC ROW AND EASEMENTS.
10. SEE BUILDING SPECIFIC SHEETS FOR ADDITIONAL UTILITY DETAILS AND SPECIFICATIONS.



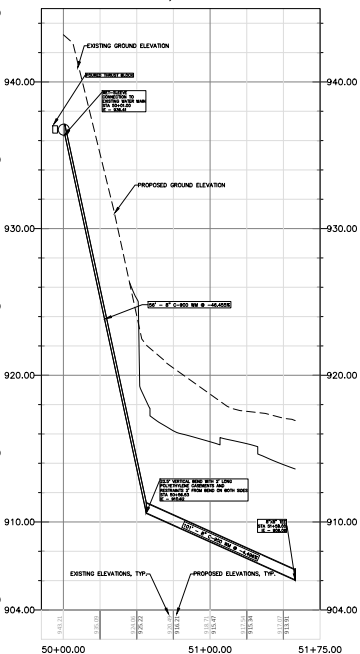
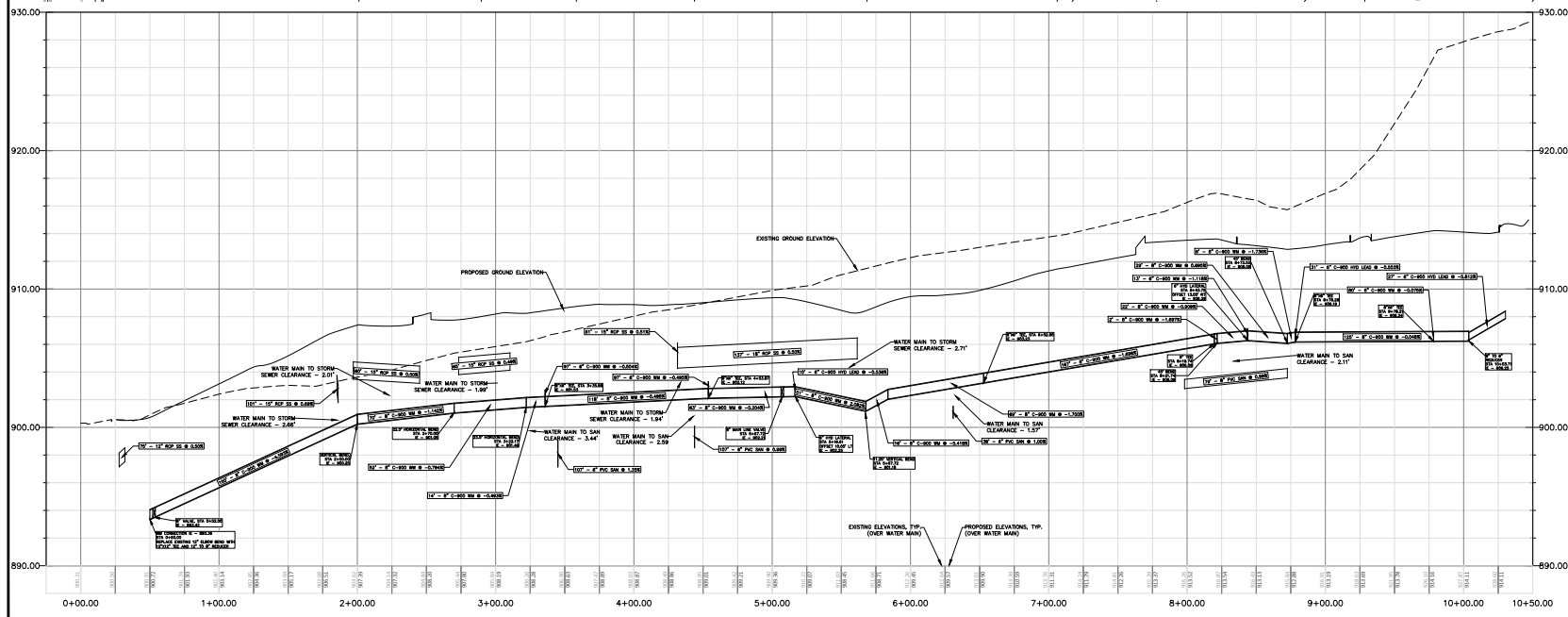
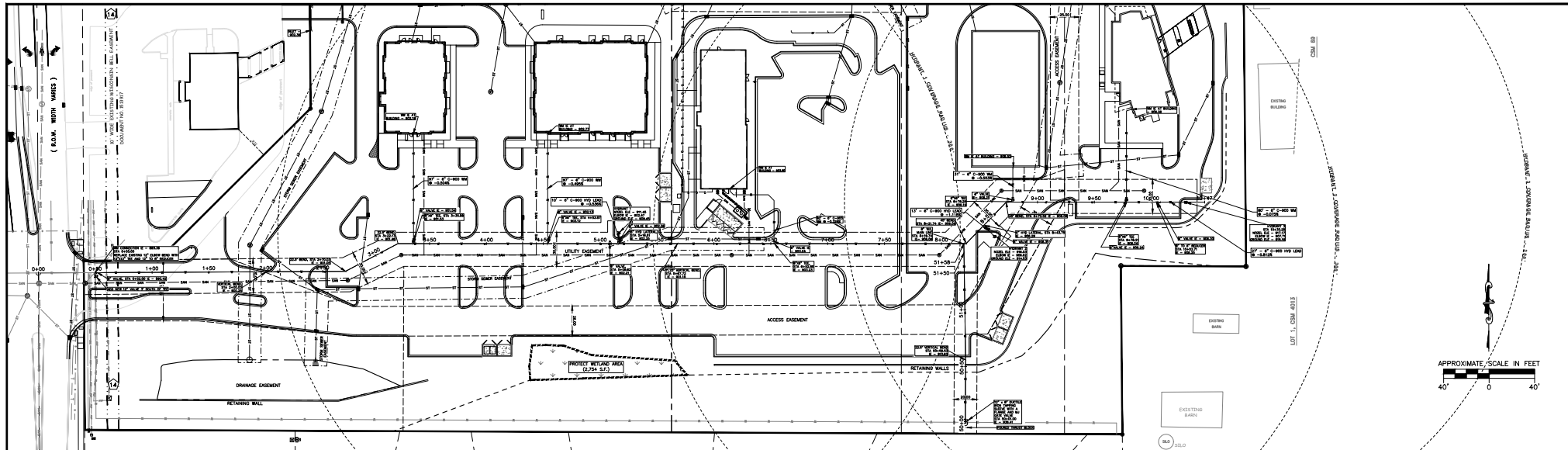
REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
1	LOT 3 REVISIONS PER OWNER	7/31/18	R.J.N	DAT/R.J.N	6-1-2018
2	UTILITY LABEL CORRECTIONS	8/14/18	R.J.N	DAT/R.J.N	6-1-2018
3	LOT 4 REVISIONS PER OWNER	8/29/18	R.J.N	DAT	6-1-2018
4	NW ACCESS GRADE CORRECT & CULVERT	11/2/18	R.J.N	DAT	6-1-2018

ISSUANCE  
CONSTRUCTION

**PROPOSED UTILITY PLAN  
THE SHOPS AT MEADOW RIDGE  
MEADOWCREEK DR.  
VILLAGE OF PEWAUKEE, WI**



KEY PROJECT NUMBER  
2510003  
PROJECT SCALE  
1" = 40'  
SHEET NUMBER  
**C-6**



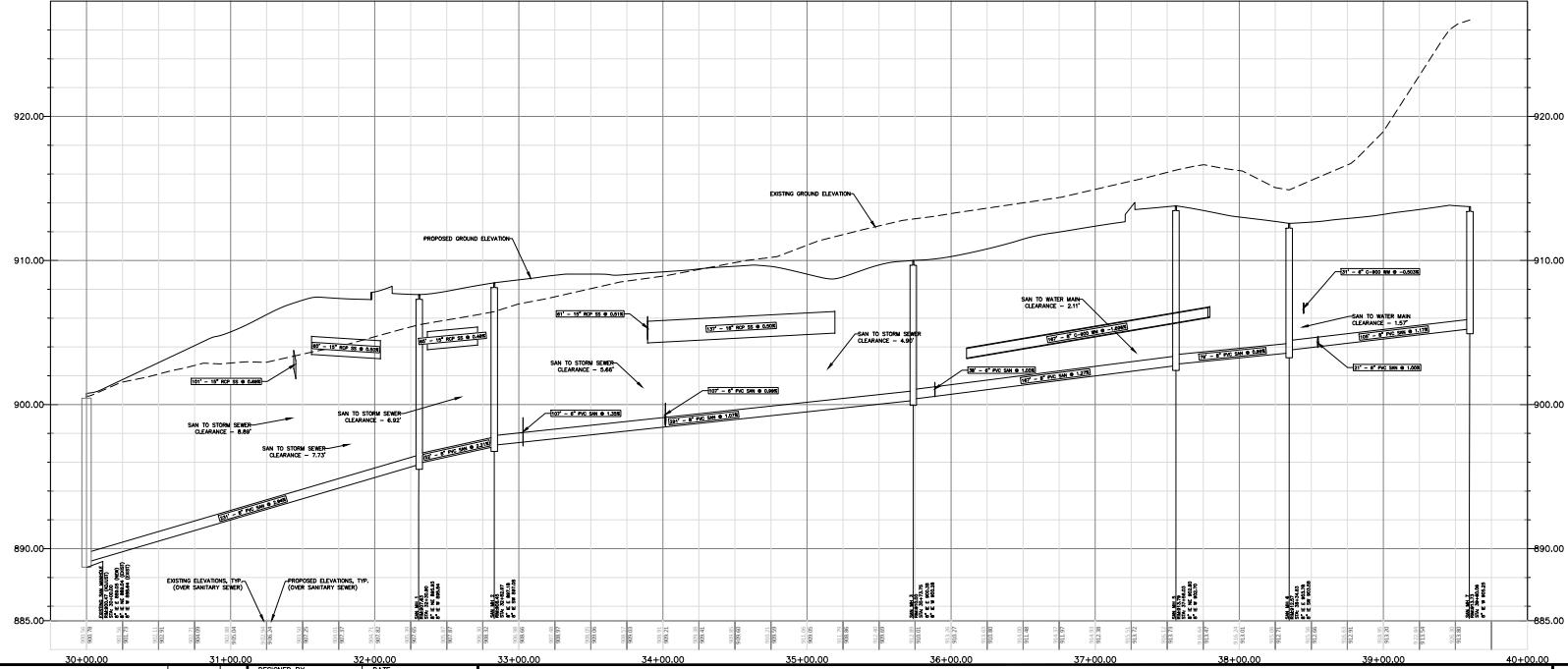
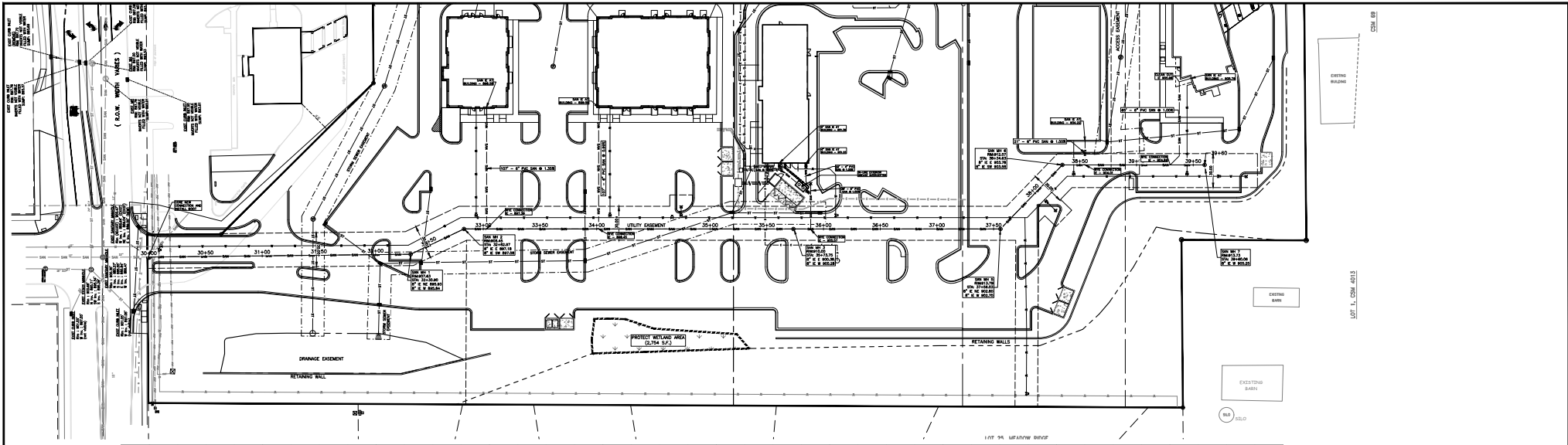
REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
1	LOT 3 REVISIONS PER OWNER	7/31/18	R/JN	DAT/R/JN	6-1-2018
2	UTILITY LABEL CORRECTIONS	8/14/18	R/JN	DAT/R/JN	6-1-2018
3	LOT 4 REVISIONS PER OWNER	8/29/18	R/JN	DAT	6-1-2018
				ISSUANCE	
				CONSTRUCTION	

WEST TO EAST SECTION

**PROPOSED WATER MAIN PROFILE**  
**THE SHOPS AT MEADOW RIDGE**  
 MEADOWCREEK DR.  
 VILLAGE OF PEWAUKEE, WI

**KEY ENGINEERING GROUP LTD.**  
 725 NORTH WATER STREET, SUITE 510  
 MILWAUKEE, WI 53227  
 414.234.8700 • 414.234.8363 (fax)

KEY PROJECT NUMBER: 2510003  
 PROJECT SCALE: 1" = 40'  
 SHEET NUMBER: C-7

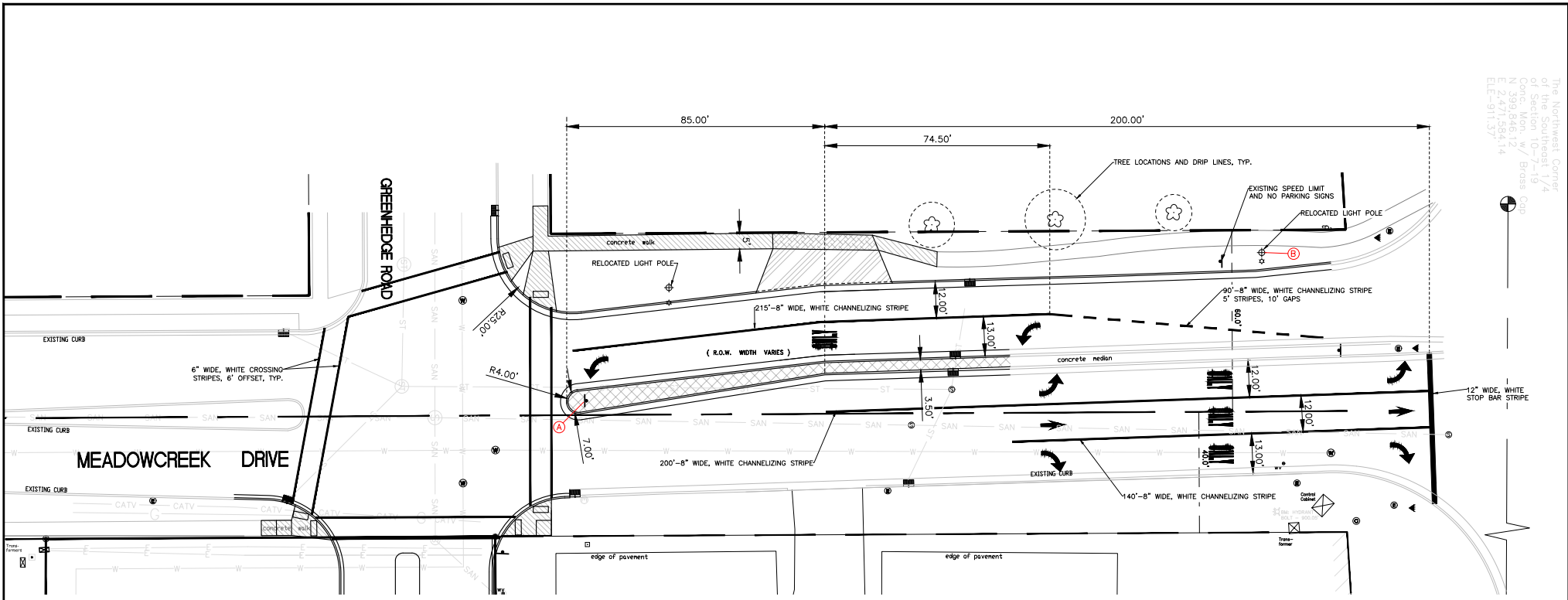


REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
1	LOT 3 REVISIONS PER OWNER	7/31/18	R/JN	DAT/R/JN	6-1-2018
2	UTILITY LABEL CORRECTIONS	8/14/18	R/JN	R/JN/DAT	6-1-2018
3	LOT 4 REVISIONS PER OWNER	8/29/18	R/JN	DAT	6-1-2018
				ISSUANCE	
				CONSTRUCTION	

**PROPOSED SANITARY SEWER PROFILE**  
**THE SHOPS AT MEADOW RIDGE**  
**MEADOWCREEK DR.**  
**VILLAGE OF PEWAUKEE, WI**

 715 NORTH WATER STREET, SUITE 510 MILWAUKEE, WI 53227 414.243.8900 • 414.243.8903 (fax)	KEY PROJECT NUMBER <b>2510003</b>
	PROJECT SCALE <b>1" = 40'</b>
	SHEET NUMBER <b>C-8</b>

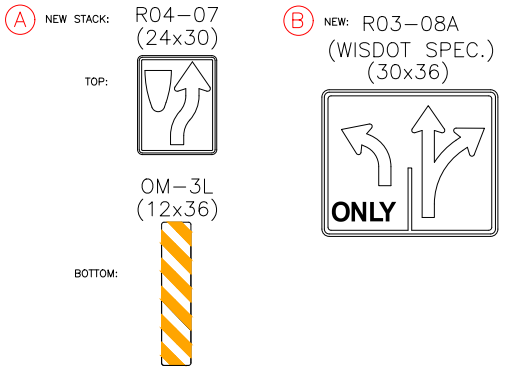
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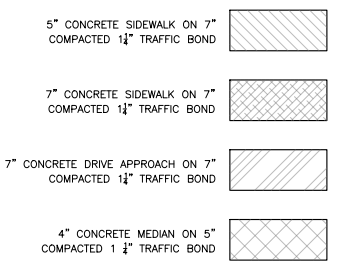
**LEGEND**

- - SET IRON STAKE
  - - FOUND IRON PIPE
  - P/L - PROPERTY LINE
  - x 100.00 - EXISTING SPOT ELEVATION
  - ⊙ - SEWER MANHOLE
  - ⊕ - COMMUNICATION MANHOLE
  - ⊖ - ELECTRIC MANHOLE
  - ⊗ - CATCH BASIN
  - ⊙ - TRAFFIC MANHOLE
  - EM - ELECTRIC METER
  - ⊕ - GAS METER
  - ⊖ - WATER VALVE
  - ⊗ - GAS VALVE
  - ⊙ - HYDRANT
  - ⊕ - TRAFFIC SIGNAL
  - ⊖ - UTILITY BOX
  - ⊗ - UTILITY POLE
  - ⊙ - FLOOD LIGHT
  - ⊕ - LIGHT POLE
  - ⊖ - WELL
- 
- ⊙ - CURVE TABLE ITEM
  - ⊕ - SCHEDULE "B" ITEM
  - ⊖ - ENCROACHMENT ITEM
  - ⊗ - INGRESS/EGRESS EASEMENT
  - ⊙ - WATER MAIN UTILITY EASEMENT
  - ⊕ - WISCONSIN BELL UTILITY EASEMENT
  - ⊖ - WE ENERGIES UTILITY EASEMENT
- 
- B-4 - BORING
  - ⊙ - CLEAN OUT
  - ⊕ - TRANSFORMER
  - ⊖ - AIR CONDITIONER
  - ⊗ - BOLLARD
  - ⊙ - UNDERGROUND WATER
  - ⊕ - UNDERGROUND ELECTRIC
  - ⊖ - UNDERGROUND TELECOMMUNICATIONS
  - ⊗ - OVERHEAD ELECTRIC
  - ⊙ - UNDERGROUND GAS
  - ⊕ - SANITARY SEWER
  - ⊖ - STORM SEWER
  - ⊗ - CHAIN LINK FENCE
  - ⊙ - SILT FENCE
  - ⊕ - HAND RAIL

**SIGNS**



**CONCRETE TYPE**



REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
1	REVISED C&G AND ELE. WITHIN MILL AREA	8/7/18	RJN	DAT/RJN	6-1-2018
				RJN/CAT	6-1-2018
				DAT	6-1-2018
				ISSUANCE	
				CONSTRUCTION	

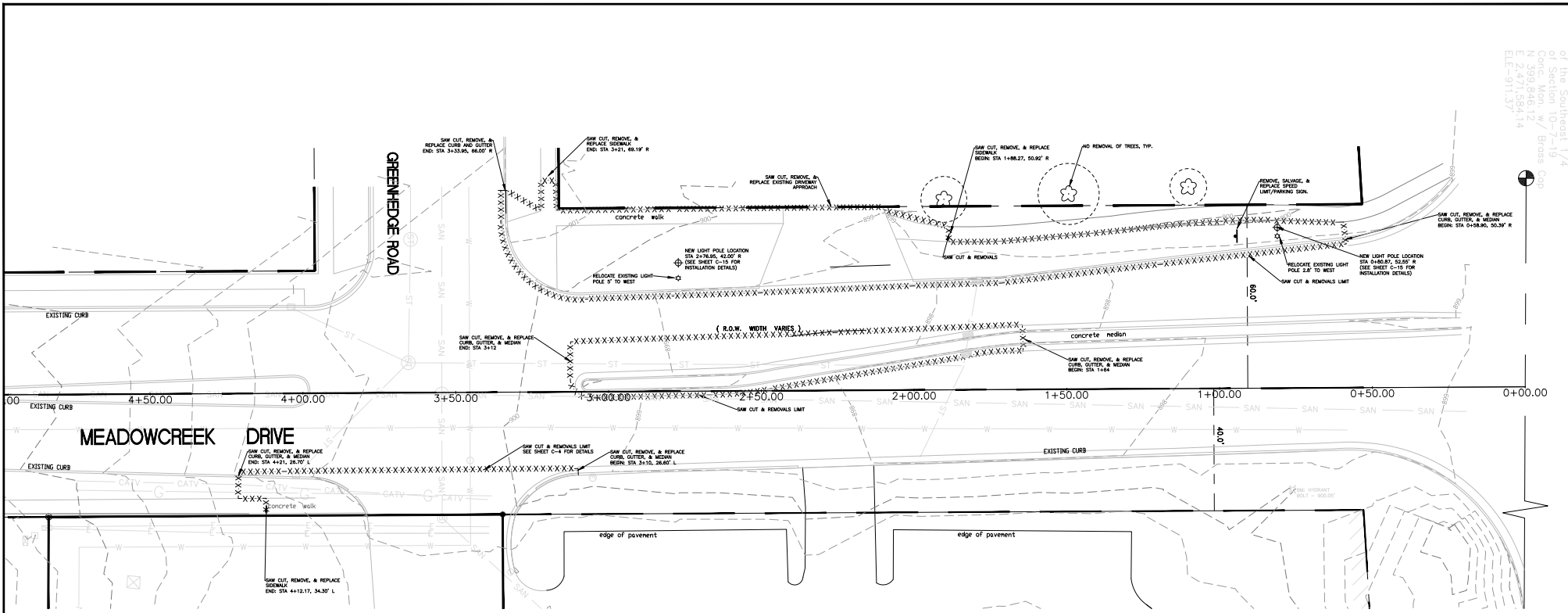
**PROPOSED MEADOWCREEK DRIVE IMPROVEMENTS, SIGNAGE, & STRIPING**  
**THE SHOPS AT MEADOW RIDGE**  
**MEADOWCREEK DR.**  
**VILLAGE OF PEWAUKEE, WI**



KEY PROJECT NUMBER	2510003
PROJECT SCALE	1" = 15'
SHEET NUMBER	C-9

C:\Projects\1604-1213-Shops.Meadow.Ridge.PWA.Meadowcreek\_Dr\_REV.dwg

The Northwest Corner  
of the Southwest 1/4  
of Section 10-7-19  
Cont. Mon. w/ Brass Cap  
N 399.84612  
E 2.47155414  
ELE: 911.57



### LEGEND

- - SET IRON STAKE
- - FOUND IRON PIPE
- P/L - PROPERTY LINE
- x 100.00 - EXISTING SPOT ELEVATION
- ⊙ - SEWER MANHOLE
- ⊕ - COMMUNICATION MANHOLE
- ⊖ - ELECTRIC MANHOLE
- ⊚ - CATCH BASIN
- ⊙ - TRAFFIC MANHOLE
- EM - ELECTRIC METER
- GM - GAS METER
- WV - WATER VALVE
- GV - GAS VALVE
- HYD - HYDRANT
- TS - TRAFFIC SIGNAL
- UB - UTILITY BOX
- UP - UTILITY POLE
- FL - FLOOD LIGHT
- LP - LIGHT POLE
- W - WELL
- ⊙ - CURVE TABLE ITEM
- ⊙ - SCHEDULE "B" ITEM
- ⊙ - ENCROACHMENT ITEM
- ⊙ - INGRESS/EGRESS EASEMENT
- ⊙ - WATER MAIN UTILITY EASEMENT
- ⊙ - WISCONSIN BELL UTILITY EASEMENT
- ⊙ - WE ENERGIES UTILITY EASEMENT
- B-4 - BORING
- ⊙ - CLEAN OUT
- ⊙ - TRANSFORMER
- ⊙ - AIR CONDITIONER
- ⊙ - BOLLARD
- ⊙ - UNDERGROUND WATER
- ⊙ - UNDERGROUND ELECTRIC
- ⊙ - UNDERGROUND TELECOMMUNICATIONS
- ⊙ - OVERHEAD ELECTRIC
- ⊙ - UNDERGROUND GAS
- ⊙ - SANITARY SEWER
- ⊙ - STORM SEWER
- ⊙ - CHAIN LINK FENCE
- ⊙ - SILT FENCE
- ⊙ - HAND RAIL

REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
1	REVISED C&G AND ELE. WITHIN MILL AREA	8/7/18	RJN	DAT/RJN	6-1-2018
				RJN/CAT	6-1-2018
				DAT	6-1-2018
				ISSUANCE	
				CONSTRUCTION	

## PROPOSED MEADOWCREEK DRIVE DEMOLITION THE SHOPS AT MEADOW RIDGE MEADOWCREEK DR. VILLAGE OF PEWAUKEE, WI

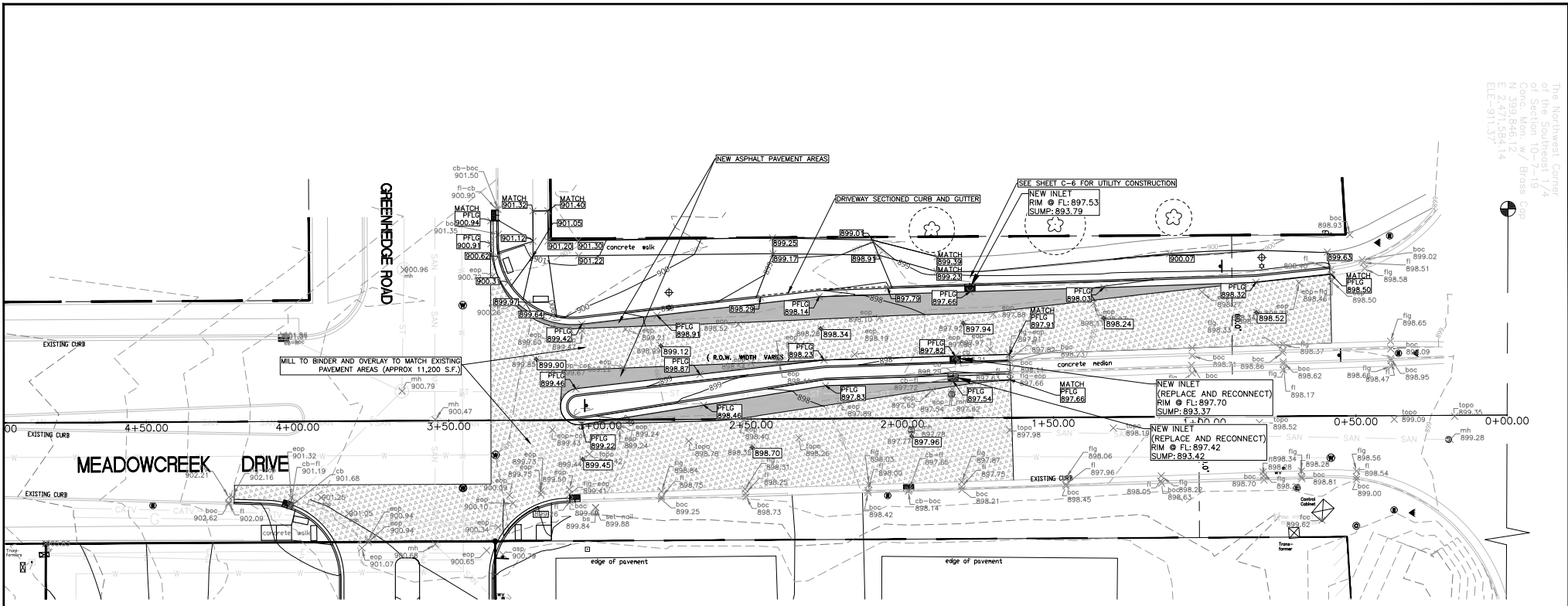


KEY PROJECT NUMBER	2510003
PROJECT SCALE	1" = 15'
SHEET NUMBER	C-10

CA:\Projects\1604-1213-Shops.Meadow.Ridge.PWA.Meadowcreek\_Dr\_REV.dwg

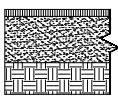


The North-South Corner of the Southeast 1/4 of Section 10-7-119 of One Men. w/ Brns Cap N 399.84612 E 2.471.58414 ELE=911.57

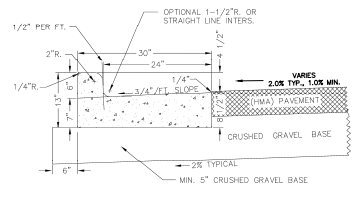


### LEGEND

- - SET IRON STAKE
- - FOUND IRON PIPE
- P/L - PROPERTY LINE
- x 100.00 - EXISTING SPOT ELEVATION
- ⊙ - SEWER MANHOLE
- ⊙ - COMMUNICATION MANHOLE
- ⊙ - ELECTRIC MANHOLE
- ⊙ - CATCH BASIN
- ⊙ - TRAFFIC MANHOLE
- EM - ELECTRIC METER
- GM - GAS METER
- WV - WATER VALVE
- GV - GAS VALVE
- HY - HYDRANT
- △ - TRAFFIC SIGNAL
- UB - UTILITY BOX
- UP - UTILITY POLE
- FL - FLOOD LIGHT
- LP - LIGHT POLE
- W - WELL
- ⊙ (998.50) - CROWN OR ZERO-FACE CURB SPOT ELEVATION
- ⊙ - CURVE TABLE ITEM
- ⊙ - SCHEDULE "B" ITEM
- ⊙ - ENCROACHMENT ITEM
- ⊙ - INGRESS/EGRESS EASEMENT
- ⊙ - WATER MAIN UTILITY EASEMENT
- ⊙ - WISCONSIN BELL UTILITY EASEMENT
- ⊙ - WE ENERGIES UTILITY EASEMENT
- B-4 - BORING
- ⊙ - CLEAN OUT
- ⊙ - TRANSFORMER
- ⊙ - AIR CONDITIONER
- ⊙ - BOLLARD
- - UNDERGROUND WATER
- - UNDERGROUND ELECTRIC
- - OVERHEAD ELECTRIC
- - UNDERGROUND TELECOMMUNICATIONS
- - UNDERGROUND GAS
- - SANITARY SEWER
- - STORM SEWER
- - CHAIN LINK FENCE
- - SILT FENCE
- - HAND RAIL

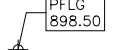


RIGHT-OF-WAY ASPHALT PAVEMENT SECTION  
NOT TO SCALE

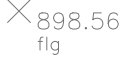


30" CURB & GUTTER  
NOT TO SCALE

PROPOSED SPOT ELEVATION, TYP.



EXISTING SPOT ELEVATION, TYP.



REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
1	REVISED C&G AND ELE. WITHIN MILL AREA	8/7/18	RJN	DAT/RJN	6-1-2018
				RJN/CAT	6-1-2018
				DAT	6-1-2018

## PROPOSED MEADOWCREEK DRIVE CURB GRADS THE SHOPS AT MEADOW RIDGE MEADOWCREEK DR. VILLAGE OF PEWAUKEE, WI



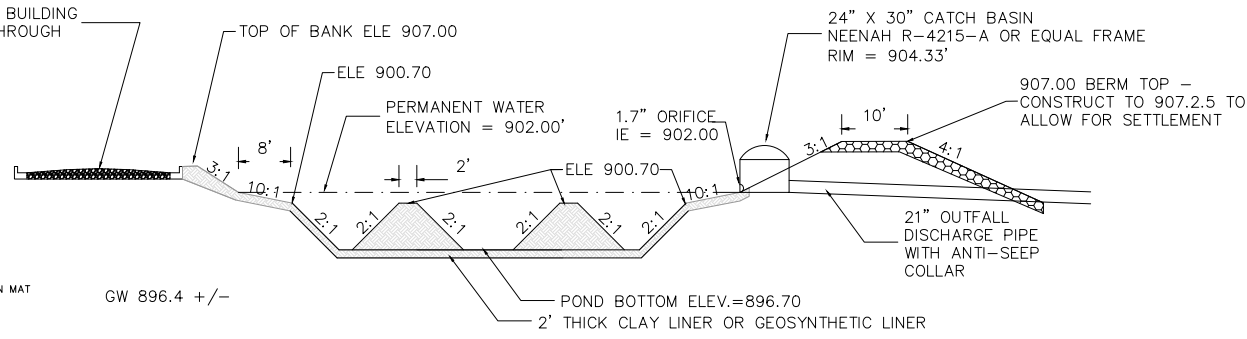
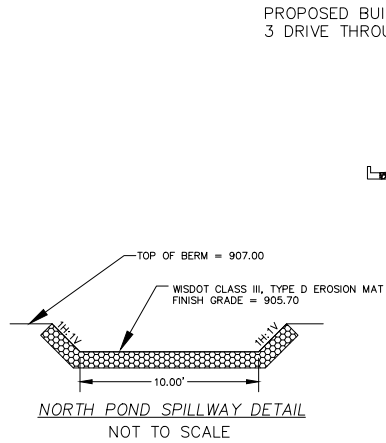
KEY PROJECT NUMBER	2510003
PROJECT SCALE	1" = 15'
SHEET NUMBER	C-11A

C:\Projects\1604-1213-Shops.Meadow.Ridge.PWA.Meadowcreek Dr. REV.dwg

NOTES:  
 WET POND CLAY LINER SHALL BE INSTALLED ACCORDING TO WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDAR 1001, APPENDIX D, TYPE B LINERS.

CLAY LINER SHALL FOLLOW THE FOLLOWING CRITERIA:

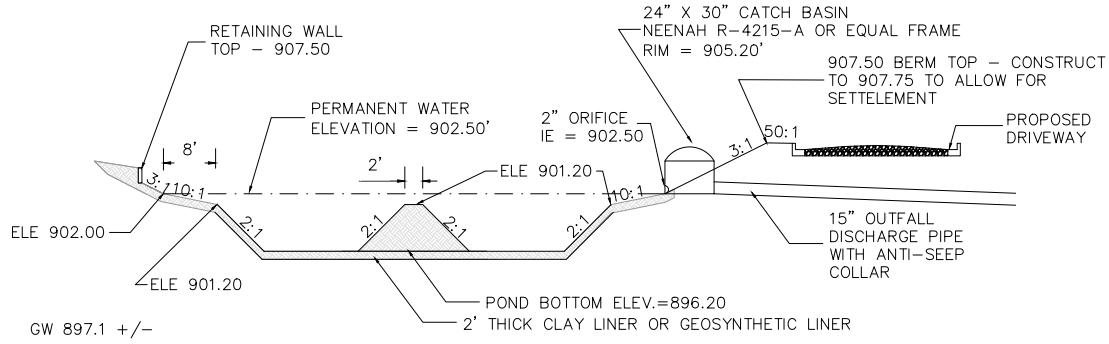
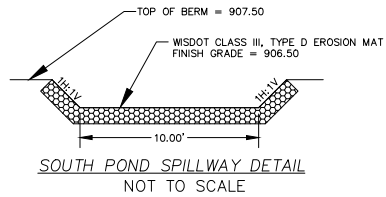
1. 50% FINES (200 SIEVE) OR MORE
2. AN IN-PLACE HYDRAULIC CONDUCTIVITY OF 1x10<sup>-4</sup> CM/SEC OR LESS
3. AVERAGE LIQUID LIMIT VALUE OF 16 OR GREATER, WITH NO VALUE LESS THAN 14.
4. AVERAGE PI OF 7 OR MORE WITH NO VALUES LESS THAN 5.
5. CLAY COMPACTION AND DOCUMENTATION AS SPECIFIED IN NRCS WISCONSIN CONSTRUCTION SPECIFICATION 204, EARTHFILL WASTE STORAGE FACILITIES.
6. MINIMUM THICKNESS OF TWO FEET.
7. SPECIFY METHOD FOR KEEPING THE POOL FULL OR USE OF COMPOSITE SOILS BELOW LINER.



**STORM ELEVATIONS**

2-YEAR	904.57
10-YEAR	904.91
100-YEAR	906.05

*A - A' NORTH WET POND CROSS SECTION DETAIL*  
 NOT TO SCALE



**STORM ELEVATIONS**

2-YEAR	904.84
10-YEAR	905.35
100-YEAR	906.56

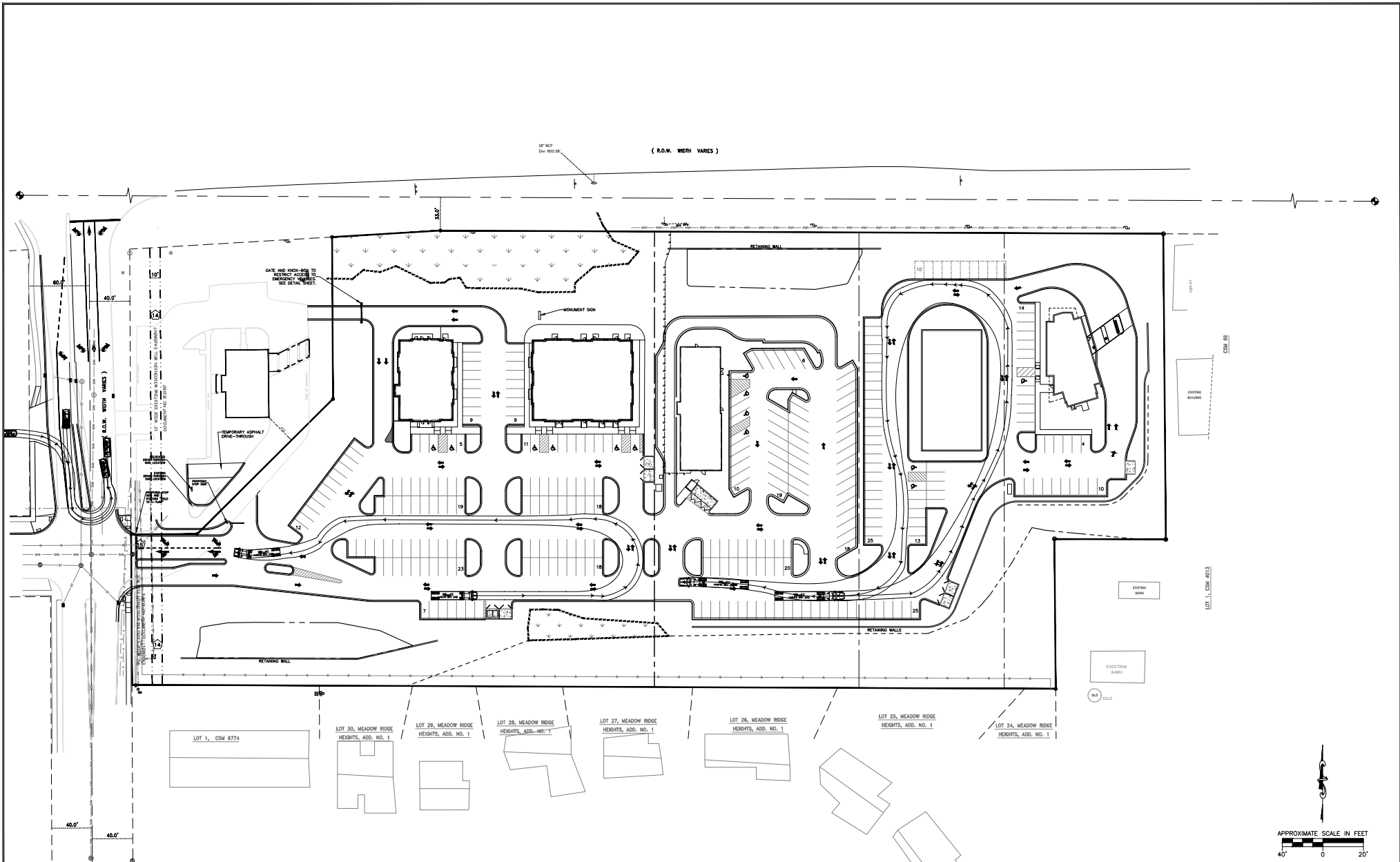
*B - B' SOUTH WET POND CROSS SECTION DETAIL*  
 NOT TO SCALE

REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
1	LOT 3 REVISIONS PER OWNER	7/31/18	R.J.N	DAT/R.J.N	6-1-2018
2	UTILITY LABEL CORRECTIONS	8/14/18	R.J.N	DAT/R.J.N	6-1-2018
3	LOT 4 REVISIONS PER OWNER	8/29/18	R.J.N	DAT	6-1-2018
				ISSUANCE	
				CONSTRUCTION	

**STORM WATER DETAILS**  
**THE SHOPS AT MEADOW RIDGE**  
 MEADOWCREEK DR.  
 VILLAGE OF PEWAUKEE, WI

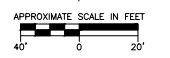


KEY PROJECT NUMBER	2510003
PROJECT SCALE	NTS
SHEET NUMBER	C-12

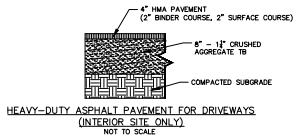
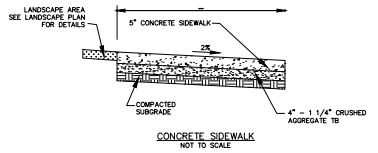
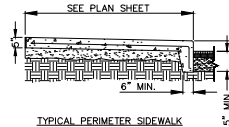
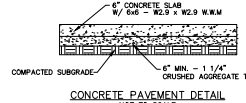
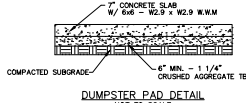
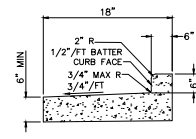
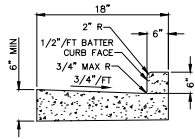
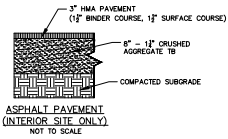


**TURNING RADIUS EXHIBIT  
THE SHOPS AT MEADOW RIDGE  
MEADOWCREEK DR.  
VILLAGE OF PEWAUKEE, WI**

REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
1	LOT 3 REVISIONS PER OWNER	7/31/18	R/JN	DAT/R/JN	6-1-2018
2	UTILITY LABEL CORRECTIONS	8/14/18	R/JN	DAT/R/JN	6-1-2018
3	LOT 4 REVISIONS PER OWNER	8/29/18	R/JN	DAT	6-1-2018
ISSUANCE					
CONSTRUCTION					

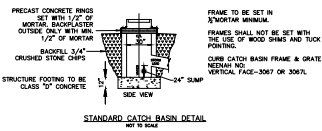
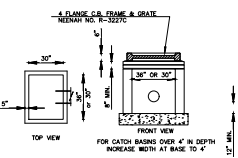
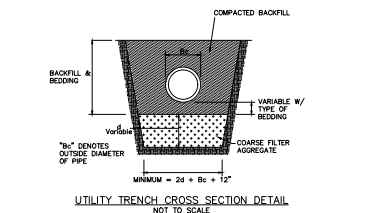
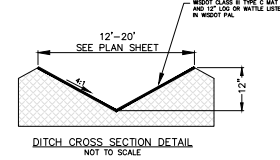
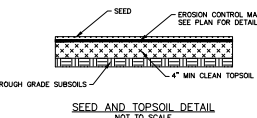
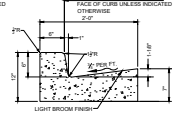
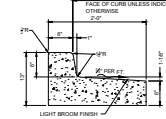
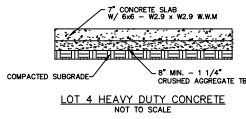


KEY PROJECT NUMBER  
**2510003**  
PROJECT SCALE  
**1" = 40'**  
SHEET NUMBER  
**C-13**

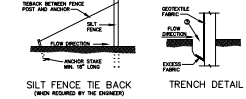
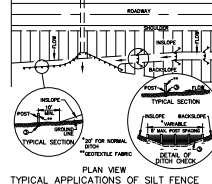
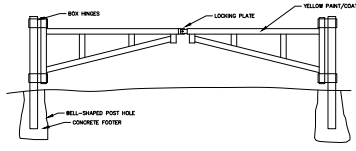
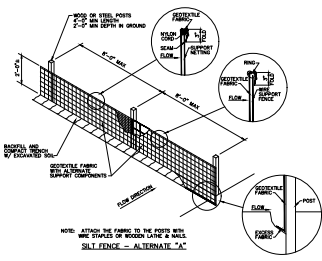


18" CURB & GUTTER NOT TO SCALE

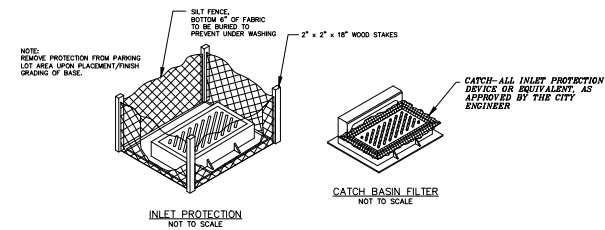
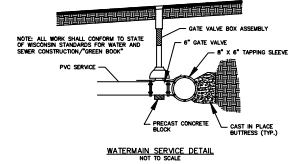
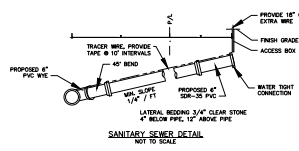
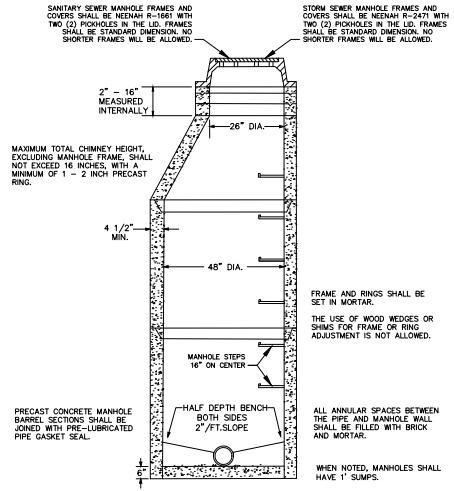
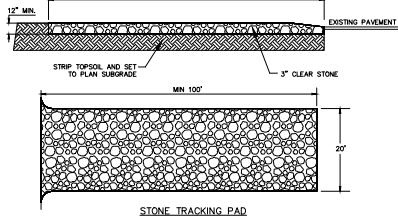
18" REJECT CURB & GUTTER NOT TO SCALE



- SILT FENCE GENERAL NOTES:**
- DETAIL OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE TRENCH SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.
  - WHEN PERFORMING THE SET TRENCH SHOULD BE CONSTRUCTED IN AN ADEQUATELY STRENGTHENED AND STABILIZED MANNER TO AVOID SETTLEMENT AND DEFORMATION.
  - CONSTRUCTION SHALL BE 4\"/>



SILT FENCE INSTALLATION DETAIL NOT TO SCALE



REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
1	LOT 3 REVISIONS PER OWNER	7/31/18	R.J.N.	DAT/R.J.N.	6-1-2018
2	UTILITY LABEL CORRECTIONS	8/14/18	R.J.N.	DAT/R.J.N.	6-1-2018
3	LOT 4 REVISIONS PER OWNER	8/29/18	R.J.N.	DAT	6-1-2018
				ISSUANCE	
				CONSTRUCTION	

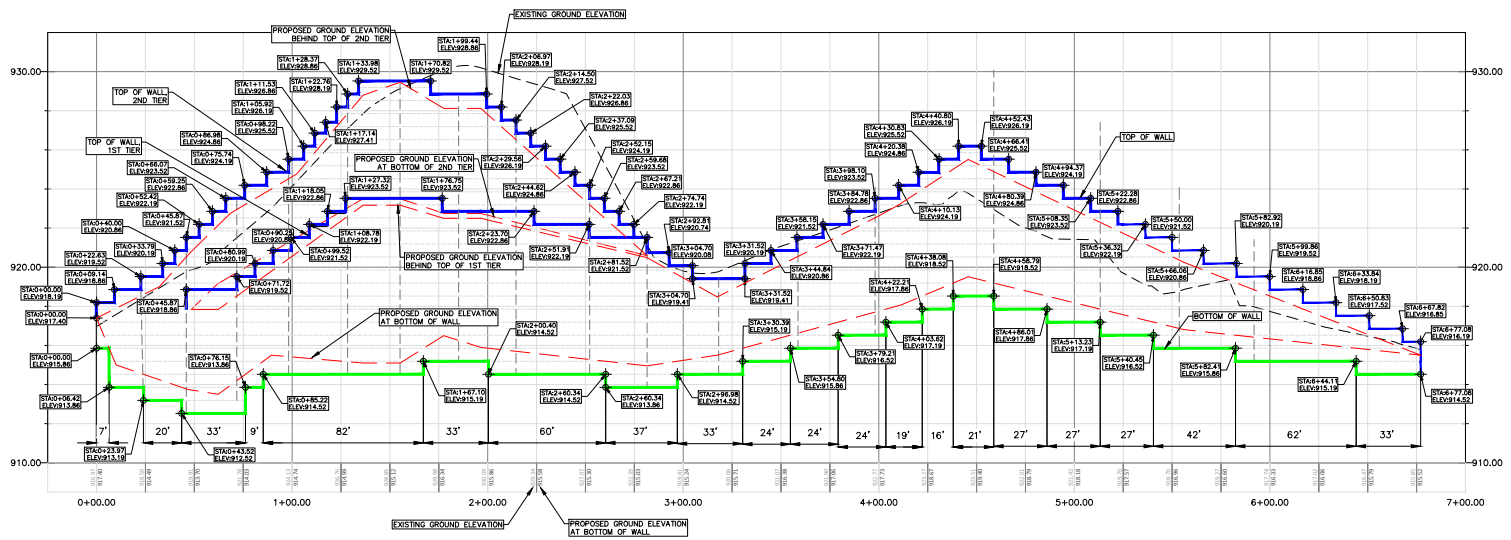
**STANDARD DETAILS**  
**THE SHOPS AT MEADOW RIDGE**  
 MEADOWCREEK DR.  
 VILLAGE OF PEWAUKEE, WI



KEY PROJECT NUMBER	2510003
PROJECT SCALE	NTS
SHEET NUMBER	C-14







REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
1	LOT 3 REVISIONS PER OWNER	7/31/18	R/JN	DAT/R/JN	6-1-2018
2	UTILITY LABEL CORRECTIONS	8/14/18	R/JN	R/JN/DAT	6-1-2018
3	LOT 4 REVISIONS PER OWNER	8/29/18	R/JN	DAT	6-1-2018
				ISSUANCE	
				CONSTRUCTION	

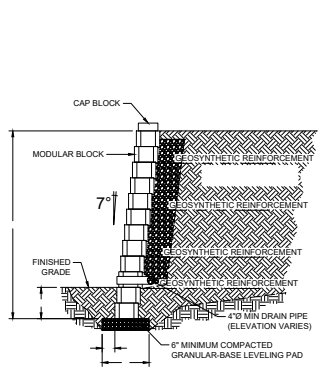
**RETAINING WALL PROFILE**  
**THE SHOPS AT MEADOW RIDGE**  
**MEADOWCREEK DR.**  
**VILLAGE OF PEWAUKEE, WI**



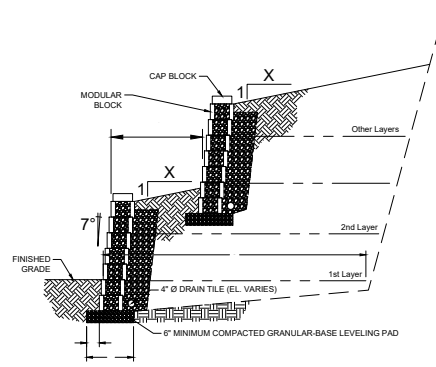
KEY PROJECT NUMBER	2510003
PROJECT SCALE	NTS
SHEET NUMBER	C-17

NOTES:

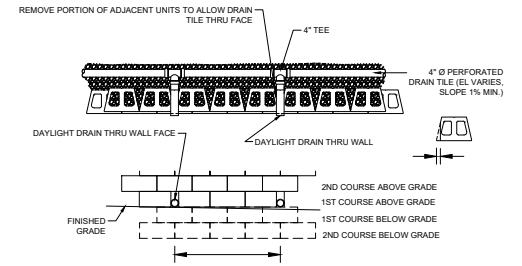
1. NOT FOR CONSTRUCTION.
2. FINAL DESIGN PLANS REQUIRED BY LANDSCAPE WALL CONTRACTOR FOR APPROVAL BY ENGINEER PRIOR TO CONSTRUCTION.



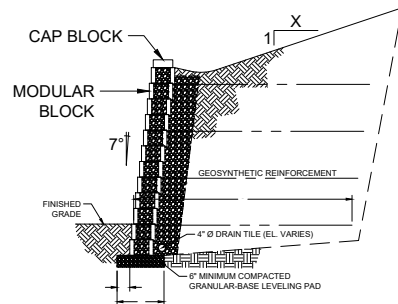
TYPICAL REINFORCED CROSS SECTION



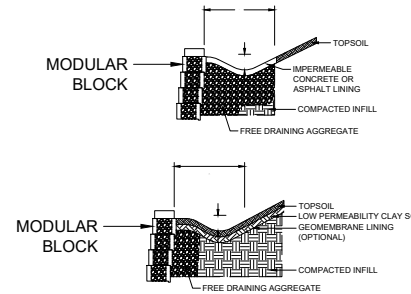
TYPICAL TERRACE CROSS SECTION



DRAIN PIPE THROUGH WALL FACE



REINFORCED CROSS SECTION WITH SLOPE



TYPICAL DRAINAGE SWALE CROSS SECTIONS

REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
1	LOT 3 REVISIONS PER OWNER	7/31/18	R.J.N.	DAT/R.J.N.	6-1-2018
2	UTILITY LABEL CORRECTIONS	8/14/18	R.J.N.	DAT/R.J.N.	6-1-2018
3	LOT 4 REVISIONS PER OWNER	8/29/18	R.J.N.	DAT	6-1-2018
				ISSUANCE	
				CONSTRUCTION	

**RETAINING WALL TYPICAL SECTION**  
**THE SHOPS AT MEADOW RIDGE**  
 MEADOWCREEK DR.  
 VILLAGE OF PEWAUKEE, WI



KEY PROJECT NUMBER	2510003
PROJECT SCALE	NTS
SHEET NUMBER	C-18



PROPOSED DUMPSTER ENCLOSURE FOR:  
**THE SHOPS**

MEADOWCREEK DRIVE & CAPITOL DRIVE  
 PEWAUKEE, WI

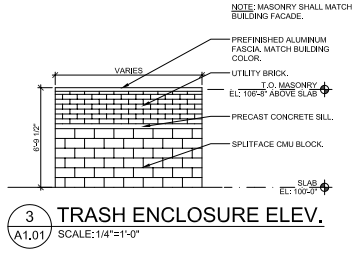
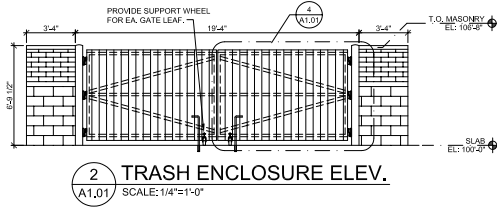
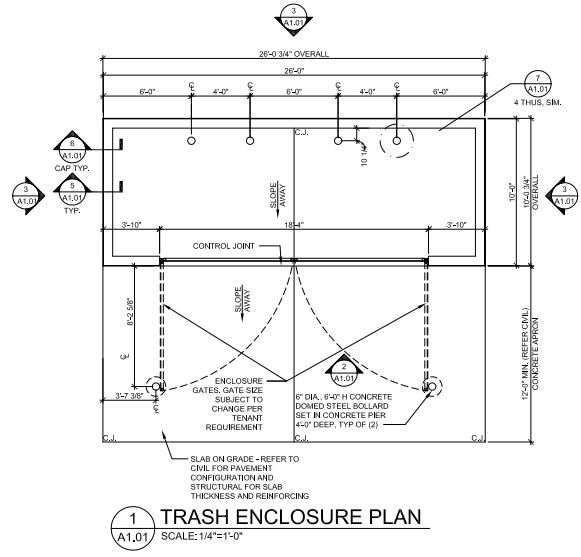
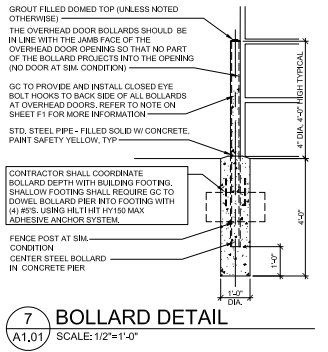
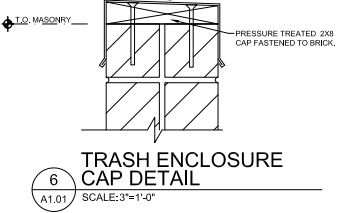
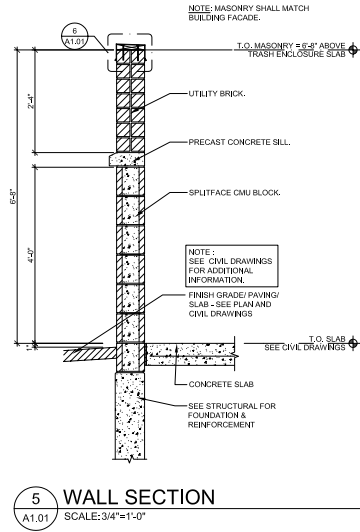
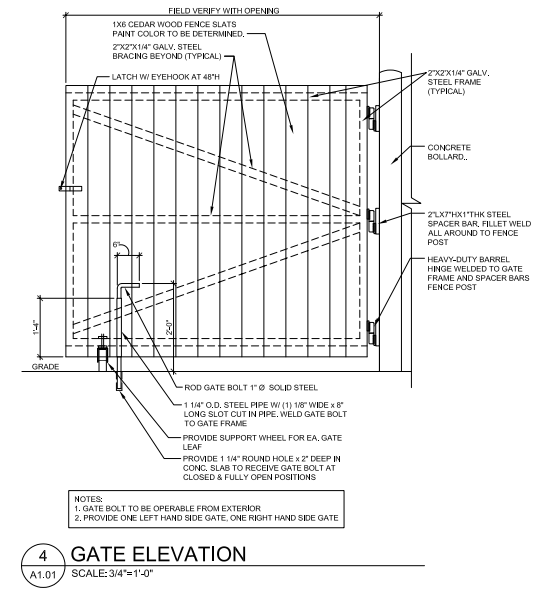
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF VJS CONSTRUCTION SERVICES. WHILE THE WORK FOR WHICH THEY ARE MADE IS EXECUTED OR NOT AND ARE NOT TO BE USED OR COPIED IN ANY MANNER EXCEPT BY WRITTEN AGREEMENT WITH VJS CONSTRUCTION SERVICES.

DATE	REV.	REVISION DESCRIPTION

PROJECT NO. 1170324  
 START DATE 6/1/2018  
 DRAWN BY BDG  
 SCALE AS MARKED

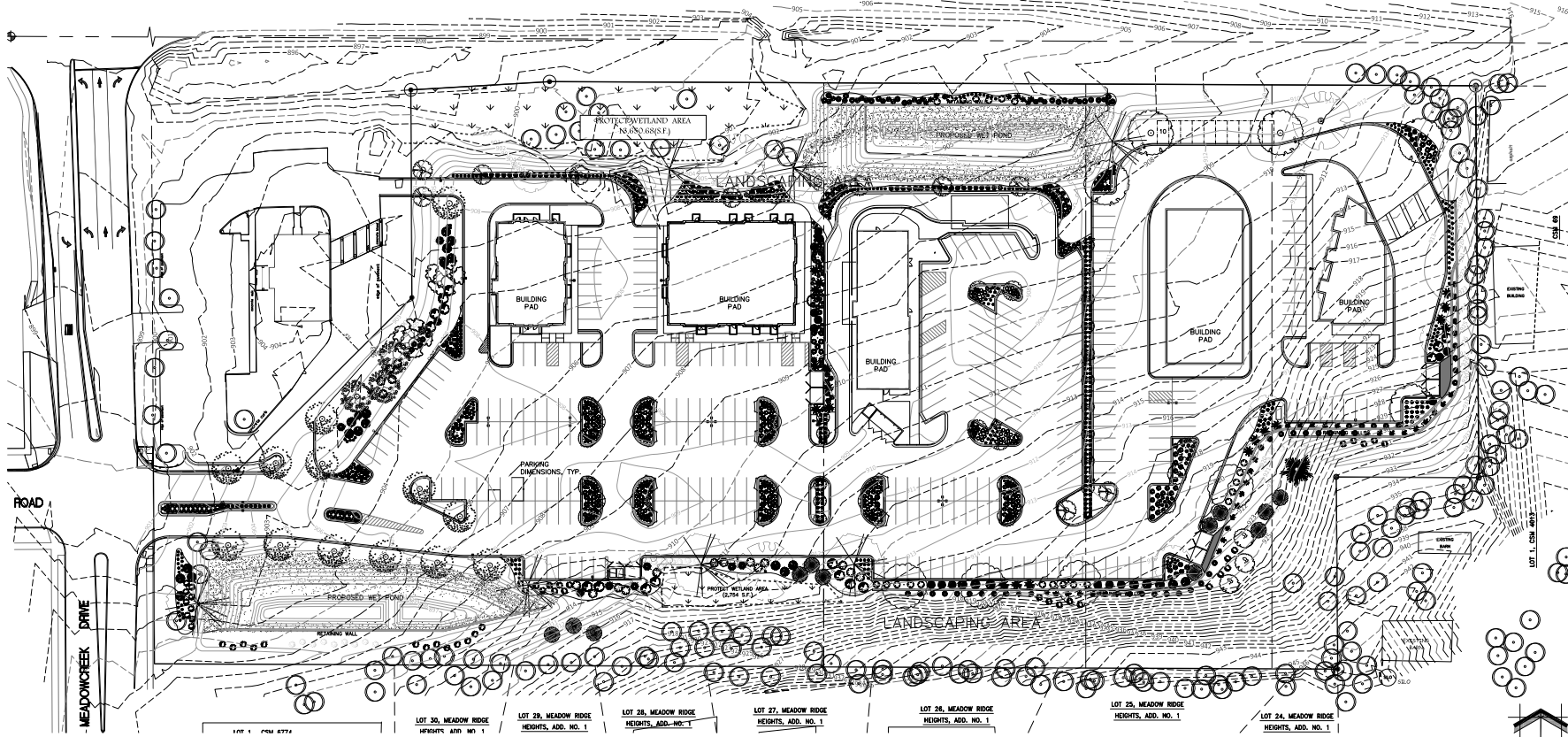
DUMPSTER ENCLOSURE PLAN

**A1.01**



CAPITOL DRIVE

S.T.H. '190'



PROPOSED LANDSCAPE PLAN

LANDSCAPE PLAN GENERAL NOTES

- 1. PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH.
2. AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES...

- 11. ALL DISEASED, NODDUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
12. GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
13. ALL LAWNS AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.

- 23. REQUIRED SEED MIXES: DELUJO 20 GRASS SEED MIX, BENDERS (800) 745-3361
24. DURING THE INITIAL 90-DAY MAINTENANCE PERIOD THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROMOTE AND ENSURE PLEASANT WEED ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTATION, IT IS RECOMMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ARBORVITAE) RECEIVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WATER DESICCATION.

- 25. ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECEIVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPIRATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ARBORVITAE) RECEIVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WATER DESICCATION.
26. MAINTENANCE: THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND REPT FREE FROM WEEDS & DEBRIS. ALL PLANTING MATERIALS WHICH ARE DROPPED OR DAMAGED BEFORE RECOVERY SHALL BE REPLACED WITHIN 90 (NINETY) DAYS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST.

DESIGN COMPLIANCE: THE LANDSCAPE PLAN IS ACCURATE AND IN COMPLIANCE WITH THE CITY OF PEWAAUKEE LANDSCAPE REQUIREMENTS SET FORTH IN SECTION 17 OF THE CITY OF PEWAAUKEE MUNICIPAL CODE. CONTRACTOR NOTE: THE LANDSCAPE CONTRACTOR/GENERAL CONTRACTOR ARE RESPONSIBLE TO INSTALL THE LANDSCAPE AS PER THE APPROVED PLAN. IF ANY CHANGES OR DEVIATIONS ARE MADE FROM THE APPROVED PLAN, THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE RESPONSIBLE FOR UPDATING THE PLANS ACCORDINGLY AND SUBMITTING THOSE REVISED PLANS FOR APPROVAL AND "SIGN OFF" WITH THE CITY OF PEWAAUKEE. THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE ALSO RESPONSIBLE FOR VERIFYING THAT ANY PLANT MATERIAL SUBSTITUTIONS OR MODIFICATIONS THAT ARE MADE TO THE APPROVED LANDSCAPE DESIGN DOCUMENTS WILL NOT CHANGE OR ALTER ANY OF THE REQUIRED SUPPORTING LANDSCAPE REQUIREMENT CALCULATIONS, UPON COMPLETION OF THE CONSTRUCTION PROJECT AND FILE THAT AFFIDAVIT WITH THE CITY OF PEWAAUKEE.

DIGGERS HOTLINE logo and contact information for Wisconsin. Includes phone number (608) 785-1111 and website www.diggershotline.com.

Logo for 'Call before you dig' with contact information for Wisconsin. Includes phone number (608) 785-1111 and website www.diggershotline.com.

INSITE DESIGN logo and contact information. Address: 11525 W. North Avenue Suite 1B, Pewaukee, WI 53228. Phone: (414) 476-1204. Website: www.insitedesigninc.com.

Project: THE SHOPS AT MEADOW RIDGE. Meadowcreek Drive & Capitol Drive, Pewaukee, WI.

Issuance and Revisions table with columns: Date, Number, Description. Lists various revision dates from 06/22/17 to 06/01/18.

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Sheet Title: PROPOSED LANDSCAPE PLAN, AND GENERAL NOTES

Date of Drawing: 06/01/18. Scale: 1" = 40'-0". Drawn By: MCD. Job Number: L17-042. Sheet Number:

LSP 1.0

CONSTRUCTION SET USE NO OTHER - DO NOT SCALE THESE DRAWINGS - L17-042

1 PROPOSED PARTIAL LANDSCAPE PLAN

Proposed Plant Material Table - LSP1 for Lot #1

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
3	Amz3	●	<i>American chestnut</i>	American Chestnut	10' - 12' - Clump - B&B	1
2	CrnWk	●	<i>Crotaegus viridis</i>	Winter King Green Hawthorn	8' - 10' - Clump - B&B	1
2	AMM	●	<i>Asplenium nidus</i>	Swamp Maidenhair	2 1/2' - Clump - B&B	1
2	AMM	●	<i>Asplenium nidus</i>	Swamp Maidenhair	2' - Clump - B&B	1
4	MdSu	●	<i>Molokaia 'Sullycom'</i>	Sully's Molokaia	2' - Clump - B&B	1
5	PrccC	●	<i>Prunus cerasifera</i>	Chinese Pear	2' - Clump - B&B	1
4	PyccC3	●	<i>Pinus cembra</i>	Cleveland Select	2 1/2' - Clump - B&B	1
2	Quia	●	<i>Quercus bicolor</i>	Swamp White Oak	3' - Clump - B&B	1
13	Quis	●	<i>Quercus robur</i>	Swamp White Oak	2' - Clump - B&B	1
1	UlmaA	●	<i>Ulmus 'Morton'</i>	Accolade Elm	3' - Clump - B&B	1
-	Estg	○	Existing to Remain	Existing to Remain	Existing	

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
7	PlmB	●	<i>Picea omaria</i>	Bruce's Spruce	6' - 7' - B&B	
3	ThpEG	●	<i>Thuja plicata</i>	Green Giant Arborvitae	6' - 7' - B&B	

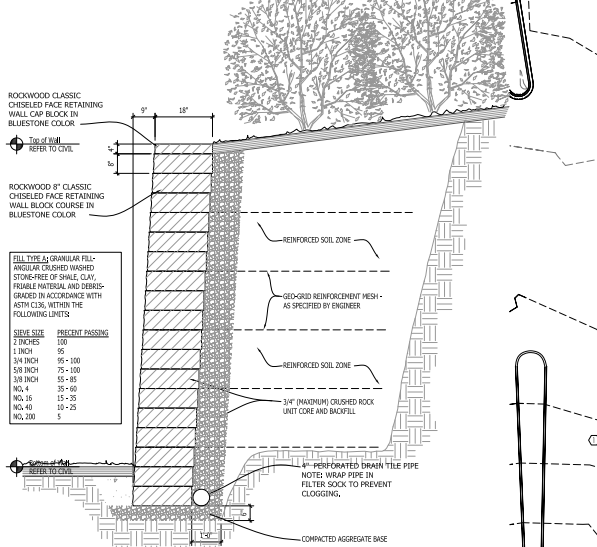
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
13	ArnB	●	<i>Artemisia arbuscula</i>	Artemisia	18" - 24" - B&B	
14	CrnC	●	<i>Cornus sanguinea</i>	Red Dogwood	18" - Cont	
7	PhcpM	●	<i>Physocarpus opulifolius</i>	Diablo	2' - 3' - B&B	
13	SpjP	●	<i>Spiraea japonica</i>	Double Flowering Spirea	18" - Cont	
12	SpmBk	●	<i>Spiraea meidii</i>	Double Flowering Spirea	18" - Cont	
9	Syr	●	<i>Symphoricarpos orbiculatus</i>	Corallberry	2' - 3' - B&B	
14	Veas	●	<i>Veronica spicata</i>	Veronica	24" - 30" - B&B	
26	WielB	●	<i>Waldenia hibernica</i>	Waldenia	18" - Cont	

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
7	JuchM	●	<i>Juniperus chinensis</i>	Mini Juniper	18" - 24" - B&B	
10	JupEG	●	<i>Juniperus x paterula</i>	Sea of Gold Juniper	18" - 24" - B&B	

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
58	CoCoA	●	<i>Cortaderia selloana</i>	Argentine Grass	1' - Clump - Cont	
5	FlaxCH	●	<i>Festuca ovina</i>	Sheep Fescue	1' - Clump - Cont	
47	SscC	●	<i>Schizanthus scaberrimus</i>	Carrot Top	1' - Clump - Cont	
10	Sphe	●	<i>Sporobolus heterolepis</i>	Heater Grass	1' - Clump - Cont	

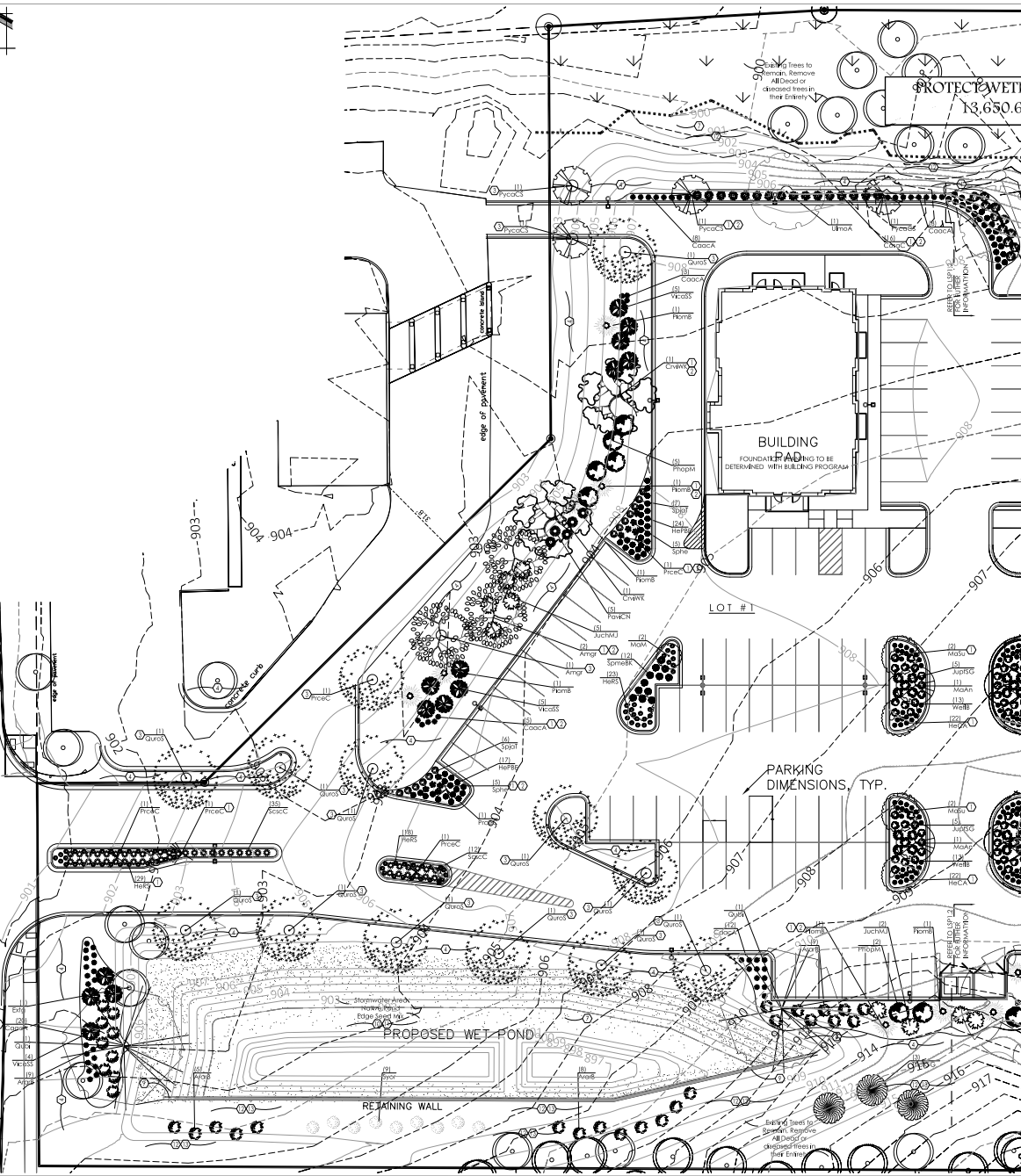
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
44	HeCA	●	<i>Hemerocallis x 'Chicago Apache'</i>	Chicago Apache Daylily	4 1/2' - pot	
41	HePB	●	<i>Hemerocallis x 'Patrie Blue Eyes'</i>	Patrie Blue Eyes Daylily	4 1/2' - pot	
21	HeS	●	<i>Hemerocallis x 'Ruby Spade'</i>	Ruby Spade Daylily	4 1/2' - pot	

Comments:  
1. Multi-stem (3) Spachman Clump  
PLEASE REFER TO SHEET LSP 1.2 FOR MASTER LIST OF CODED LANDSCAPE INSTALLATION CONSTRUCTION NOTES



2 INTERLOCKING SEGMENTED RETAINING WALL SECTION  
SCALE: 1/2" = 1'-0"

REFER TO CIVIL DRAWINGS FOR TOP AND BOTTOM OF WALL INFORMATION AND REFER TO OTHERS FOR WALL REINFORCEMENT DESIGN



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Project:  
**THE SHOPS AT MEADOW RIDGE**  
Meadowcreek Drive & Capitol Drive  
Pewaukee, WI

Issuance and Revisions:

Date	Number	Description
06/22/17		Preliminary Client Review Submittal
06/30/17		Preliminary Plan Commission Submittal
07/07/17		Plan Commission Submittal
07/25/17		Revisions based on Site Changes / Plan Commission Submittal
03/21/18		Revisions based on Commission Submittal Comments
04/18/18		Building #1 & #2 Foundation Submittal
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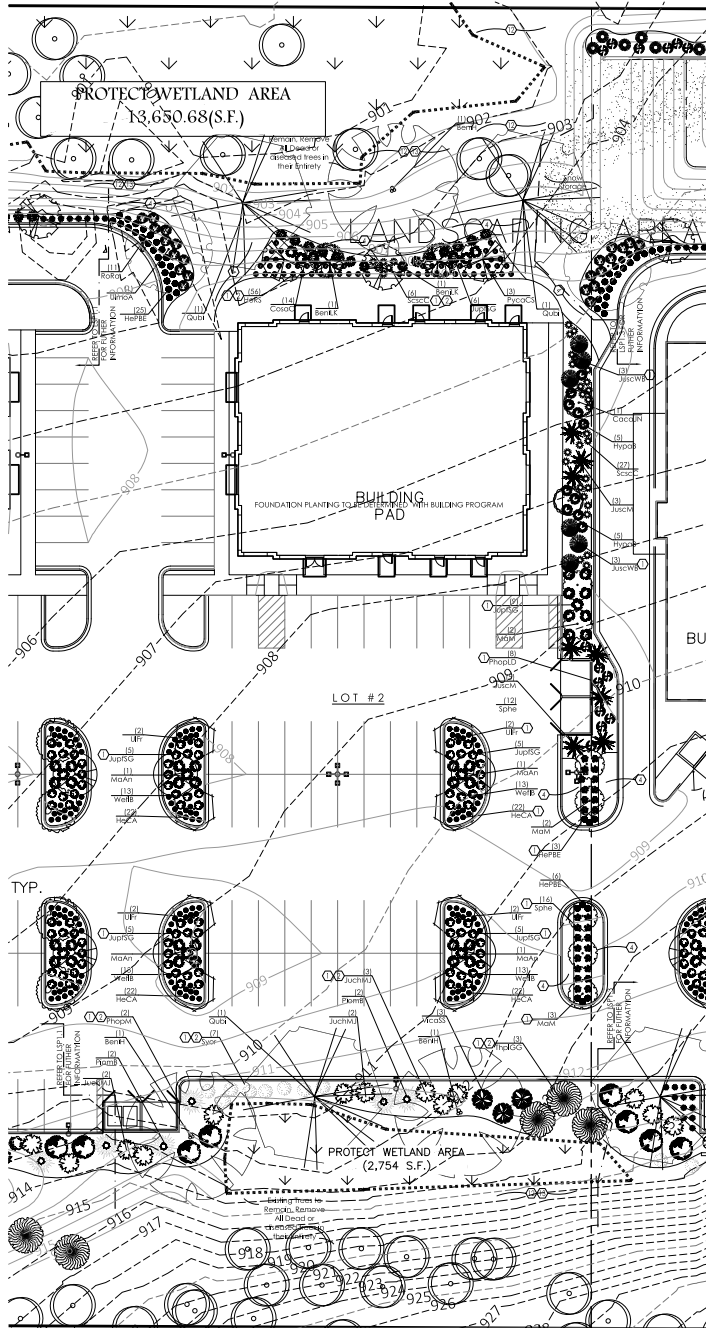
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Sheet Title:  
PROPOSED PARTIAL LANDSCAPE PLAN AND PLANT MATERIAL TABLE

Date of Drawing: 06/01/18  
Scale: 1" = 20'-0"  
Drawn By: MCD  
Job Number: L17-042  
Sheet Number:

LSP1.1

CONSTRUCTION SET USE NO OTHER - DO NOT SCALE THESE DRAWINGS - L17-042 - THE SHOPS AT MEADOW RIDGE - PUD-18-001 - 06/01/18



1 PROPOSED PARTIAL LANDSCAPE PLAN

Proposed Plant Material Table (LSP 1.2 for Lot #2)

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
3	BarrN	(Symbol)	Betula nigra "Hastings"	Hastings Sweet Birch	1 1/2' - 2' - Clamp - 8.8.1	
2	COCAIN	(Symbol)	Cornus canadensis "JN Sharp"	Little King Dwarf River Birch	4' - Clamp - 8.8.1	1
4	MAAN	(Symbol)	Magnolia x Ann	Ann Magnolia	2 1/2' - Cal - 8.8.8	
7	MAAM	(Symbol)	Morus Morbo	Morbo Flowering Crab	2' - Cal - 8.8.8	
3	PHYCAS	(Symbol)	Pyrus callidona "Clarendon Select"	Clarendon Select Crab Pear	2 1/2' - Cal - 8.8.8	
3	QUAK	(Symbol)	Quercus macrocarpa	Swamp White Oak	2' - Cal - 8.8.8	
1	LIMOK	(Symbol)	Ulmus 'Morton' Accolade	Accolade Elm	2' - Cal - 8.8.8	
8	LIR	(Symbol)	Ulmus (europaeus x parvifolia) 'Frontier'	Frontier Elm	2 1/2' - Cal - 8.8.8	
-	Estg	(Symbol)	Existing to Remain	Existing to Remain		
<b>Conifer Evergreen Tree</b>						
4	PIN8	(Symbol)	Picea omorika 'Bruni'	Bruni Serbian Spruce	6' - 7' - 8.8.8	
3	TRUG2	(Symbol)	Thuja plicata 'Green Giant'	Green Giant Arborvitae	6' - 7' - 8.8.8	
<b>Broadleaf Deciduous Shrub</b>						
14	COSSO	(Symbol)	Cornus sanguinea 'Coto'	Arctic Sun Red Twig Dogwood	18" - Cont.	
10	HYP26	(Symbol)	Hydrangea paniculata 'Bobo'	Bobo Hardy Hydrangea	18" - 24" - Cont.	
8	PHY8D	(Symbol)	Physocarpus opulifolius 'Donna May'	Little Devil Ninebark	18" - Cont.	
2	PHY8M	(Symbol)	Physocarpus opulifolius 'Marble'	Daijido Ninebark	2' - 3' - 8.8.8	
11	ROSA	(Symbol)	Rosa x 'Rosier'	Double Knock Out Rose	18" - Cont.	
8	SPOR	(Symbol)	Symphoricarpos orbiculata	Cornelian	2' - 4' - 8.8.8	
3	VIC6S	(Symbol)	Visumum Corbulis 'JUN Select 5'	Sugar? Spice Korempe-Vinum	24" - 30" - 8.8.8	
52	WE26	(Symbol)	Weigela florida 'Barnewell'	fine Wine Weigela	18" - Cont.	
<b>Conifer Evergreen Shrub</b>						
8	JUN8M	(Symbol)	Juniperus chinensis 'Mint Jubat'	Mint Jubo Juniper	18" - 24" - 8.8.8	
8	JUN8H	(Symbol)	Juniperus scopulorum 'Horizontal'	Horizontal Juniper	2' - 6' - 8.8.8	
4	JUN8B	(Symbol)	Juniperus scopulorum 'Walter Inzer Blue'	Walter Blue Juniper	2' - 4' - 8.8.8	
35	JUN8G	(Symbol)	Juniperus sibirica 'Moodani'	Sea of Gold Juniper	18" - 24" - 8.8.8	
<b>Grass</b>						
33	SC6C	(Symbol)	Scheuchzeria scoparium 'Couscut'	Couscut Little Blue Stem	1-Gal - Cont.	
28	SP6E	(Symbol)	Sporobolus heterolepis	Prarie Dropseed	1-Gal - Cont.	
<b>Perennial</b>						
4	HE2C	(Symbol)	Hemerocallis 'Chicago Apache'	Chicago Apache Day Lily	4 1/2' pot	
34	HE2E	(Symbol)	Hemerocallis 'Prairie Blue Eye'	Prairie Blue Eye Day Lily	4 1/2' pot	
56	HE2S	(Symbol)	Hemerocallis 'Ruby Spacer'	Ruby Spacer Day Lily	4 1/2' pot	

1. Multi-item (3) Specimen Clamp

CODED LANDSCAPE INSTALLATION CONSTRUCTION NOTES

- LANDSCAPE / SEE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE. LANDSCAPE INSTALLATION CONTRACTOR TO COORDINATE INSTALLATION OF NEW PLANT MATERIAL AND THE COORDINATION WITH EXISTING TREES TO BE SALVAGED.
- MULCH BED AREA. DRESS WITH 2"-3" OF SHREDDED HARDWOOD BARK MULCH. TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.
  - EARTHEN BED EDGE (SHOVEL POINT) LANDSCAPE EDGE. TYPICAL ALL PLANT MATERIAL AREAS. DRESS WITH 2"-3" OF SHREDDED HARDWOOD BARK MULCH. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.
  - MULCHED 4:07 5A. TREE RING BED AREA W/ MULCH (FINISHED) ALUMINUM LANDSCAPE EDGE. DRESS WITH 2"-3" OF SHREDDED HARDWOOD BARK MULCH. REFER TO LSP 1.3, GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.
  - SEEDED AREAS OF TURF GRASS. REPAIR ANY AND ALL TURF DAMAGE FROM THE CONSTRUCTION PROCESS. IT IS VERY IMPORTANT TO FOLLOW THE MANUFACTURERS INSTALLATION INSTRUCTIONS REGARDING THE TURF GRASS FOR PROPER GERMINATION AND SURVIVABILITY OF THE SEED MIX. ALSO REFER TO GENERAL NOTES FOR PREPARATION OF TOP SOIL AND SEED INSTALLATION. REFER TO GRADING PLAN FOR FURTHER INFORMATION. ALSO REFER TO GENERAL NOTES AND SPECIFICATIONS FOR ADDITIONAL FURTHER INFORMATION.
  - 2" DEEP BY 24" WIDE MAINTENANCE STRIP OR VARIED WITH MAINTENANCE AREA W/ 3/4" ALUMINUM SMOKE CHIPS. AGGREGATE STONE CHIP MULCH (FROM LEMKE STONE. 262-502-1579 www.lemkestone.com) LINED WITH WEED BARRIER AND ALUMINUM EDGING. REFER TO LSP 1.5 FOR FURTHER INFORMATION.
  - ALUMINUM LANDSCAPE EDGE TO SEPARATE AGGREGATE FROM BARK MULCH AND/OR TURF GRASS. REFER TO LSP 1.2, GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.
  - 7" - 12" LARGE COBBLE STONE IN A COLORS OF BLUE GRAY, WHITE, RED, CREAM AND BLACK. (FROM LEMKE STONE. 262-502-1579 www.lemkestone.com) 1. COVERAGE AT APPROX 35 SQUARE FEET PER TON. DRAINAGE FUMES TO BE LINED WITH WEED BARRIER. REFER TO LSP 1.3 FOR FURTHER INFORMATION.
  - DWZ DEEP LANDSCAPE PLANNING BED STONE MULCH W/ HERIAGE SMOOTH RIVER ROCK. AGGREGATE STONE CHIP MULCH SEE FORM 3/2" - 1" ON A BLEND OF CREAM, WHITE BLUES AND GREY (FROM LEMKE STONE. 262-502-1579 www.lemkestone.com) LINED WITH WEED BARRIER (AND ALUMINUM EDGING WHEN SEPARATING IT FROM TURF ONLY). REFER TO LSP 1.3 FOR FURTHER INFORMATION.
  - NEW INTERLOCKING SEGMENTED ROCKWOOD B1 CLASSIC CHEELED FACE RETAINING WALL AND CAP IN BLUESTONE COLOR W/ PERFORATED DRAIN TILE. GEOSYNTHETIC REINFORCEMENT FROM ROCHESTER CONCRETE PRODUCTS. ROCHESTER CONCRETE PRODUCTS CONTACT INFORMATION: CHAD PETERSON (262) 758-5854 (CHAD.PETERSON@ROCHESTERCONCRETE.COM). REFER TO MANUFACTURERS INSTALLATION INFORMATION. CIVIL ENGINEERING, RETAINING WALL DESIGN, ENGINEERING AND TO ZLSP 1.1 AND ZLSP 1.3 FOR FURTHER INFORMATION.
  - STRIPED AREA DENOTES STORM WATER MANAGEMENT AREAS SHALL BE SEEDED WITH THE STORMWATER / WETLAND PRAIRIE SEED MIX FROM JF. NEW AT A RATE OF 25 LBS/ACRE. IT IS VERY IMPORTANT TO FOLLOW THE MANUFACTURERS INSTALLATION INSTRUCTIONS REGARDING THE PRAIRIE GRASS FOR PROPER GERMINATION AND SURVIVABILITY. ALSO REFER TO GENERAL NOTES FOR PREPARATION OF TOP SOIL AND SEED INSTALLATION. REFER TO GRADING PLAN FOR FURTHER INFORMATION.
  - 2" WIDE BY 18" HIGH NON-EROSION BIODEGRADABLE DOUBLE-LAYER STRAW BLANKET (10.23 INCHES) INSTALLED AT THE BOTTOM OF 2" WALLE, INLET AND DISCHARGE AREAS TO PREVENT EROSION AND HIGH FLOW OR CONCENTRATED-FLOW AREAS AROUND THE SPECIFIED SEED MIX. INSTALL WITH ANCHOR BROADCASTABLE NORTH AMERICAN GREEN BROSSAGE.
  - SEEDED AREAS OF NOW-HIGH LOW GROW GRASS SEED MIX FROM RENDERS' (800) 788-3201. APPLY AT A RATE OF 175 POUNDS PER ACRE. REPAIR ANY AND ALL TURF DAMAGE FROM THE CONSTRUCTION PROCESS. IT IS VERY IMPORTANT TO FOLLOW THE MANUFACTURERS INSTALLATION INSTRUCTIONS REGARDING THE TURF GRASS FOR PROPER GERMINATION AND SURVIVABILITY OF THE SEED MIX. REFER TO GENERAL NOTES FOR PREPARATION OF TOP SOIL AND SEED INSTALLATION. REFER TO GRADING PLAN FOR FURTHER INFORMATION. WHERE PLANT MATERIAL IS PLANTED IN AND AMONG THE NOW-HIGH LOW GROW MIX EACH PLANT IS TO RECEIVE A LESSER-TEMPORARY MULCH RING INTENDED FOR INITIAL ROOT ESTABLISHMENT FOR THE FIRST GROWING SEASON ONLY. THE NOW-HIGH LOW GROW MIX CAN BE SOWN GROWN IN OR ON TOP OF THE MULCH AND ALLOWED TO GERMINATE & TAKE COVER. AFTER THE FIRST GROWING SEASON IT IS EXPECTED THAT THE TREE / LARGE SHRUB WOULD BE ESTABLISHED AND WOULD NO LONGER REQUIRE A MULCH RING. THE NOW-HIGH LOW GROW MIX WILL ESTABLISH ITSELF AND EVENTUALLY COVER THE TREE RING / ROOT BALL ALONG WITH THE REST OF THE AREAS.
  - ALL PLANT MATERIAL WITHIN THE NO-MOW SEED MIX AREAS/SWIR SWALE AND/OR NATIVE WILDFLOWER A PRAIRIE GRASS SEED MIX IS TO BE INSTALLED WITH A 4-6" DIAMETER RING. A LESSER-TEMPORARY MULCH RING IS INTENDED FOR INITIAL FIRST SEASON ROOT ESTABLISHMENT. AFTER THE FIRST GROWING SEASON IT IS EXPECTED THAT THE TREE / LARGE SHRUB WOULD BE ESTABLISHED AND WOULD NO LONGER REQUIRE A MULCH RING AND THE NOW-HIGH LOW GROW GRASS WILL ESTABLISH ITSELF AND COVER THE TREE RING / ROOT BALL ALONG WITH THE REST OF THE BERMED AREA. REFER TO LSP 1.3, GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.



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Project:  
**THE SHOPS AT MEADOW RIDGE**  
 Meadowcreek Drive & Capitol Drive  
 Pewaukee, WI

Issuance and Revisions:

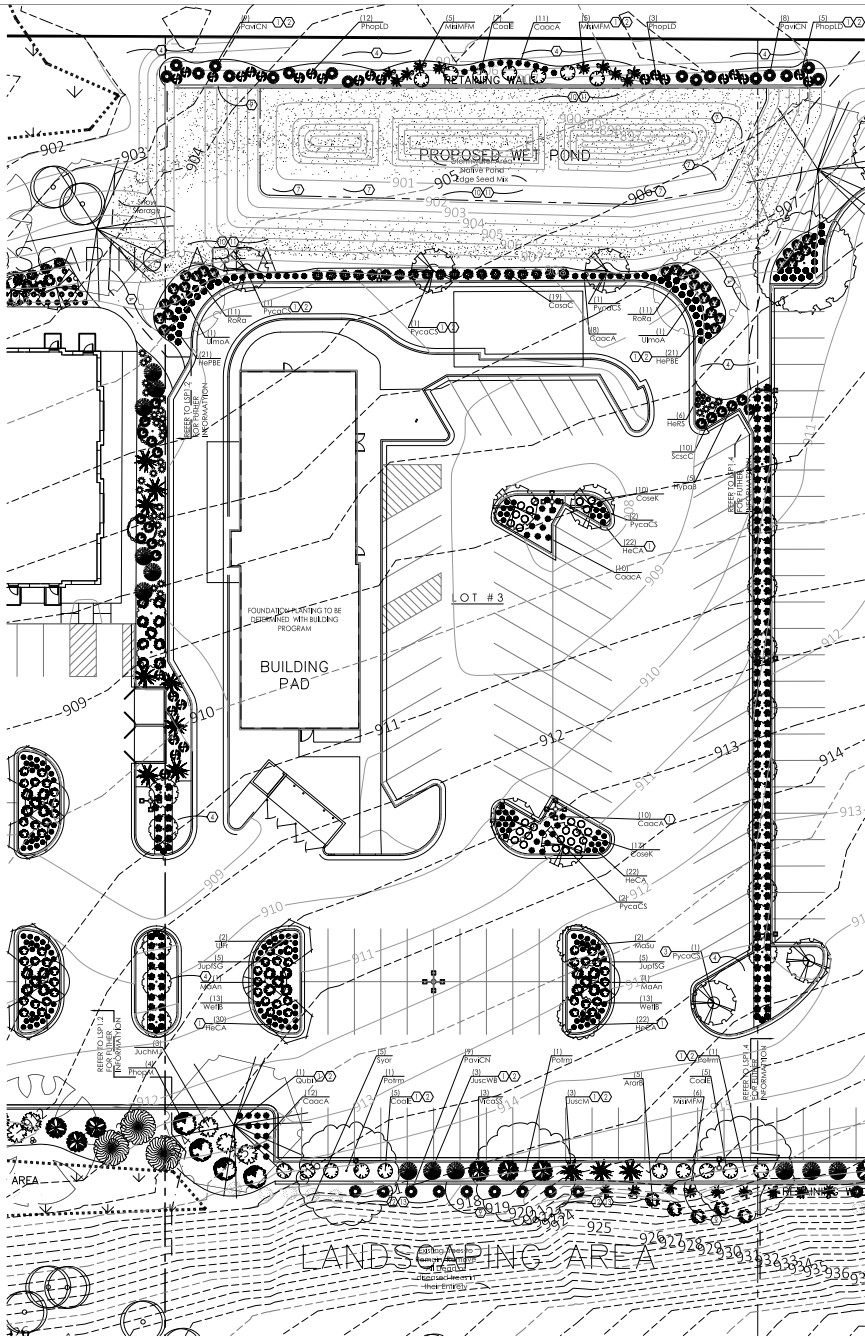
Date	Number	Description
06/22/17		Preliminary Client Review Submittal
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Sheet Title:  
 PROPOSED PARTIAL LANDSCAPE PLAN AND PLANT MATERIAL TABLE  
 Date of Drawing: 06/01/18  
 Scale: 1" = 20'-0"  
 Drawn By: MCD  
 Job Number: L17-042  
 Sheet Number:

LSP1.2

CONSTRUCTION SET USE NO OTHER - DO NOT SCALE THESE DRAWINGS - L17-042 - THE SHOPS AT MEADOW RIDGE - Paved - 06/18/18



PROPOSED PARTIAL LANDSCAPE PLAN

Proposed Plant Material Table LSP1.3 for Lot #3

SCALE: 1" = 20'



Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
2	MAGN	○	Magnolia x Amm	Am Magnolia	2 1/2'-Gal-8&B	
2	MASH	○	Morus x Salszam	Sugar Tyme Crabapple	2 1/2'-Gal-8&B	
3	POPM	○	Populus tremuloides	Quaking aspen	2 1/2'-Gal-8&B	
8	PHYCOS	○	Physalis colorata 'Cleveland Select'	Ground Select Colony Pear	2 1/2'-Gal-8&B	
1	QUIN	○	Quercus bicolor	Swamp White Oak	3'-Cal-8&B	
2	ULMVA	○	Ulmus 'Merton' Accolade	Accolade Elm	3'-Cal-8&B	
2	ULFR	○	Ulmus (asperifolia x parvifolia) Frontier	Frontier Elm	2 1/2'-Gal-8&B	
1	ELIG	○	Existing to Remain	Existing to Remain	Existing	

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
5	ARAB	○	Aronia arbutifolia 'Blackberry'	Black Red Chokeberry	18" - 24" - 8&B	
17	COSE	○	Cornus alba 'Elegantissima'	Variiegated redtwig dogwood	2" - 3" - 8&B	
19	COSEC	○	Cornus sanguinea 'Coral'	Arctic Sun Red Twig Dogwood	18" - Cont	
27	COSEK	○	Cornus sericea 'Yakari'	Yakari's Dwarf Red-Scar Dogwood	18" - Cont	
6	HYPOB	○	Hydrangea paniculata 'Bobo'	Bobo Hardy Hydrangea	18" - 24" - Cont	
20	PHYOD	○	Physocarpus opulifolius 'Danna Gray'	Little Devil Ninebark	18" - Cont	
4	PHYOP	○	Physocarpus opulifolius 'Morbis'	Okotoko Ninebark	2" - 3" - 8&B	
22	ROSA	○	Rosa 'Waldtraut'	Classic Knock Out Rose	18" - Cont	
5	DIOR	○	Symphoricarpos orbiculata	Condition	2" - 3" - 8&B	
3	VIACOS	○	Viburnum Cedohe 'J.N.Select 5'	Sugar Spice Kouspasp Viburnum	24" x 30" - 8&B	
26	VIABL	○	Viburnum Bala 'Strawwell'	Fire Wine Viburnum	18" - Cont	

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
3	JUCHWJ	○	Jurpepis chinensis 'Mint Julep'	Mint Julep Juniper	18" - 24" - 8&B	
3	JUSC	○	Jurpepis scopulorum 'Moonlight'	Moonlight Juniper	5" - 8" - 8&B	
17	JUSCWB	○	Jurpepis scopulorum 'Victoria Blue'	Victoria Blue upright Juniper	5" - 8" - 8&B	
10	JUPFG	○	Jurpepis x pfitzeriana 'Mondan'	Sea of Gold Juniper	18" - 24" - 8&B	

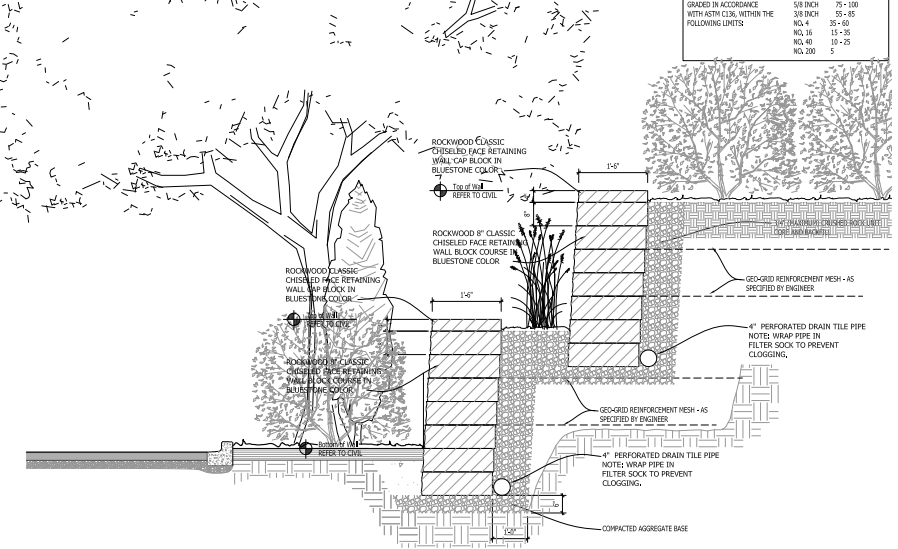
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
60	COACA	○	Calamagrostis acutiflora 'Avalanche'	Avalanche Feather Reed Grass	1'-Gal-Cont	
16	MIPAFM	○	Miscanthus sinensis 'NCMS1'	My Fair Maiden Maiden Grass	1'-Gal-Cont	
26	PAVCN	○	Panicum virgatum 'Cloud Nine'	Cloud Nine Tall Switch Grass	1'-Gal-Cont	
4	COASC	○	Cortaderia selloana 'Cascades'	Conquest Pink 100-100m	1'-Gal-Cont	

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
89	HECVA	○	Hemerocallis 'Chicago Apache'	Chicago Apache Daylily	4 1/2" pot	
42	HEPE	○	Hemerocallis 'Wishes Blue Eyes'	Wishes Blue Eyes Daylily	4 1/2" pot	
6	HERS	○	Hemerocallis 'Ruby Spade'	Ruby Spade Daylily	4 1/2" pot	

Comments:  
 1. 1/2" (B-Item) (3) Specimen Clamp  
 2. 1/2" (B-Item)

PLEASE REFER TO SHEET LSP 1.2 FOR MASTER LIST OF CODED LANDSCAPE INSTALLATION CONSTRUCTION NOTES

ALL TYPES GRANULAR FILL - ANGULAR CRUSHED WASHED	STONE-FREE OF SHALE, CLAY, FINE SAND AND SILT - GRADED IN ACCORDANCE WITH ASTM C 33, WITHIN THE FOLLOWING LIMITS:	SIZE	PERCENT PASSING
2 INCHES	100	1 INCH	90
3/4 INCH	95-100	3/8 INCH	75-100
3/8 INCH	55-85	NO. 4	35-60
NO. 10	15-35	NO. 20	5-25
NO. 40	10-25	NO. 60	5-25



INTERLOCKING SEGMENTED TERRACED RETAINING WALL SECTION

REFER TO CIVIL DRAWINGS FOR TOP AND BOTTOM OF WALL INFORMATION AND REFER TO OTHERS FOR WALL REINFORCEMENT DESIGN

SCALE: 1/2" = 1'-0"

Project:  
**THE SHOPS AT MEADOW RIDGE**  
 Meadowcreek Drive & Capitol Drive  
 Pewaukee, WI

Issuance and Revisions:

Date	Number	Description
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07/07/17		Plan Commission Submittal
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Sheet Title:

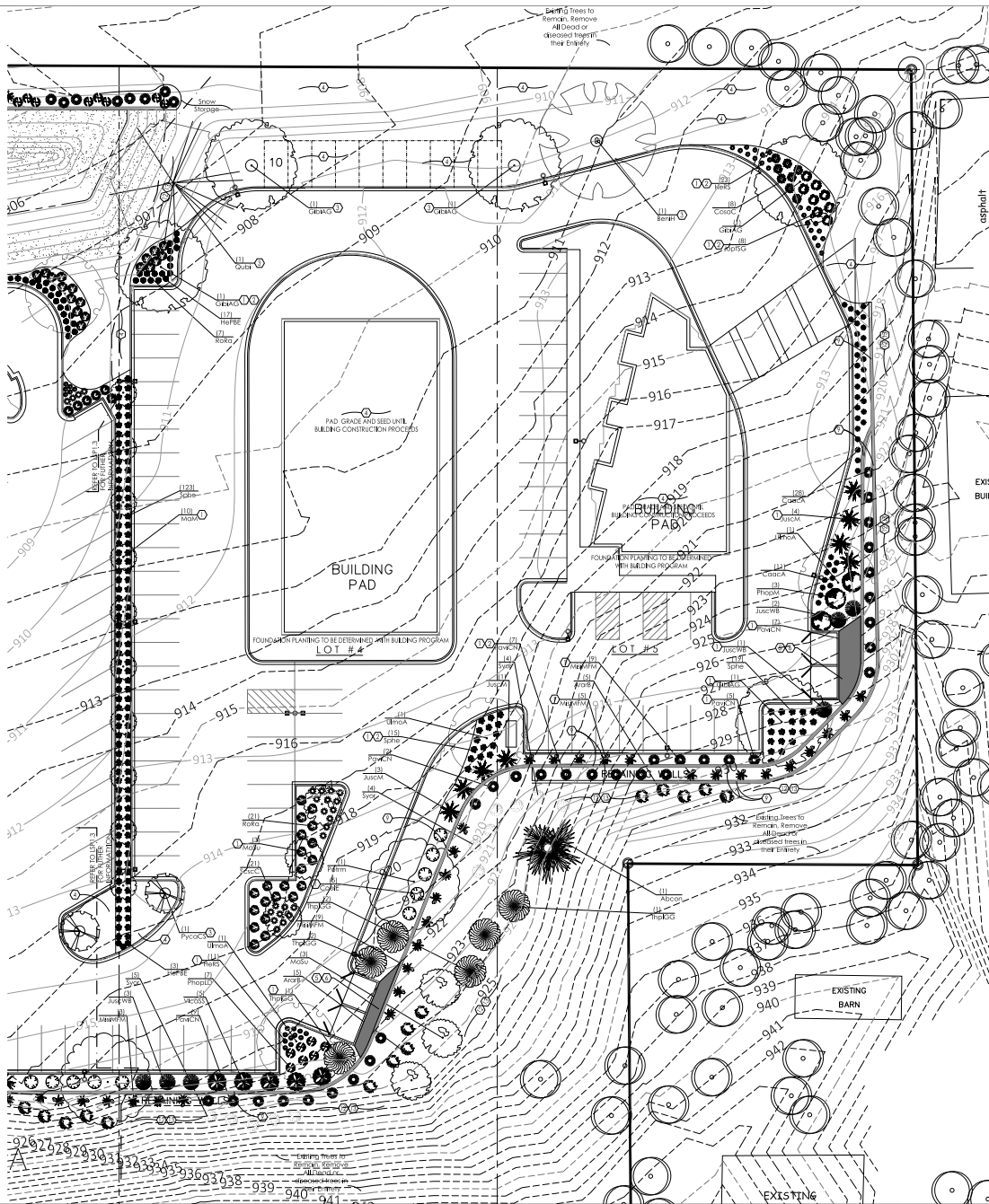
PROPOSED PARTIAL LANDSCAPE PLAN AND PLANT MATERIAL TABLE

Date of Drawing: 06/01/18  
 Scale: 1" = 20'-0"  
 Drawn by: MCD  
 Job Number: L17-042  
 Sheet Number:

**LSP1.3**

CONSTRUCTION SET USE NO OTHER - DO NOT SCALE THESE DRAWINGS -

L17-042 - THE SHOPS AT MEADOW RIDGE - Rev 06/01/18 - MCD/10/18



1 PROPOSED PARTIAL LANDSCAPE PLAN

Proposed Plant Material Table LSP1.4 for Lot #4

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
2	GIRG	○	Girgelo Diabolo Autumn Gold	Autumn Gold Maidenhair Tree	3'-Col - 8.5' - 8.5'	
10	MAMA	○	Makia Maiden	Maiden Flowering Crab	1 1/2' - Col - 8.5'	
8	MAMA	○	Makia Maiden	Maiden Flowering Crab	1 1/2' - Col - 8.5'	
1	PRM	○	Prunus pennsylvanica	Sugar Pine Chokeberry	2 1/2' - Col - 8.5'	
1	PRM	○	Prunus pennsylvanica	Sugar Pine Chokeberry	2 1/2' - Col - 8.5'	
1	PRM	○	Prunus pennsylvanica	Sugar Pine Chokeberry	2 1/2' - Col - 8.5'	
1	QUSA	○	Quercus bicolor	Swamp White Oak	3'-Col - 8.5'	
2	ULMO	○	Ulmus Mortonii Accolade	Accolade Elm	3'-Col - 8.5'	
-	Entg	○	Existing to Remain	Existing to Remain	Existing	

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
5	TRGSG	○	Thuja plicata Green Giant	Green Giant Arborvitae	6' - 7' - 8.5'	

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
5	ARCB	○	Aronia arbutifolia 'Blackberry'™	Bright Red Chokeberry	18" - 24" - 8.5'	
5	COGE	○	Cornus alba 'Elegantissima'	Vernigedde Red Twig Dogwood	2' - 3' - 8.5'	
7	PHOCD	○	Physocarpus opulifolius 'Dorona May'	Little Devil Ninebark	18" - Cont	
28	RUSA	○	Rosa x 'Blaze'™	Double Knock Out Rose	18" - Cont	
9	SPR	○	Symphoricarpos viticollis	Cordoberry	2' - 3' - 8.5'	
7	VIBSD	○	Viburnum Cordata 'Jellybean S'	Sugar Spice Konesako Viburnum	24" - 30" - 8.5'	

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
3	JUSCM	○	Juniperus scopulorum 'Moonglow'	Moonglow Juniper	5' - 6' - 8.5'	
3	JUSWB	○	Juniperus scopulorum 'Wichita Blue'	Wichita Blue upright Juniper	5' - 6' - 8.5'	

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
11	PRM	○	Parthenocissus vitacea 'NCS4'	White Ivy	4'-Col - Cont	
21	PRM	○	Parthenocissus vitacea 'NCS4'	White Ivy	4'-Col - Cont	
138	SPHA	○	Sporobolus heterolepis	Prairie Dropseed	1'-Col - Cont	

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
20	HEBE	○	Hemerocallis x 'Pinks Blue Eyes'	Pinks Blue Eyes Daylily	4 1/2' pot	
11	HEBS	○	Hemerocallis x 'Ruby Spiker'	Ruby Spiker Daylily	4 1/2' pot	

- Comments:  
 1. 1x1x1x1x1 (2) Specimen Clump  
 2. Male Only

Proposed Plant Material Table LSP1.4 for Lot #5

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
1	BEAR	○	Betula nigra 'Heritage'	Heritage River Birch	10' - 12' - Clump 8.5'	
3	GIRG	○	Girgelo Diabolo Autumn Gold	Autumn Gold Maidenhair Tree	3'-Col - 8.5'	
1	ULMO	○	Ulmus Mortonii Accolade	Accolade Elm	3'-Col - 8.5'	
-	Entg	○	Existing to Remain	Existing to Remain	Existing	

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
1	TRGSG	○	Thuja plicata Green Giant	Green Giant Arborvitae	6' - 7' - 8.5'	

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
5	ARCB	○	Aronia arbutifolia 'Blackberry'™	Bright Red Chokeberry	18" - 24" - 8.5'	
8	COGE	○	Cornus sanguinea 'Cato'	Arctic Sun Red Twig Dogwood	18" - Cont	
3	PHOCD	○	Physocarpus opulifolius 'Morford'	Dickbark Ninebark	2' - 3' - 8.5'	
3	SPR	○	Symphoricarpos viticollis	Cordoberry	2' - 3' - 8.5'	

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
5	JUSCM	○	Juniperus scopulorum 'Moonglow'	Moonglow Juniper	5' - 6' - 8.5'	
3	JUSWB	○	Juniperus scopulorum 'Wichita Blue'	Wichita Blue upright Juniper	5' - 6' - 8.5'	
8	JUSGS	○	Juniperus x plectrantha 'MistSari'	Sea of Gold Juniper	18" - 24" - 8.5'	

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
12	PRM	○	Parthenocissus vitacea 'NCS4'	White Ivy	4'-Col - Cont	
14	MIAWFA	○	Micranthus spens 'NCS4'	My Fair Maiden Reed Grass	1'-Col - Cont	
21	PRM	○	Parthenocissus vitacea 'NCS4'	White Ivy	4'-Col - Cont	
19	SPHA	○	Sporobolus heterolepis	Prairie Dropseed	1'-Col - Cont	

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
22	HEBS	○	Hemerocallis x 'Ruby Spiker'	Ruby Spiker Daylily	4 1/2' pot	

- Comments:  
 1. 1x1x1x1 (2) Specimen Clump  
 2. Male Only

PLEASE REFER TO SHEET LSP 1.2 FOR MASTER LIST OF CODED LANDSCAPE INSTALLATION CONSTRUCTION NOTES

Project:  
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 Meadowcreek Drive & Capital Drive  
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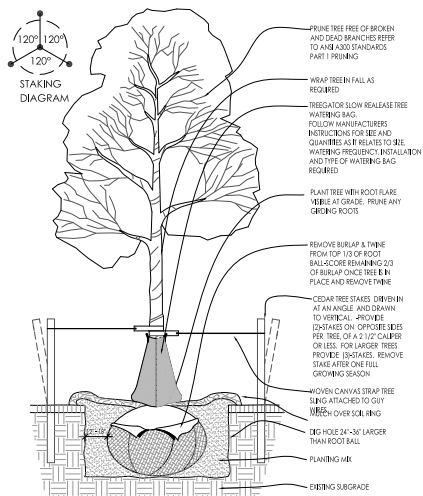
Date	Number	Description
06/22/17		Preliminary Client Review Submittal
06/30/17		Preliminary Plan Commission Submittal
07/07/17		Plan Commission Submittal
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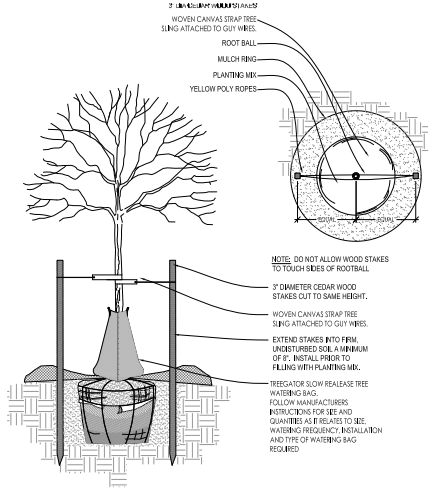
Sheet Title:  
**PROPOSED PARTIAL LANDSCAPE PLAN AND PLANT MATERIAL TABLE**  
 Date of Drawing: 06/01/18  
 Scale: 1" = 20'-0"  
 Drawn By: MCD  
 Job Number: L17-042  
 Sheet Number:

**LSP1.4**

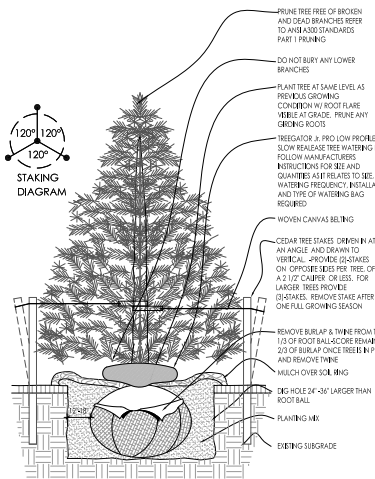
CONSTRUCTION SET USE NO OTHER - DO NOT SCALE THESE DRAWINGS - LSP1.4 - THE SHOPS AT MEADOW RIDGE - Revised - 06/01/18



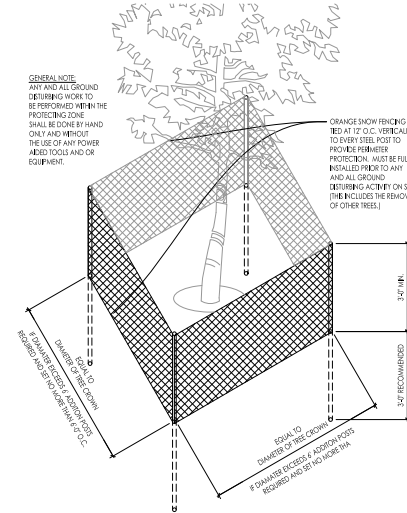
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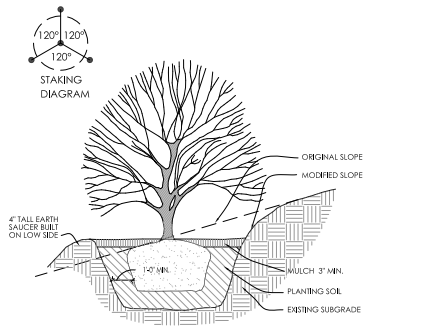
2 DECIDUOUS TREE STAKING PARKING ISLAND/RESTRICTED AREAS SCALE: NONE



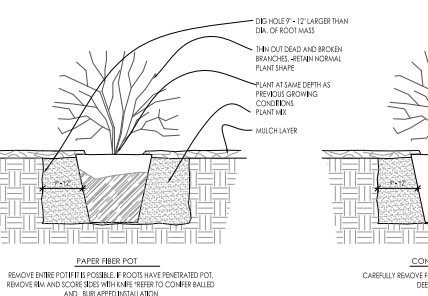
3 CONIFEROUS TREE PLANTING DETAIL SCALE: NONE



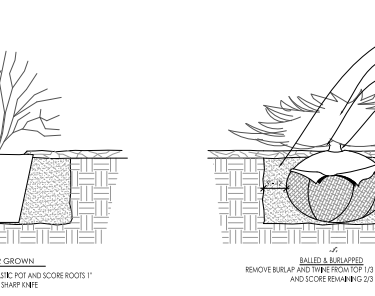
4 EXISTING TREE PROTECTION DETAIL SCALE: NONE



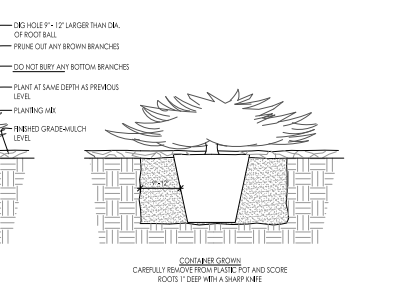
5 SLOPE PLANTING DETAIL SCALE: NONE



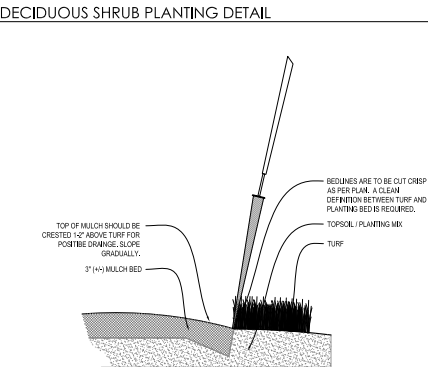
6 DECIDUOUS SHRUB PLANTING DETAIL SCALE: NONE



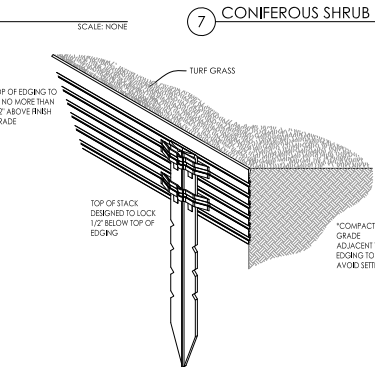
7 CONIFEROUS SHRUB PLANTING DETAIL SCALE: NONE



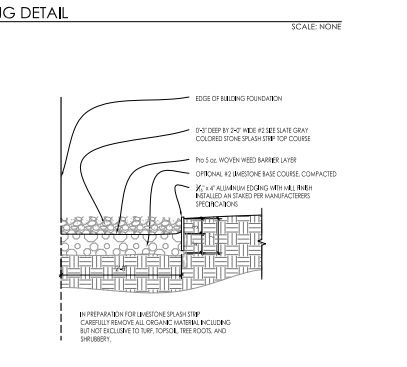
8 PERENNIAL BED PLANTING DETAIL SCALE: NONE



9 SPADE EDGE PLANT BED EDGE DETAIL SCALE: NONE



10 METAL LANDSCAPE EDGING DETAIL SCALE: 1/2" = 1'-0"



11 COMPACTED GRAVEL SPLASH STRIP SCALE: 1/2" = 1'-0"

**Project:**  
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 Pewaukee, WI

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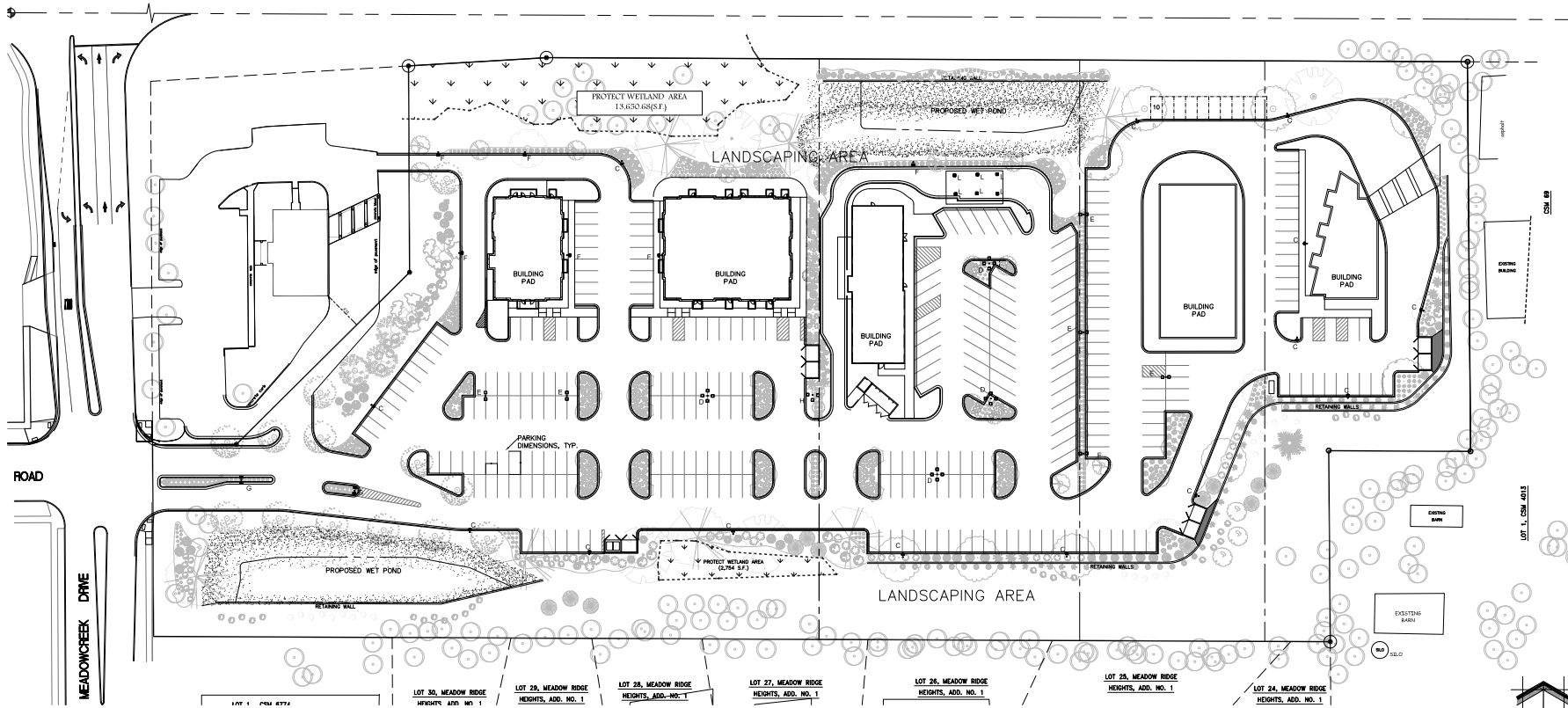
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**Sheet Title:**  
 PROPOSED LANDSCAPE PLAN, PLANTING DETAILS

**Date of Drawing:** 06/01/18  
**Scale:** As Noted  
**Drawn By:** MCD  
**Job Number:** L17-042  
**Sheet Number:**

**LSP1.5**

CONSTRUCTION SET USE NO OTHER - DO NOT SCALE THESE DRAWINGS - LSP1.5 - THE SHOPS AT MEADOW RIDGE - Revised - 06/01/18



1 PROPOSED PHOTOMETRIC LIGHT LEVELS CALCULATIONS PLAN w/o CALCULATION POINTS

**PHOTOMETRIC GENERAL NOTES:**

1. BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POLE PLACEMENTS AND LUMINAIRE ORIENTATION. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO RELEVANT FIELD CONDITIONS.
2. THE DISPLAYED ILLUMINATION RESULTS ARE BASED UPON ILLUMINATION MEASUREMENTS AS CALCULATED BY AN INDEPENDENT LABORATORY. LUMINAIRE CHARACTERISTIC DATA WAS MEASURED UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH APPROVED ILLUMINATION ENGINEERING SOCIETY METHODS. ACTUAL ON-SITE PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY FROM LABORATORY TEST RESULTS DUE TO VARIATIONS IN: ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
3. IF EXISTING LUMINAIRES ARE INCLUDED IN THE REPORT, THEIR ILLUMINATION CHARACTERISTICS ARE BASED UPON A COMBINATIONS OF CUSTOMER'S PROVIDED SPECIFICATIONS & OUR BEST ESTIMATIONS.
4. ALL EXISTING AND NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASCHERY SKIM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.

**EXISTING CONDITIONS GENERAL NOTES:**

1. INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE ARCHITECTURAL DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC., MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.
2. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.
3. VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES I.E. WATER, SEWER, TELECOMMUNICATION AND ACCESS PANELS w/ MECHANICAL AND ELECTRICAL EQUIPMENT FOR ACCESSIBILITY OF MECHANICAL & ELECTRICAL ITEMS.

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**Sheet Title:**

PROPOSED PHOTOMETRIC LIGHT LEVEL CALCULATIONS PLAN, GENERAL NOTES

Date of Drawing: 06/01/18  
 Scale: 1" = 40'-0"  
 Drawn By: MCD  
 Job Number: L17-042  
 Sheet Number:

**PHO1.0**

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN:

**DIGGERS HOT LINE**

WISCONSIN STATUTE 100.10 (1) YOU REQUIRE A 48 HOUR NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR ENSURED BY DIGGER'S HOT LINE.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MEADOWCREEK UTILITY ALERT NETWORK (800) 345-8311 (TOLL FREE) 414-242-7910 (OFFICE) www.diggershotline.com

**B11**  
 Know what's below. Call before you dig.

CONSTRUCTION SET USE NO OTHER - DO NOT SCALE THESE DRAWINGS-

L17-042 - THE SHOPS AT MEADOW RIDGE - PHO1.0 - 6/1/18



OVERALL DEVELOPMENT LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
△	A	10	XSPWAX3MCAU	Cree XSPW Series Wallpack Luminaire, Type III LED, 57K CCT, 4000K Input Power Designator	4 type MDA LEDs	XSPWAX3MCAU_LED1-57K-4000K-0030.IES	Absolute	1,000	42.96
○	B	25	PWV4EDG-0A-004-UJ-320 or B18P5418E4RH	Cree Edge Pathway Luminaire, Type V Medium, 18 LED, 120V, 277V, 350mA, 5700K	Eighteen type XRG-02 LEDs	PWV4EDG-0A-004-UJ-320_FL03689-02.IES	Absolute	1,000	21.5
□	C	14	OSO A xx 3ME A 57K4L w/OSO-BLSMF	CONFIGURED FROM Cree OSO Series Area Luminaire, Type III Medium w/ Backlight Shield, J Input Power Designator, 4000K	CONFIGURED FROM Twelve type MDA LEDs	OSO A xx 3ME A 57K4L w/OSO-BLSMF_CONF ISURF.ies	Absolute	1,000	112
□	D	4	OSO A xx 4ME A 57K CONFIGURED FROM OSO A xx 4ME A 40K	CONFIGURED FROM Cree OSO Series Area Luminaire, Type IV Medium, A Input Power Designator, 4000K	CONFIGURED FROM Eight type MDA 4000K LEDs	OSO A xx 4ME A 57K_CONF IGU RED.ies	Absolute	1,000	448
□	E	6	OSO A xx 4ME A 57K CONFIGURED FROM OSO A xx 4ME A 40K	CONFIGURED FROM Cree OSO Series Area Luminaire, Type IV Medium, A Input Power Designator, 4000K	CONFIGURED FROM Eight type MDA 4000K LEDs	OSO A xx 4ME A 57K_CONF IGU RED.ies	Absolute	1,000	224
□	F	6	OSO A xx 2ME A 57K4L w/OSO-BLSMF CONFIGURED FROM OSO A xx 2ME A 57K4L w/OSO-BLSMF	Cree OSO Series Area Luminaire, Type II Medium w/ Backlight Shield, K Input Power Designator, 5700K CONFIGURED FROM Cree OSO Series Area Luminaire, Type II Medium w/ Backlight Shield, U Input Power Designator, 5700K	CONFIGURED FROM MDA	OSO A xx 2ME A 57K4L w/OSO-BLSMF_CONF ISURF.ies	Absolute	1,000	130
□	G	2	OSO A xx 2ME A 57K4L w/OSO-BLSMF CONFIGURED FROM OSO A xx 2ME A 57K4L w/OSO-BLSMF	Cree OSO Series Area Luminaire, Type II Medium w/ Backlight Shield, K Input Power Designator, 5700K CONFIGURED FROM Cree OSO Series Area Luminaire, Type II Medium w/ Backlight Shield, U Input Power Designator, 5700K	CONFIGURED FROM MDA	OSO A xx 2ME A 57K4L w/OSO-BLSMF_CONF ISURF.ies	Absolute	1,000	260
□	H	1	OSO A xx 4ME A 57K CONFIGURED FROM OSO A xx 4ME A 40K	CONFIGURED FROM Cree OSO Series Area Luminaire, Type IV Medium, A Input Power Designator, 4000K	CONFIGURED FROM Eight type MDA 4000K LEDs	OSO A xx 4ME A 57K_CONF IGU RED.ies	Absolute	1,000	448
□	K	9	CPY250-A-0M-F-UJ-CS	Cree CPY250 Canopy / 508L Luminaire w/ Flat Lens, 120V, 5700K Platinum Silver Factory Finish, Prisma Canopy Mounting Plate	72 type XTE AWT LEDs on white square PCB, 5700K color temperature.	CPY250-A-0M-F-UJ-CS_57K_BEST1-2014002.ies	Absolute	1,000	43.4
□	L	9	CRUS_SMA3C-LED-4W-60	CRUS_SMA3C-LED-4W-60	Absolute	1,000	87.9		
⊕	M	16	T1-20-WH4LED20-36AU-FD4-12048Z	20"x12" X 7 1/4"W X 7 1/4"H LED LUMINAIRE, CLEAR LENS.	Absolute	1,000	31.11		
⊙	N	5	4BEMW LED 40K	4" Matte White Bath LED Module, 4000K CCT, 80CRI	LED	4BEMW_LED_40K.ies	Absolute	1,000	10.3
□	P	1	FLI-42L-05-40K-N-UJ-XX	Facet Flood Large, 42-LEDs, 4200K, 700mA, Narrow Lens (2x2) Lens #R004063	42-NICHA 4000K LEDs	FLI-42L-05-40K-44L-XX.ies	Absolute	1,000	96.7
△	Q	1	UNC-6LU-3K-3-X	TYPE 3	5-NICHA 3K LEDs	UNC-6LU-3K-3-X.ies	Absolute	1,000	12.9

STATISTICS

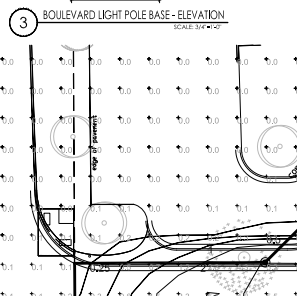
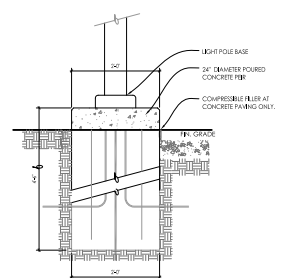
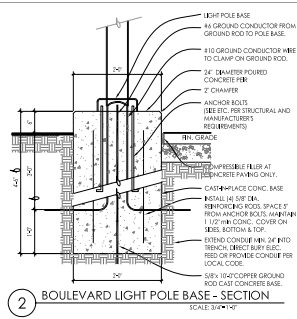
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc: Zone #1	+	1.7 fc	48.6 fc	0.0 fc	N/A	N/A

LUMINAIRE NOTES

- ALL NEW POLE MOUNTED FIXTURES (HEADS AND TENSORS) AND NEW 20'-0" SQUARE LIGHT POLES W/ SILVER FINISH ARE TO BE INSTALLED ON NEW FORMED CONCRETE LIGHT POLE BASE FOUNDATIONS
- ALL NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL EXPOSED FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWEL, MASONRY SIKKA COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.
- ALL PROPOSED AREA / FLOOD FIXTURE HEADS ARE TO HAVE A DIFFUSING REFLECTOR AND TO BE SENSA DARK-SKY COMPLIANT AND TO HAVE FULL CUTOFF HOUSE SIDE SHIELDING HARDWARE WHERE REQUIRED, W/ OPTIONAL PHOTOCELL CONTROL.
- ALL PROPOSED AREA / FLOOD ARE TO BE INSTALLED WITH SENSIA PHOTOCELL CONTROL.

ALL BUILDING MOUNTED FIXTURES ARE NOT INCLUDED IN CALCULATIONS. WALL PACKS (FIXTURE A) ARE AT KNOWN CURRENT EGRESS LOCATIONS AND ARE SUBJECT TO CHANGE BASED ON SEVERAL BUILDING/TRAFFIC PROGRAMS. THESE FIXTURES WILL BE INCLUDED ONCE BUILDING PROGRAMS AND FLOOR PLANS AND ELEVATIONS ARE DEVELOPED. Calculated values include direct and interreflected components.

THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS ARE CALCULATED. VALUES INCLUDE DIRECT AND INTER-REFLECTED COMPONENTS. THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO CHANGE IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMP/LED'S AND OTHER MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMP/LED'S AND OTHER VARIABLE FIELD CONDITIONS. CALCULATIONS DO NOT INCLUDE OBSTRUCTIONS SUCH AS BUILDINGS CURBS, LANDSCAPING, OR ANY OTHER ARCHITECTURAL ELEMENTS UNLESS NOTED.



1 PROPOSED PARTIAL PHOTOMETRIC LIGHT LEVELS CALCULATIONS PLAN

Project:  
**THE SHOPS AT MEADOW RIDGE**  
Meadowcreek Drive & Capitol Drive  
Pewaukee, WI

Issuance and Revisions:

Date	Number	Description
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06/30/17		Preliminary Plan Commission Submittal
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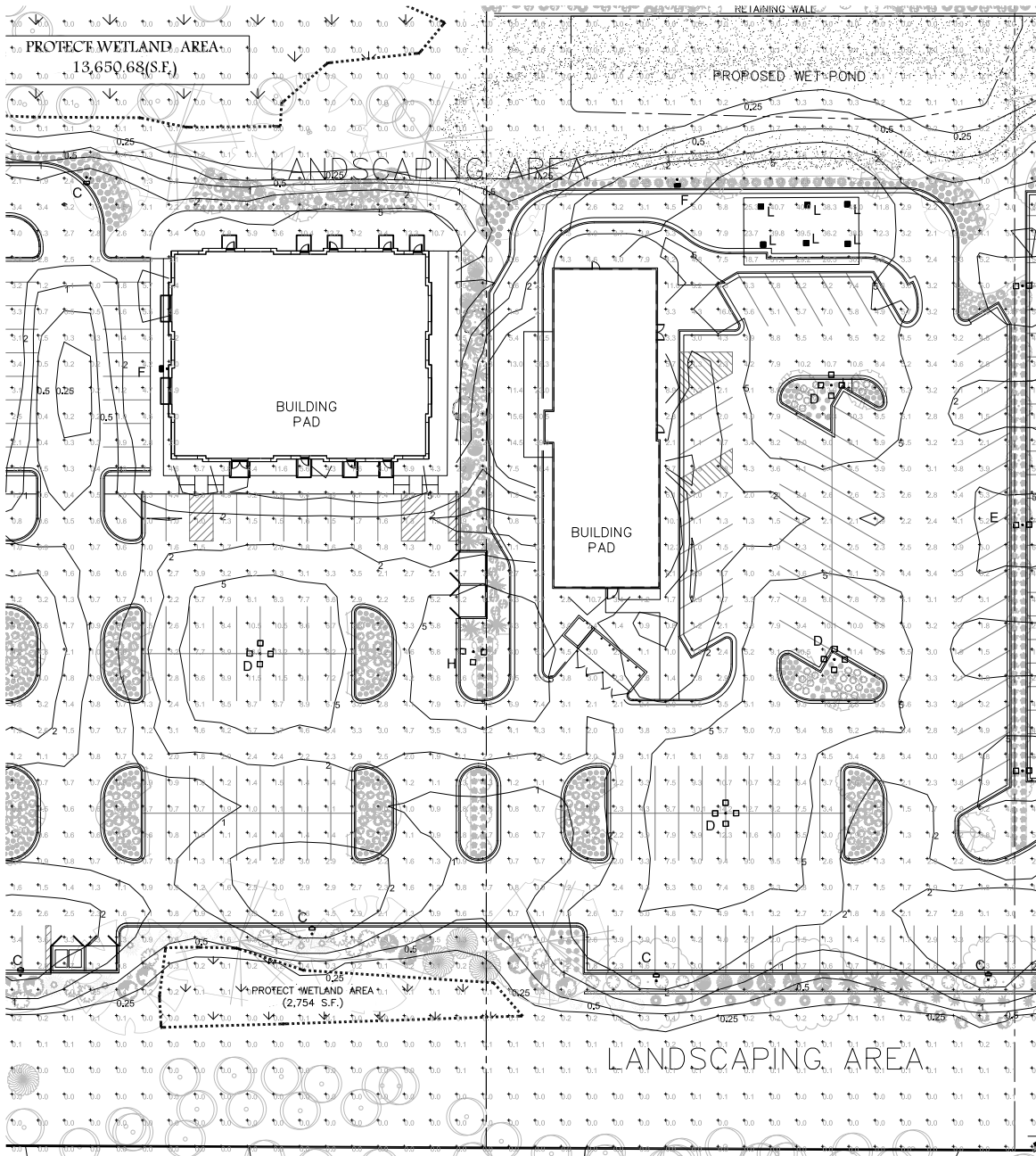
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Sheet Title:  
PROPOSED PHOTOMETRIC LIGHT LEVEL CALCULATIONS PLAN, GENERAL NOTES AND LIGHT FIXTURE TABLE

Date of Drawing: 06/01/18  
Scale: 1" = 20'-0"  
Drawn By: MCD  
Job Number: L17-042  
Sheet Number:

PH01.1

CONSTRUCTION SET USE NO OTHER DO NOT SCALE THESE DRAWINGS



**PARTIAL LUMINAIRE SCHEDULE - LOT #2 & BUILDING #2**

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
△	A	9	XSPWA3MC-U	Cree XSPW Series Wallpack Luminaire, Type III Medium, 5700K, C Input Power Designator, 4000K	4 type MDA LEDs	XSPWA3MC-U_REST-2014-4000LES	Absolute	1.00	42.96
□	C	2	OSQ A xx 3ME A 57KL w/OSQ-BLSMF	CONFIGURED FROM Cree OSQ Series Area Luminaire, Type III Medium w/ Backlight Shield, J Input Power Designator, 4000K	CONFIGURED FROM Twelve type MDA LEDs	OSQ A xx 3ME A 57KL w/OSQ-BLSMF_CONF IGURED.ies	Absolute	1.00	112
□	D	1	OSQ A xx 4ME A 57K	CONFIGURED FROM Cree OSQ Series Area Luminaire, Type IV Medium, A Input Power Designator, 4000K	CONFIGURED FROM Eight type MDA 4000K LEDs	OSQ A xx 4ME A 57K_CONF IGURED.ies	Absolute	1.00	448
■	F	1	OSQ-Axx-2ME-4-57KL w/OSQ-BLSMF	Cree OSQ Series Area Luminaire, Type II Medium w/ Backlight Shield, K Input Power Designator, 5700K	CONFIGURED FROM MDA	OSQ-Axx-2ME-4-57KL w/OSQ-BLSMF_CONF IGURED.ies	Absolute	1.00	130
□	H	1	OSQ A xx 4ME A 57K	CONFIGURED FROM Cree OSQ Series Area Luminaire, Type IV Medium, A Input Power Designator, 4000K	CONFIGURED FROM Eight type MDA 4000K LEDs	OSQ A xx 4ME A 57K_CONF IGURED.ies	Absolute	1.00	448

**PARTIAL LUMINAIRE SCHEDULE - LOT #3 & BUILDING #3**

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
□	C	2	OSQ A xx 3ME A 57KL w/OSQ-BLSMF	CONFIGURED FROM Cree OSQ Series Area Luminaire, Type III Medium w/ Backlight Shield, J Input Power Designator, 4000K	CONFIGURED FROM Twelve type MDA LEDs	OSQ A xx 3ME A 57KL w/OSQ-BLSMF_CONF IGURED.ies	Absolute	1.00	112
□	D	3	OSQ A xx 4ME A 57K	CONFIGURED FROM Cree OSQ Series Area Luminaire, Type IV Medium, A Input Power Designator, 4000K	CONFIGURED FROM Eight type MDA 4000K LEDs	OSQ A xx 4ME A 57K_CONF IGURED.ies	Absolute	1.00	448
■	F	1	OSQ-Axx-2ME-4-57KL w/OSQ-BLSMF	Cree OSQ Series Area Luminaire, Type II Medium w/ Backlight Shield, K Input Power Designator, 5700K	CONFIGURED FROM MDA	OSQ-Axx-2ME-4-57KL w/OSQ-BLSMF_CONF IGURED.ies	Absolute	1.00	130
■	L	9	CRUS 3A5C-LED-4W50	PROGRESS; P5642-300K9 6\"/>					
⊕	M	16	PROGRESS; P5642-300K P56420	CONFIGURED FROM PROGRESS; P5642-300K9 6\"/>					
○	N	5	4BEMW LED 40K	4\"/>					
□	P	1	FL-L42L-05-4K7A-UW-XK	Factor Flood Large, 42-LEDS, 4000K, 700mA, Narrow Lens (20) Lens #9304023	42 x NICHIA 4000K LEDs	FL-L42L-05-4K7A-UW-XK.ies	Absolute	1.00	96.7
△	Q	1	LNC-LL-3K-3-X	TYPE 3	5-NICHIA 3K LEDs	LNC-LL-3K-3-X.ies	Absolute	1.00	12.9

**LUMINAIRE NOTES**

- ALL NEW POLE MOUNTED FIXTURES (HEADS AND TENSORS) AND NEW 20'-0" SQUARE LIGHT POLES W/ SILVER FINISH ARE TO BE INSTALLED ON NEW POURED CONCRETE LIGHT POLE BASE FOUNDATIONS
  - ALL NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL EXPOSED FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED MASONRY SBM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.
  - ALL PROPOSED AREA / FLOOD FIXTURE HEADS ARE TO HAVE A DIFFUSING REFLECTOR AND TO BE BIESHA DARKSKY COMPLIANT AND TO HAVE FULL CUTOFF HOUSE SIDE SHIELDING HARDWARE WHERE REQUIRED. W/ OPTIONAL PHOTOCELL CONTROL.
  - ALL PROPOSED AREA / FLOOD ARE TO BE INSTALLED WITH REMBA PHOTOCELL CONTROL.
- ALL BUILDING MOUNTED FIXTURES ARE NOT INCLUDED IN CALCULATIONS. WALL PACKS (FIXTURE A) ARE AT KNOWN CURRENT EGRESS LOCATIONS AND ARE SUBJECT TO CHANGE BASED ON INDIVIDUAL BUILDING/EGRESS PROGRAMS. THESE FIXTURES WILL BE INCLUDED ONCE BUILDING PROGRAMS AND FLOOR PLANS AND ELEVATIONS ARE DEVELOPED. CALCULATED VALUES INCLUDE DIRECT AND INTER-REFLECTED COMPONENTS.
- THE LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS ARE CALCULATED VALUES INCLUDE DIRECT AND INTER-REFLECTED COMPONENTS.
- THE LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH IESNA LM-79-08.

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Project:  
**THE SHOPS AT MEADOW RIDGE**  
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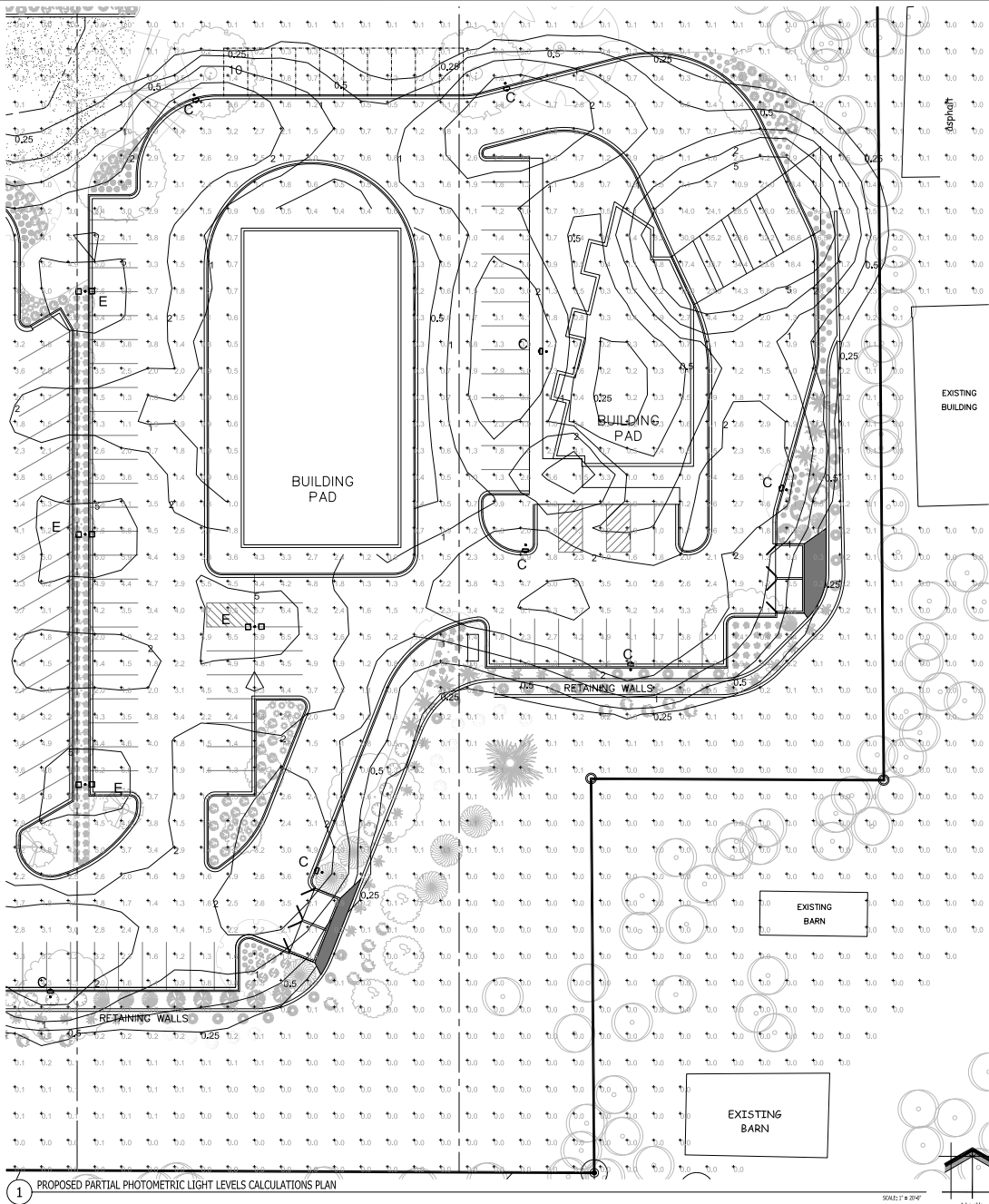
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Sheet Title:  
PROPOSED PHOTOMETRIC LIGHT LEVEL CALCULATIONS PLAN, GENERAL NOTES, AND LIGHT FIXTURE TABLE

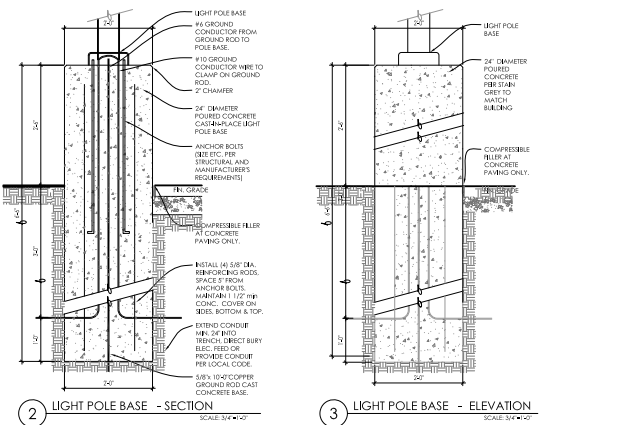
Date of Drawing: 06/01/18  
Scale: 1" = 20'-0"  
Drawn by: MCD  
Job Number: L17-042  
Sheet Number:

**PH01.2**

CONSTRUCTION SET USE NO OTHER DO NOT SCALE THESE DRAWINGS



OVERALL DEVELOPMENT LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	Fil.	Lumens L.F. Watts
△	A	10	XSPWA3MC-U	Cree XSPWA Series WideArea Luminaire, Type II Medium, 5700K, C Input Power Designator	4 type MDA LEDs	XSPWA3MC- U_NESTL-2014- 2000IES	Absolute 1,00 42,96
○	B	25	PWV-EDG-24K-02-4L-350 or BXBP-518E-4JH	Cree Edge Pathway Luminaire, Type V Medium, 16 Leds, 120- 277V, 3000K, 5700K	Eighteen type XP-02 LEDs	PWV-EDG-24K- 02-4L-350- 350_PL5599- 001IES	Absolute 1,00 21,5
□	C	14	OSO A xx 3ME A 57K-U w/OSO- BLSMF	CONFIGURED FROM Cree OSO Series Area Luminaire, Type II Medium w/ Backlight Shield, U Input Power Designator, 4000K	CONFIGURED FROM Twelve type MDA LEDs	OSO A xx 3ME A 57K-U w/OSO- BLSMF_CONF IGUREDIES	Absolute 1,00 112
□	D	4	OSO A xx 4ME A 57K CONFIGURED FROM OSO A xx 4ME A 40K	CONFIGURED FROM Cree OSO Series Area Luminaire, Type IV Medium, A Input Power Designator, 4000K	CONFIGURED FROM Eight type MDA 4000K LEDs	OSO A xx 4ME A 57K- CONFIGU REDIES	Absolute 1,00 448
□	E	6	OSO A xx 4ME A 57K CONFIGURED FROM OSO A xx 4ME A 40K	CONFIGURED FROM Cree OSO Series Area Luminaire, Type IV Medium, A Input Power Designator, 4000K	CONFIGURED FROM Eight type MDA 4000K LEDs	OSO A xx 4ME A 57K_CONF IGUREDIES	Absolute 1,00 224
□	F	6	OSO A xx 2ME A 57K-U w/OSO- BLSMF	Cree OSO Series Area Luminaire, Type II Medium w/ Backlight Shield, K Input Power Designator, 5700K CONF IGURED FROM Cree OSO Series Area Luminaire, Type II Medium w/ Backlight Shield, U Input Power Designator, 5700K	CONFIGURED FROM MDA	OSO A xx 2ME A-57K- U-OSO- BLSMF_CONF IGUREDIES	Absolute 1,00 130
□	G	2	OSO A xx 2ME A 57K-U w/OSO- BLSMF	Cree OSO Series Area Luminaire, Type II Medium w/ Backlight Shield, K Input Power Designator, 5700K CONF IGURED FROM Cree OSO Series Area Luminaire, Type II Medium w/ Backlight Shield, U Input Power Designator, 5700K	CONFIGURED FROM MDA	OSO A xx 2ME A-57K- U-OSO- BLSMF_CONF IGUREDIES	Absolute 1,00 260
□	H	1	OSO A xx 4ME A 57K CONFIGURED FROM OSO A xx 4ME A 40K	CONFIGURED FROM Cree OSO Series Area Luminaire, Type IV Medium, A Input Power Designator, 4000K	CONFIGURED FROM Eight type MDA 4000K LEDs	OSO A xx 4ME A 57K_CONF IGUREDIES	Absolute 1,00 448
□	K	9	CPV250-40M-F -C-AL-3CS	Cree CPV250 Canopy / Soft Luminaire w/ Flat Lens, 120V, 5700K Platinum Silver Factory Finish, Provide Canopy Mounting Plate	72 type XTE AWLT LEDs on white square PCB, 5700K color temperature.	CPV250-40M- F-A-AL-3CS- 57K_RESTL- 2013-0000IES	Absolute 1,00 43,4
■	L	9	CRUS_SMA-SC-LED- -LM-00			CRUS_SMA-SC- LED-LW-00IES	Absolute 1,00 87,9
⊕	M	16	TY-20MM-LED20- 3KUP/DN-120-0Z	20-1/2" X 7-1/4" W X 7- 1/4" H LED LUMINAIRE, CLEAR LENS.		L0418894.IES	Absolute 1,00 31,11
○	N	5	4BEMW LED 40K	4" Mini White Bulb LED Module, 4000K CCT, 80CRI	LED	4BEMW_LED_40K.IES	Absolute 1,00 10,3
□	P	1	FL-42L-95-4K7-A- L-3X-00	Factor Flood Lamp, 42- LEDs, 4000K, 750mA, Narrow Lens (2X) Lens #93040623	42 - NICHIA 4000K LEDs	FL-42L-95- 4K7-A-L-3X- 00.IES	Absolute 1,00 96,7
△	O	1	LNC-SLU-3K-3-X	TYPE 3	5 - NICHIA 3K LEDs	LNC-SLU-3K-3- X.IES	Absolute 1,00 12,9



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Project:  
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Sheet Title:  
PROPOSED PHOTOMETRIC LIGHT  
LEVEL CALCULATIONS PLAN,  
GENERAL NOTES  
AND LIGHT FIXTURE TABLE

Date of Drawing: 06/01/18  
Scale: 1" = 20'-0"  
Drawn By: MCD  
Job Number: L17-042  
Sheet Number:

**PHO1.3**

CONSTRUCTION SET USE NO OTHER - DO NOT SCALE THESE DRAWINGS - L17-042 - THE SHOPS AT MEADOW RIDGE - Paved - 06/01/18

### CPY Series - Versoin A

Product Description: CPY Series LED canopy / soffit luminaire. Features include: 1. 100% LED, 5000K, 100lm/W, 5-year warranty. 2. IP65 rating. 3. 10-year warranty. 4. 10-year warranty. 5. 10-year warranty.

Performance Specifications:
 

Model	Power (W)	Beam Angle	Height (mm)	Mounting	Notes
CPY-100	100	60°	100	Surface	
CPY-150	150	60°	150	Surface	
CPY-200	200	60°	200	Surface	
CPY-300	300	60°	300	Surface	
CPY-400	400	60°	400	Surface	
CPY-500	500	60°	500	Surface	

Lighting Maintenance:
 

Item	Part	Quantity	Notes
1	LED Module	1	Replace every 50,000 hours
2	Driver	1	Replace every 50,000 hours
3	Heat Sink	1	Replace every 50,000 hours
4	Mounting Bracket	1	Replace every 50,000 hours

CPY Series LED Canopy / Soffit Luminaire

1 CPY SERIES LED CANOPY / SOFFIT LUMINAIRE

### XSP Series

Product Description: XSP Series LED exterior wall pack. Features include: 1. 100% LED, 5000K, 100lm/W, 5-year warranty. 2. IP65 rating. 3. 10-year warranty. 4. 10-year warranty.

Performance Specifications:
 

Model	Power (W)	Beam Angle	Height (mm)	Mounting	Notes
XSP-100	100	60°	100	Surface	
XSP-150	150	60°	150	Surface	
XSP-200	200	60°	200	Surface	
XSP-300	300	60°	300	Surface	
XSP-400	400	60°	400	Surface	
XSP-500	500	60°	500	Surface	

Lighting Maintenance:
 

Item	Part	Quantity	Notes
1	LED Module	1	Replace every 50,000 hours
2	Driver	1	Replace every 50,000 hours
3	Heat Sink	1	Replace every 50,000 hours
4	Mounting Bracket	1	Replace every 50,000 hours

XSP Series LED Exterior Wall Pack

2 XPS SERIES EXTERIOR LED WALL PACK

### PS Series

Product Description: PS Series square steel pole. Features include: 1. 100% LED, 5000K, 100lm/W, 5-year warranty. 2. IP65 rating. 3. 10-year warranty. 4. 10-year warranty.

Performance Specifications:
 

Model	Power (W)	Beam Angle	Height (mm)	Mounting	Notes
PS-100	100	60°	100	Surface	
PS-150	150	60°	150	Surface	
PS-200	200	60°	200	Surface	
PS-300	300	60°	300	Surface	
PS-400	400	60°	400	Surface	
PS-500	500	60°	500	Surface	

Lighting Maintenance:
 

Item	Part	Quantity	Notes
1	LED Module	1	Replace every 50,000 hours
2	Driver	1	Replace every 50,000 hours
3	Heat Sink	1	Replace every 50,000 hours
4	Mounting Bracket	1	Replace every 50,000 hours

PS Series Square Steel Pole

3 PS SERIES SQUARE STEEL POLE

### PB Series

Product Description: PB Series square steel pole bracket. Features include: 1. 100% LED, 5000K, 100lm/W, 5-year warranty. 2. IP65 rating. 3. 10-year warranty. 4. 10-year warranty.

Performance Specifications:
 

Model	Power (W)	Beam Angle	Height (mm)	Mounting	Notes
PB-100	100	60°	100	Surface	
PB-150	150	60°	150	Surface	
PB-200	200	60°	200	Surface	
PB-300	300	60°	300	Surface	
PB-400	400	60°	400	Surface	
PB-500	500	60°	500	Surface	

Lighting Maintenance:
 

Item	Part	Quantity	Notes
1	LED Module	1	Replace every 50,000 hours
2	Driver	1	Replace every 50,000 hours
3	Heat Sink	1	Replace every 50,000 hours
4	Mounting Bracket	1	Replace every 50,000 hours

PB Series Square Steel Pole Bracket

4 PB SERIES SQUARE STEEL POLE BRACKET

### OSQ Series

Product Description: OSQ Series LED area/flood luminaire. Features include: 1. 100% LED, 5000K, 100lm/W, 5-year warranty. 2. IP65 rating. 3. 10-year warranty. 4. 10-year warranty.

Performance Specifications:
 

Model	Power (W)	Beam Angle	Height (mm)	Mounting	Notes
OSQ-100	100	60°	100	Surface	
OSQ-150	150	60°	150	Surface	
OSQ-200	200	60°	200	Surface	
OSQ-300	300	60°	300	Surface	
OSQ-400	400	60°	400	Surface	
OSQ-500	500	60°	500	Surface	

Lighting Maintenance:
 

Item	Part	Quantity	Notes
1	LED Module	1	Replace every 50,000 hours
2	Driver	1	Replace every 50,000 hours
3	Heat Sink	1	Replace every 50,000 hours
4	Mounting Bracket	1	Replace every 50,000 hours

OSQ Series LED Area/Flood Luminaire

6 OSQ SERIES LED AREA/FLOOD

### OSQ Series

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OSQ-150	150	60°	150	Surface	
OSQ-200	200	60°	200	Surface	
OSQ-300	300	60°	300	Surface	
OSQ-400	400	60°	400	Surface	
OSQ-500	500	60°	500	Surface	

Lighting Maintenance:
 

Item	Part	Quantity	Notes
1	LED Module	1	Replace every 50,000 hours
2	Driver	1	Replace every 50,000 hours
3	Heat Sink	1	Replace every 50,000 hours
4	Mounting Bracket	1	Replace every 50,000 hours

OSQ Series LED Area/Flood Luminaire

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OSQ Series LED Area/Flood Luminaire

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2	Driver	1	Replace every 50,000 hours
3	Heat Sink	1	Replace every 50,000 hours
4	Mounting Bracket	1	Replace every 50,000 hours

OSQ Series LED Area/Flood Luminaire

**INSITE DESIGN**  
 LANDSCAPE CONSULTING  
 AND MASTER PLANNING DESIGN SERVICES  
 11525 W. North Avenue Suite 1B  
 Wauwatosa, WI 53226  
 Tel (414) 476-1204  
 www.insitedesigninc.com  
 mdavis@insitedesigninc.com

Project:  
**THE SHOPS AT MEADOW RIDGE**  
 Meadowcreek Drive & Capitol Drive  
 Pewaukee, WI

Issuance and Revisions:

Date	Number	Description
06/22/17		Preliminary Client Review Submittal
06/30/17		Preliminary Plan Commission Submittal
07/07/17		Plan Commission Submittal
07/25/17		Revisions based on Site Changes / Plan Commission Submittal
03/21/18		Revisions based on Commission Submittal Comments
04/18/18		Building #1 & #2 Foundation Handing Submittal
05/18/18		Site Changes
05/22/18		Additional Site Changes
05/23/18		Partial Plan Commission Submittal
06/01/18		PUB Submittal

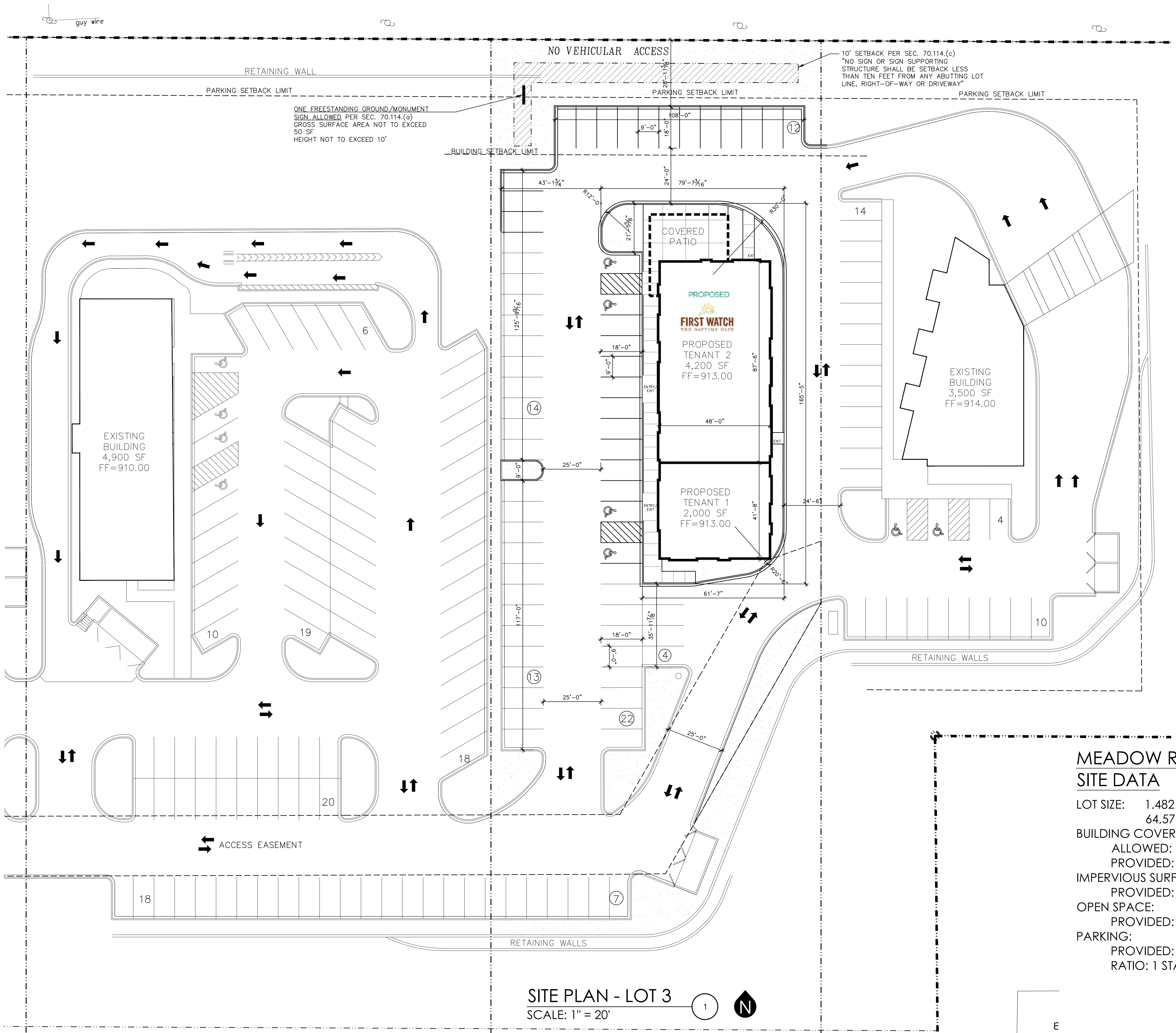
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Sheet Title:  
 PROPOSED LIGHT FIXTURES

Date of Drawing: 06/01/18  
 Scale: NONE  
 Drawn By: MCD  
 Job Number: L17-042  
 Sheet Number:

**PHO1.4**

CONSTRUCTION SET USE NO OTHER - DO NOT SCALE THESE DRAWINGS- L17-042 - THE SHOPS AT MEADOW RIDGE - Revise - 06/01/18



**SITE PLAN - LOT 3**  
 SCALE: 1" = 20'

**MEADOW RIDGE - LOT 3  
 SITE DATA**

LOT SIZE: 1.482 ACRES  
 64,576 SF  
 BUILDING COVERAGE:  
 ALLOWED: 19,373 SF (30%)  
 PROVIDED: 7,200 SF (11.1%)  
 IMPERVIOUS SURFACE:  
 PROVIDED: 52,626 SF (81.4%)  
 OPEN SPACE:  
 PROVIDED: 11,950 SF (18.5%)  
 PARKING:  
 PROVIDED: 72 SPACES  
 RATIO: 1 STALL PER 100 SF

Project Info. — 20053  
**SOMERSTONE RETAIL**  
 NEW CONSTRUCTION  
 CAPITOL DRIVE  
 PEWAUKEE, WI

Sheet Title

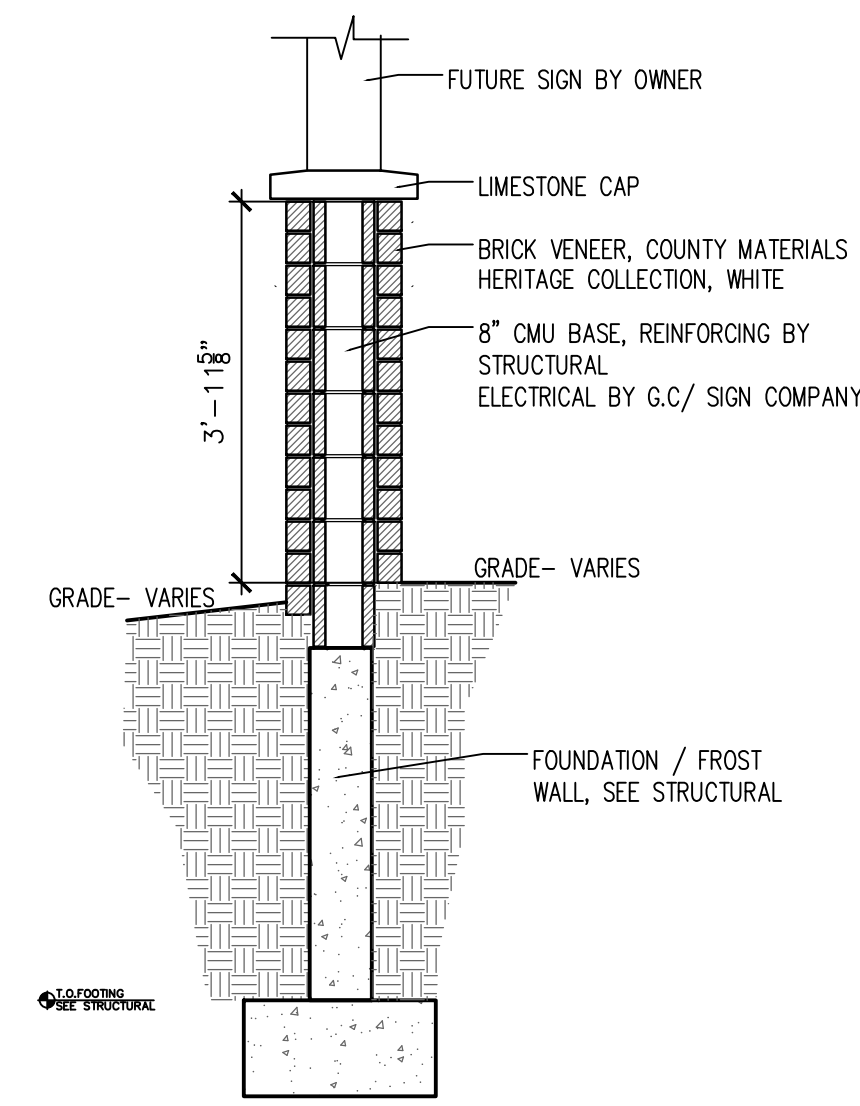
**SITE PLAN**

Revisions

No.	Date	Description
09.21.2021	PC Submittal	

NOT FOR CONSTRUCTION

Sheet No.  
**SP1.0**



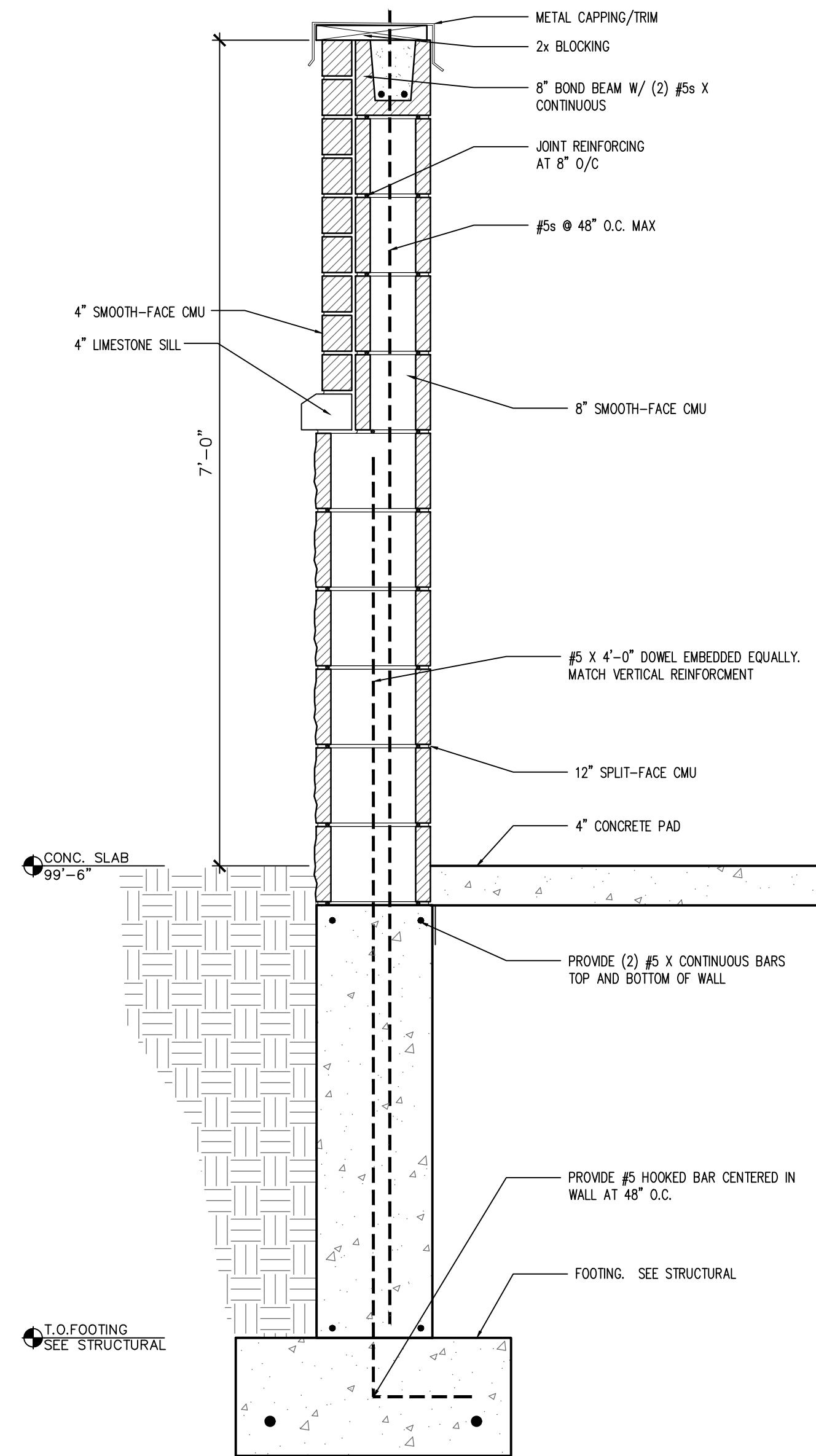
**MONUMENT SIGN**  
SCALE: 1/2" = 1'-0"

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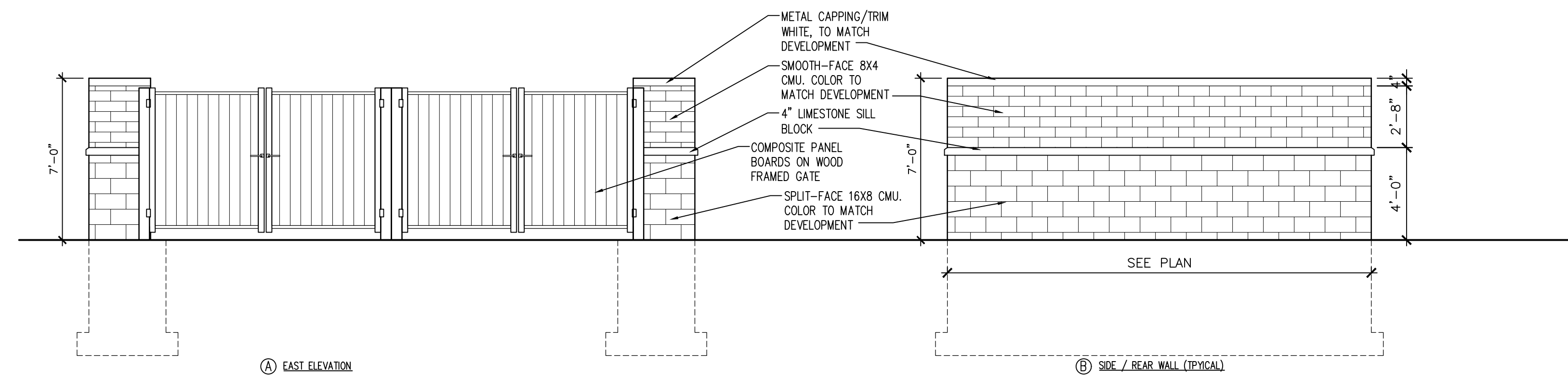
**ENCLOSURE EXAMPLE**  
SCALE: N.T.S.

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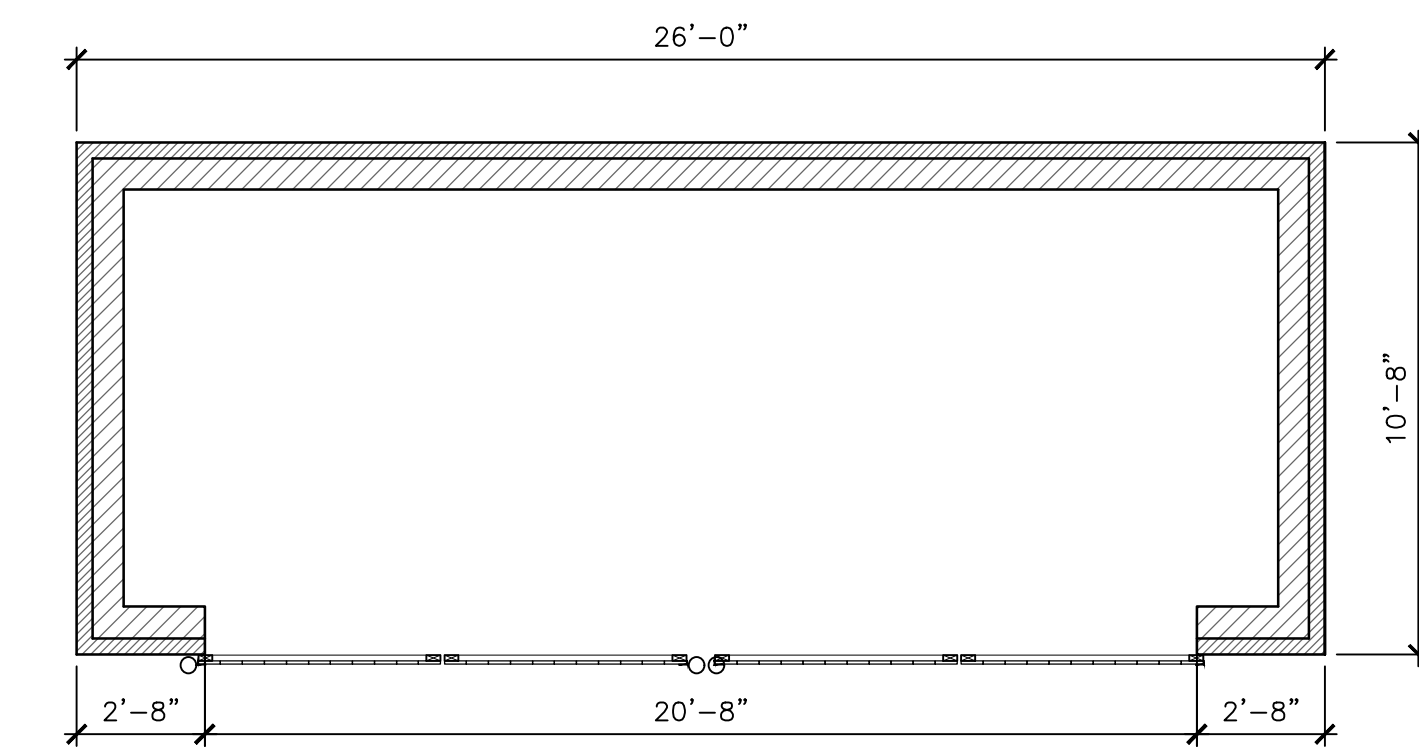
**WALL SECTION**  
SCALE: 1" = 1'-0"

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**ENCLOSURE ELEVATIONS**  
SCALE: 1/4" = 1'-0"

3



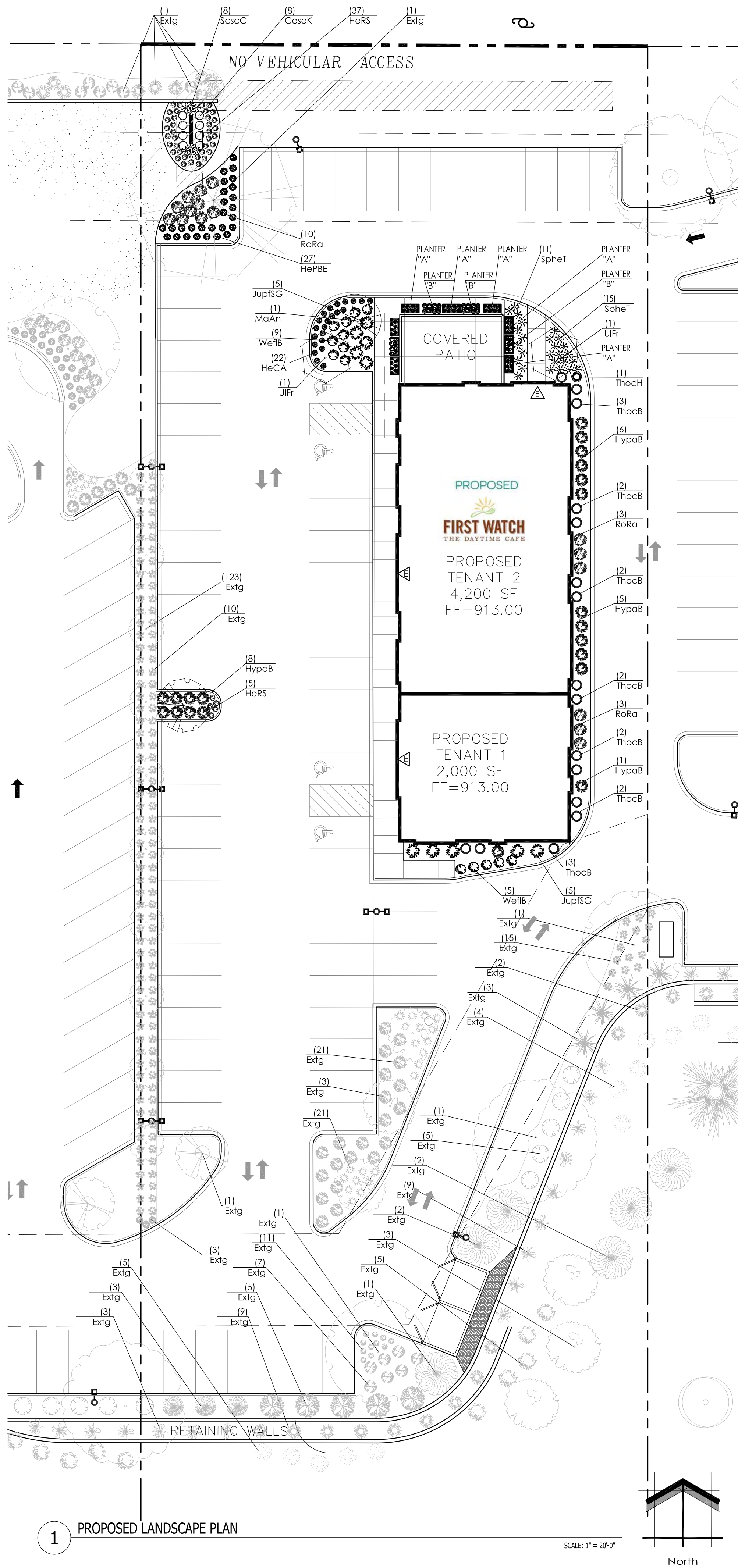
**TRASH ENCLOSURE PLAN**  
SCALE: 1/4" = 1'-0"

1

Revisions

No.	Date	Description
09.21.2021	PC Submittal	

NOT FOR CONSTRUCTION



**LANDSCAPE PLAN GENERAL NOTES**

PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH.

1. AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES. UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE. SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.

2. ALL PLANTINGS SPECIFIED FOR THE FIRST WATCH AT THE SHOPS AT MEADOW RIDGE PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014 AND ANSI STANDARDS FOR PLANTING 2012.
3. ALL DEVIATIONS FROM THE APPROVED FIRST WATCH AT THE SHOPS AT MEADOW RIDGE PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWINGS BY THE CONTRACTOR AND MAY BE EXECUTED ONLY WITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
4. ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. ANY SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
5. PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
6. ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN.) AND SHALL BE SODDED/SEEDDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
7. CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
8. QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
9. CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITION.
10. WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION FOR COORDINATION AND RESOLUTION.
11. ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
12. GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
13. ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
14. FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
15. ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.2 FOR FURTHER INFORMATION. PER EVERY 100 SQUARE FEET ADD: ONE - 2 CUBIC FOOT BALE OF HEAT MOSS, 2 POUNDS OF 5-10-5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.
16. ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
17. PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL OR STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
18. ALL TREES TO BE INSTALLED, STAKED AND GUYPED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.2 FOR FURTHER INFORMATION.
19. PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING AT THE ROOT BALL FLARE OF ALL LAWN TREES.
20. ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
21. WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2" - 3" PRESSING OF SHREDDED HARDWOOD/ OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
22. LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER), APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.

**23. DELUXE 50 GRASS SEED MIX REINDER'S (800) 785-3301**  
 20% KENTUCKY BLUE GRASS  
 15% NEWPORT KENTUCKY BLUE GRASS  
 15% SR 2100 Kentucky Bluegrass  
 25% Creeping Red Fescue  
 15% Replicator Perennial Ryegrass  
 10% Fiesta 4 Perennial Ryegrass  
 APPLY AT A RATE OF 200 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS & INSTALLATION OUT SHEETS FOR FURTHER FORMATION

24. DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL BE WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.
- MAINTENANCE NOTE:  
 MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN REQUIRED LANDSCAPING IN ACCORDANCE WITH THE MUNICIPALITY'S PROPERTY MAINTENANCE CODE AND AN APPROVED MAINTENANCE PLAN. THE MAINTENANCE MUST INCLUDE, AT A MINIMUM, METHODS FOR PROVIDING THE FOLLOWING:  
 • NECESSARY IRRIGATION (IF REQUIRED)  
 • INTEGRATED PEST MANAGEMENT,  
 • PROPER FERTILIZATION  
 • TREE CARE AND PRUNING, SHRUB TIE CLIPPING AND SHAPING AS REQUIRED  
 • REPLACEMENT OF LOST VEGETATION, AND ALL DISEASED, DAMAGED, OR DEAD MATERIAL WILL BE REPLACED BY THE END OF THE FOLLOWING PLANTING SEASON IN PERPETUITY.  
 • WEED MANAGEMENT AND BED CARE.
25. ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECEIVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPIRATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ARBORVITAE) RECEIVE AN APPLICATION OF AN ANTI-DESICANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION.
26. MAINTENANCE. THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFUSE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST.
27. LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.

Proposed Plant Material Table

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
<b>Broadleaf Deciduous Tree</b>						
1	MaAn		Magnolia x 'Ann'	Ann Magnolia	2 1/2"-Cal - B&B	1
1	PycaCS		Pyrus callerrana 'Cleveland Select'	Cleveland Select Calery Pear	2 1/2"-Cal - B&B	1
2	UFR		Ulmus (carpinifolia x parvifolia) 'Frontier'	Frontier Elm	2 1/2"-Cal - B&B	1
<b>Broadleaf Deciduous Shrub</b>						
8	CoseK		Cornus sericea 'Kelsey'	Kelsey's Dwarf Red-Osier Dogwood	18" - Cont	3
21	HypaB		Hydrangea paniculata 'Bobo'	Bobo Hardy Hydrangea	18" - 24" - Cont	3
16	RoRa		Rosa x 'Radtko'	Double Knock Out Rose	18" - Cont	3
14	WeIB		Weigela florida 'Bramwell'	Fine Wine Weigela	18" - Cont	3
<b>Conifer Evergreen Shrub</b>						
10	JupISG		Juniperus x pfitzeriana 'MonSan'	Sea of Gold Juniper	18" - 24" - B&B	3
16	ThocB		Thuja occidentalis 'Bobazam'	Mr. Bowling Ball Arborvitae	18" - 24" - Cont	3
1	Thoch		Thuja occidentalis 'Holmstrup'	Holmstrup Dwarf Arborvitae	4" - B&B	2
<b>Perennial Grass</b>						
34	SpheT		Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	1-Gal - Cont	4
<b>Perennial</b>						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
22	HeCA		Hemerocallis x 'Chicago Apache'	Chicago Apache Daylily	4 1/2" pot	4
27	HePBE		Hemerocallis x 'Prairie Blue Eyes'	Prairie Blue Eyes Daylily	4 1/2" pot	4
42	HeRS		Hemerocallis x 'Ruby Spider'	Ruby Spider Daylily	4 1/2" pot	4

Comments  
 1. Straight central leader, full & even crown. Prune only after planting.  
 2. Evenly shaped upright tree/shrub with full branching to the ground.  
 3. Full, well rooted plant, evenly shaped.  
 4. Full, well rooted plant.

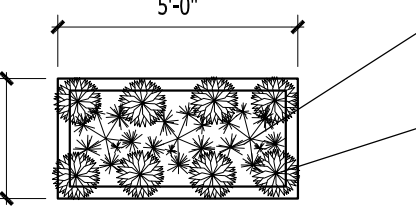
Proposed Plant Material Table Planter "A" - (5) Thus

Perennial Grass

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
3	ScscSS		Schizachyrium scoparium 'Smoke Signal'	Smoke Signal Bluestem Grass	1-Gal - Cont	4

Perennial

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
8	SaneBM		Salvia nemorosa 'Blue Marvel'	Blue Marvel Salvia	4 1/2" pot	4



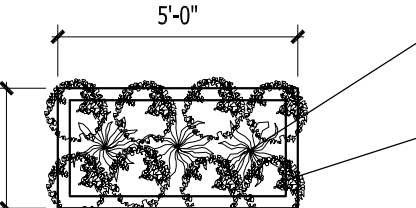
Proposed Plant Material Table Planter "B" - (3) Thus

Perennial Grass

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
3	DecePF		Deschampsia cespitosa 'Pixie Fountain'	Pixie Fountain Tufted Hair Grass	1-Gal - Cont	4

Perennial

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
8	HeLB		Hemerocallis x 'Little Business'	Little Business Dwarf Daylily	4 1/2" pot	4



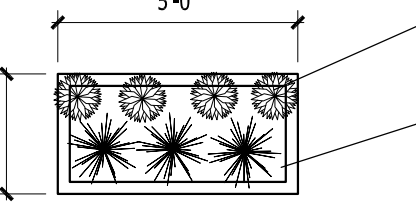
Proposed Plant Material Table Planter "C" - (2) Thus

Conifer Evergreen

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
3	JucoGC		Juniperus communis 'Gold Cone'	Gold Cone Juniper	1-Gal - Cont	2

Perennial

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
4	SaneBM		Salvia nemorosa 'Blue Marvel'	Blue Marvel Salvia	4 1/2" pot	4



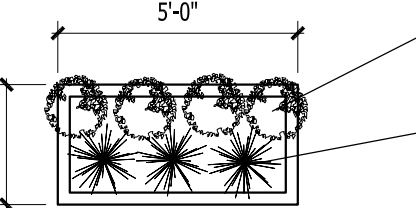
Proposed Plant Material Table Planter "D" - (1) Thus

Perennial Grass

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
3	JucoGC		Juniperus communis 'Gold Cone'	Gold Cone Juniper	1-Gal - Cont	2

Perennial

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
4	HeLB		Hemerocallis x 'Little Business'	Little Business Dwarf Daylily	4 1/2" pot	4



TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**DIGGERS HOT LINE**

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CANNOT BE GUARANTEED OR CERTIFIED TO. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK (800) 242-8511, (262) 432-7910 (877) 500-9592 www.DiggersHotline.com OR

**INSITE**  
 LANDSCAPE DESIGN

Landscape Consulting  
 & Master Planning Design Services

11525 W. North Avenue, Suite 1B  
 Wauwatosa, WI 53226  
 Tel (414) 476-1204  
 www.insitedesigninc.com  
 mdatvis@insitedesigninc.com

Project:

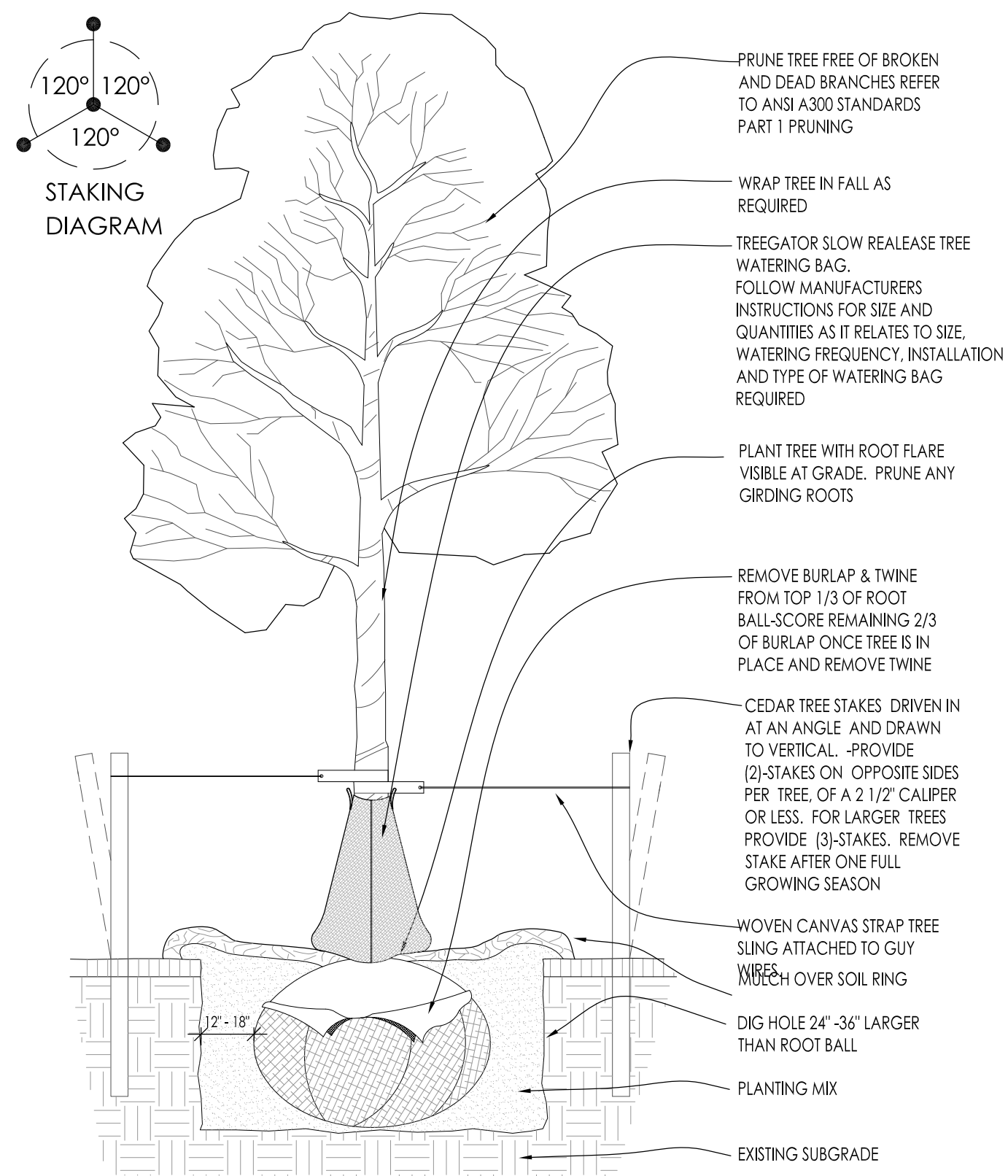
**THE SHOPS AT MEADOW RIDGE -FIRST WATCH**

Meadowcreek Drive  
 & Capitol Drive  
 Pewaukee, WI

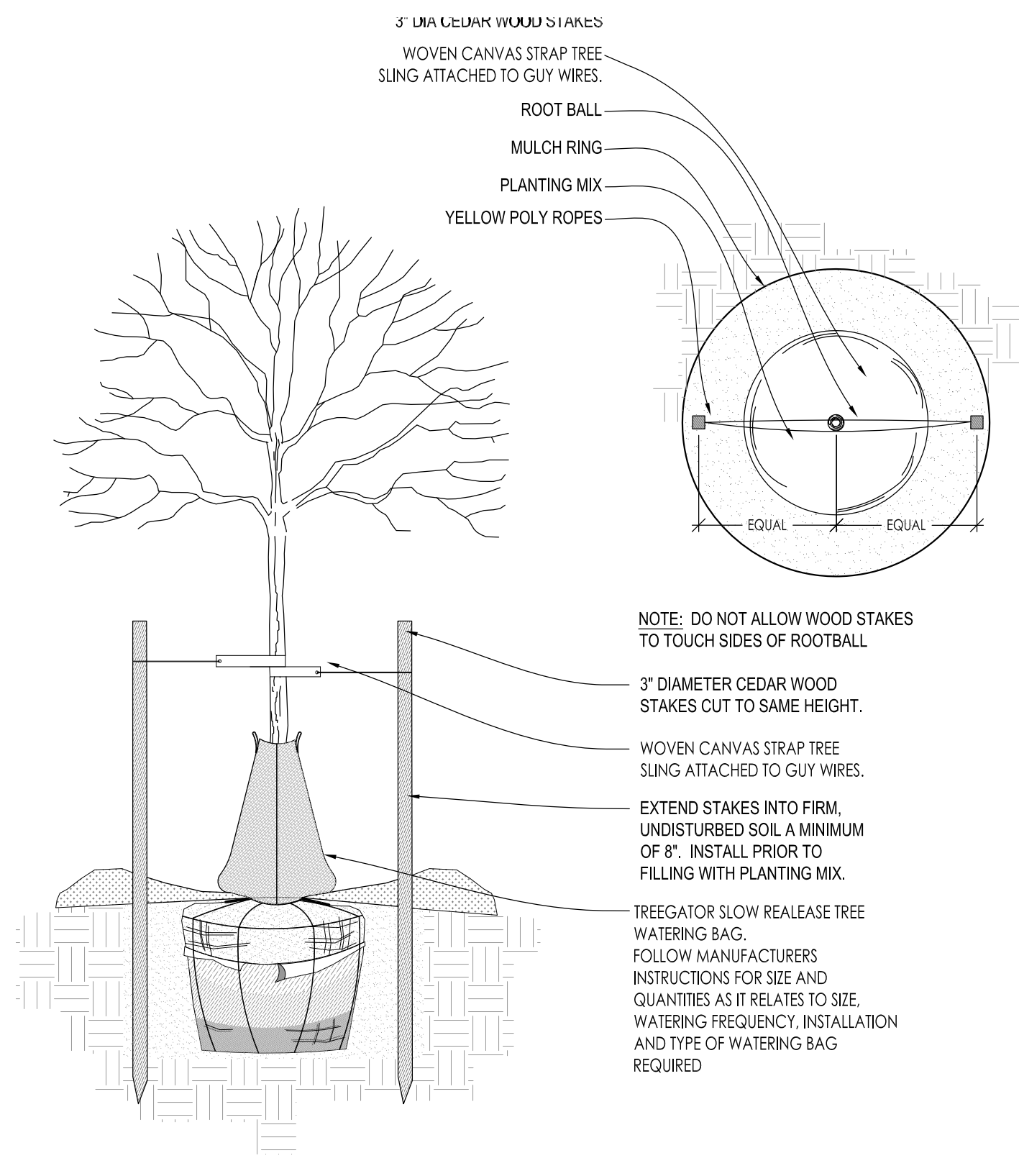
Issuance and Revisions:

Date	Number	Description
09/20/21		Plan Commission Submittal

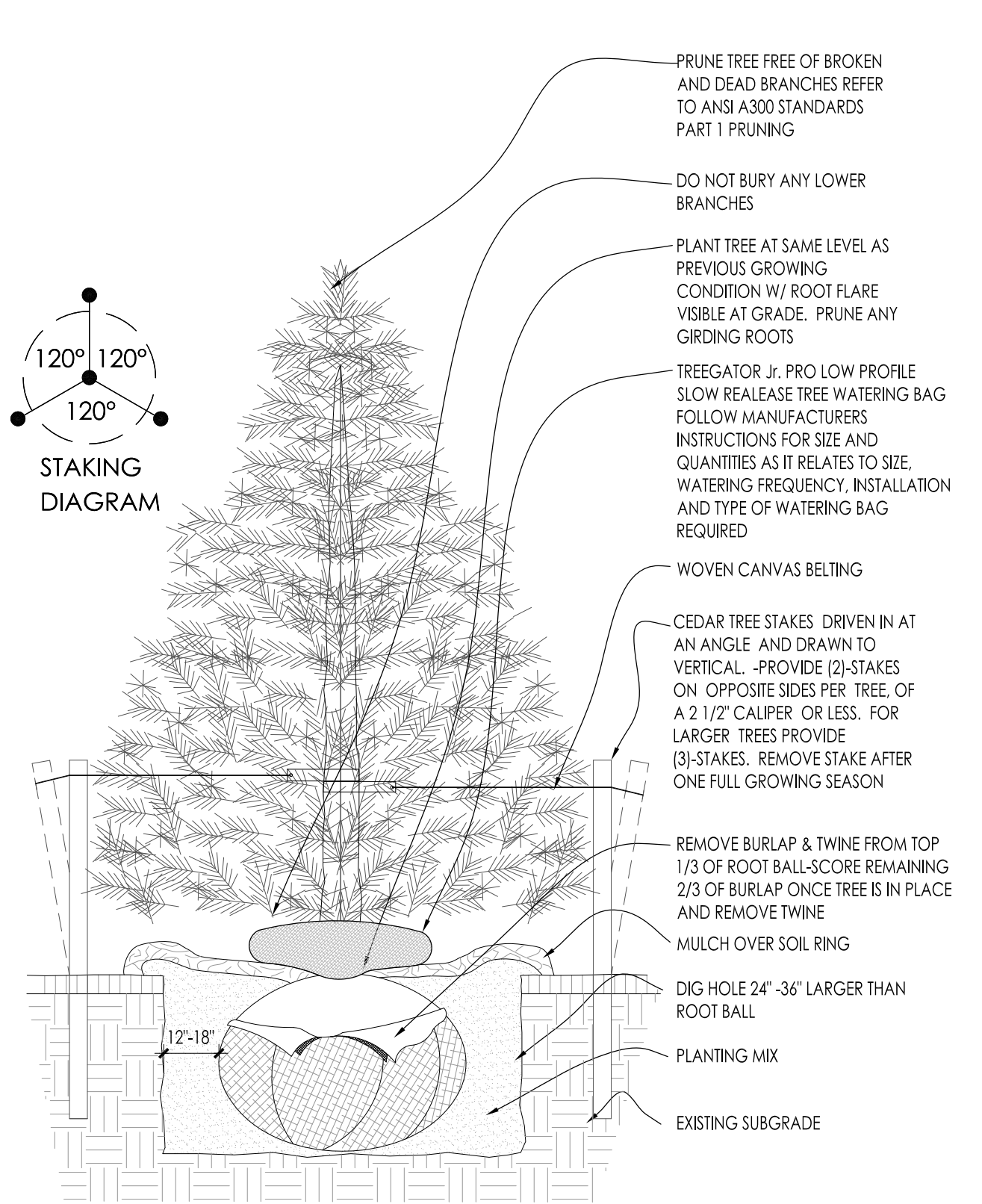
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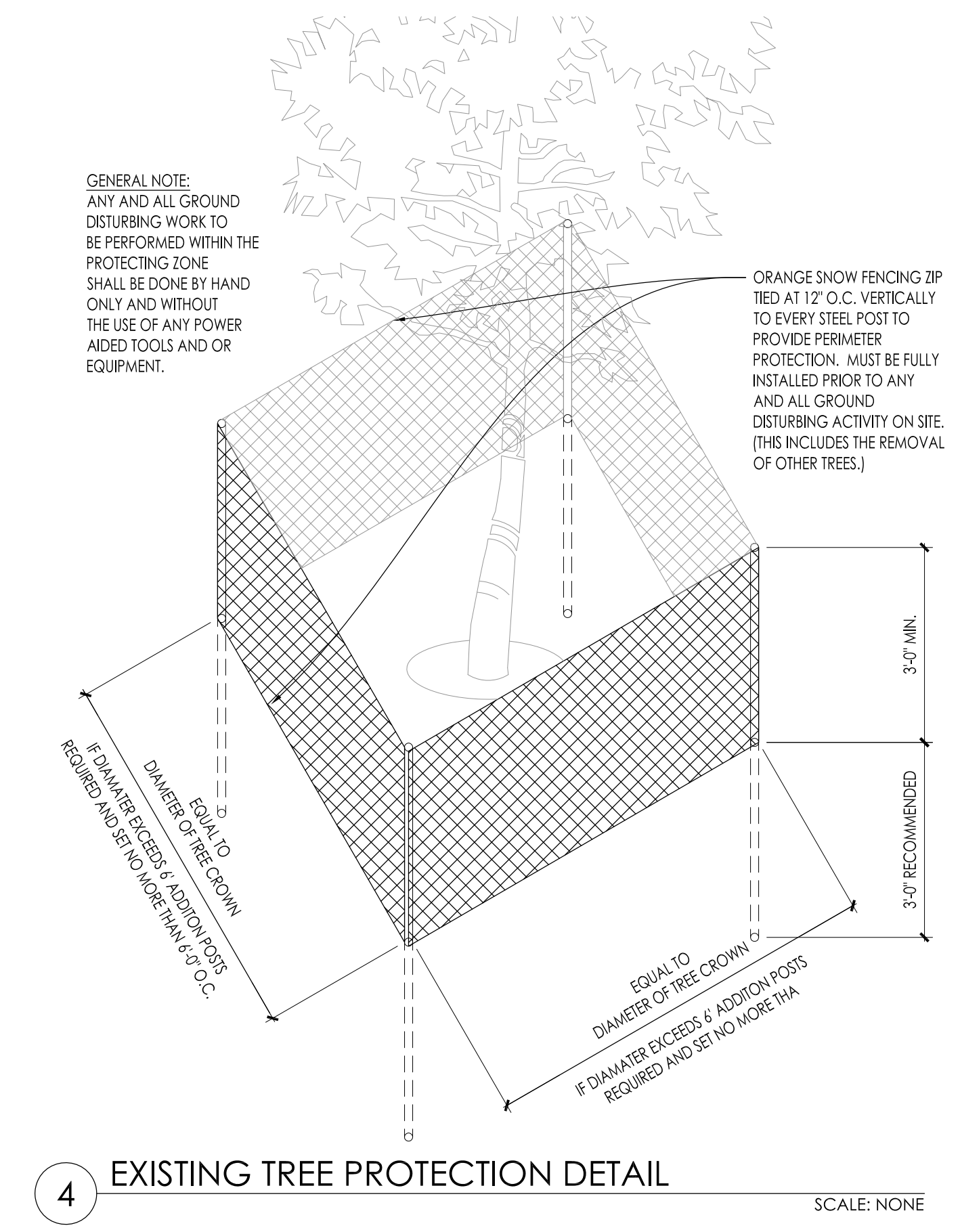
1 DECIDUOUS TREE PLANTING DETAIL SCALE: NONE



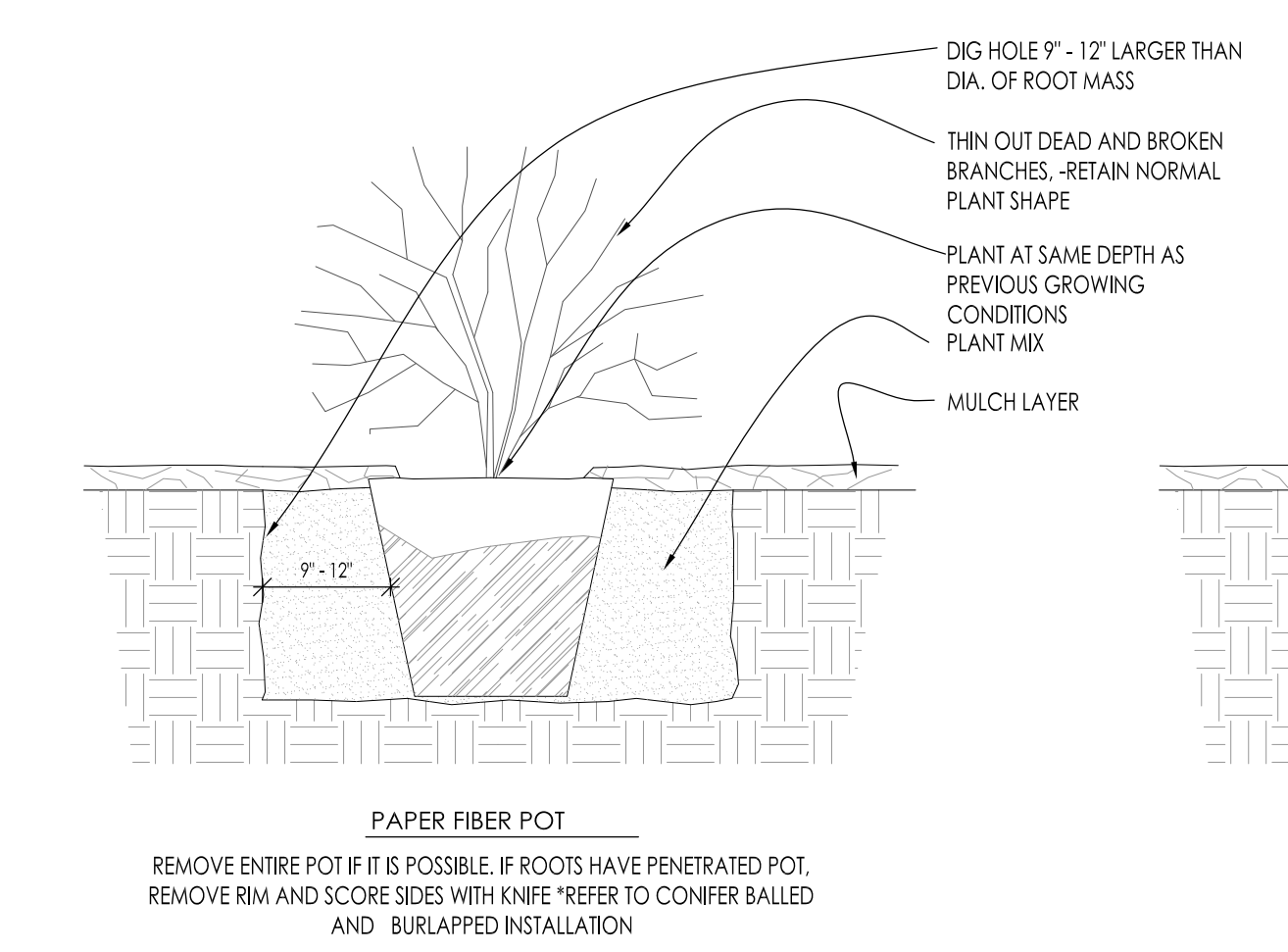
2 DECIDUOUS TREE STAKING PARKING ISLAND/RESTRICTED AREAS SCALE: NONE



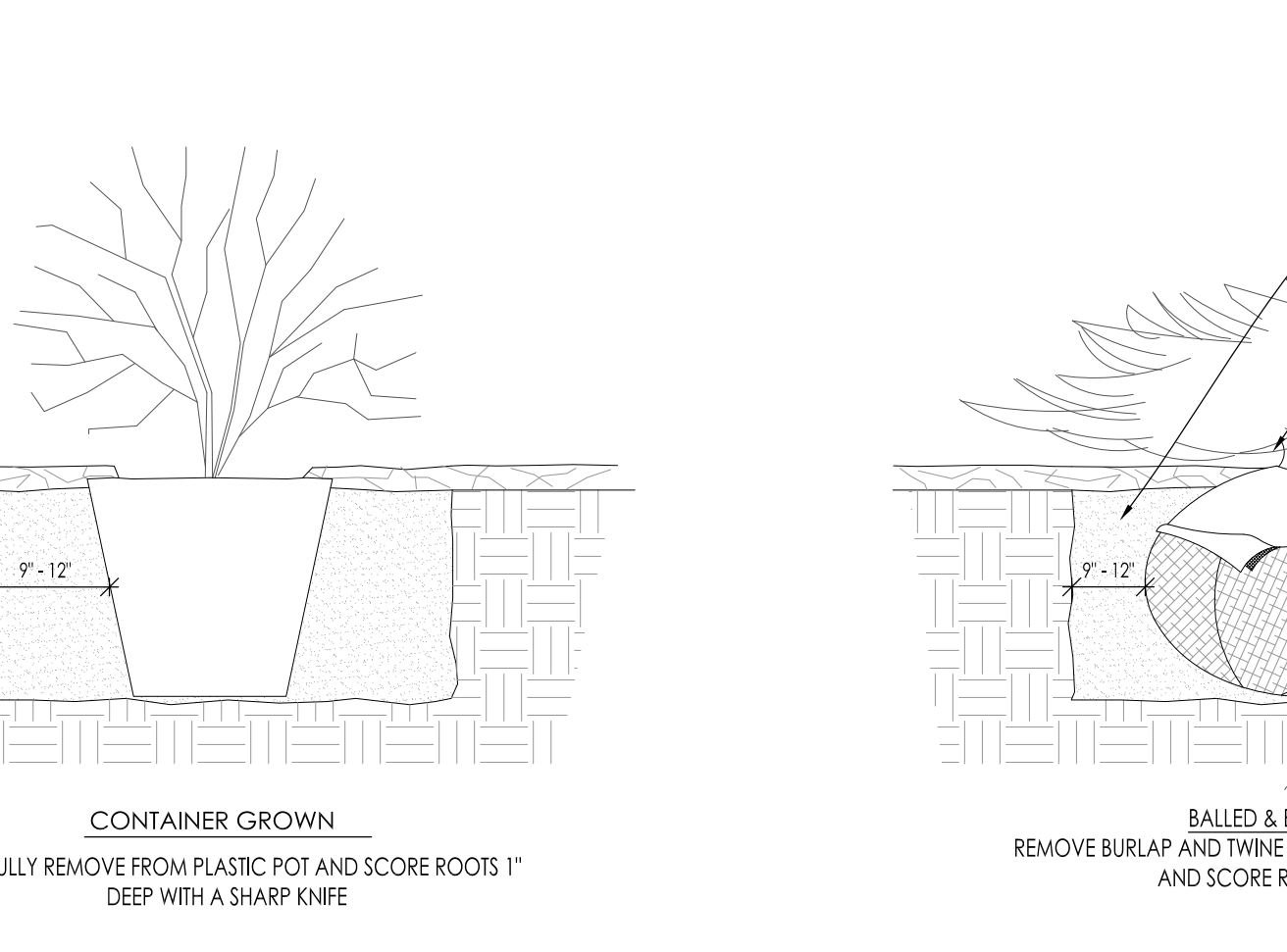
3 CONIFEROUS TREE PLANTING DETAIL SCALE: NONE



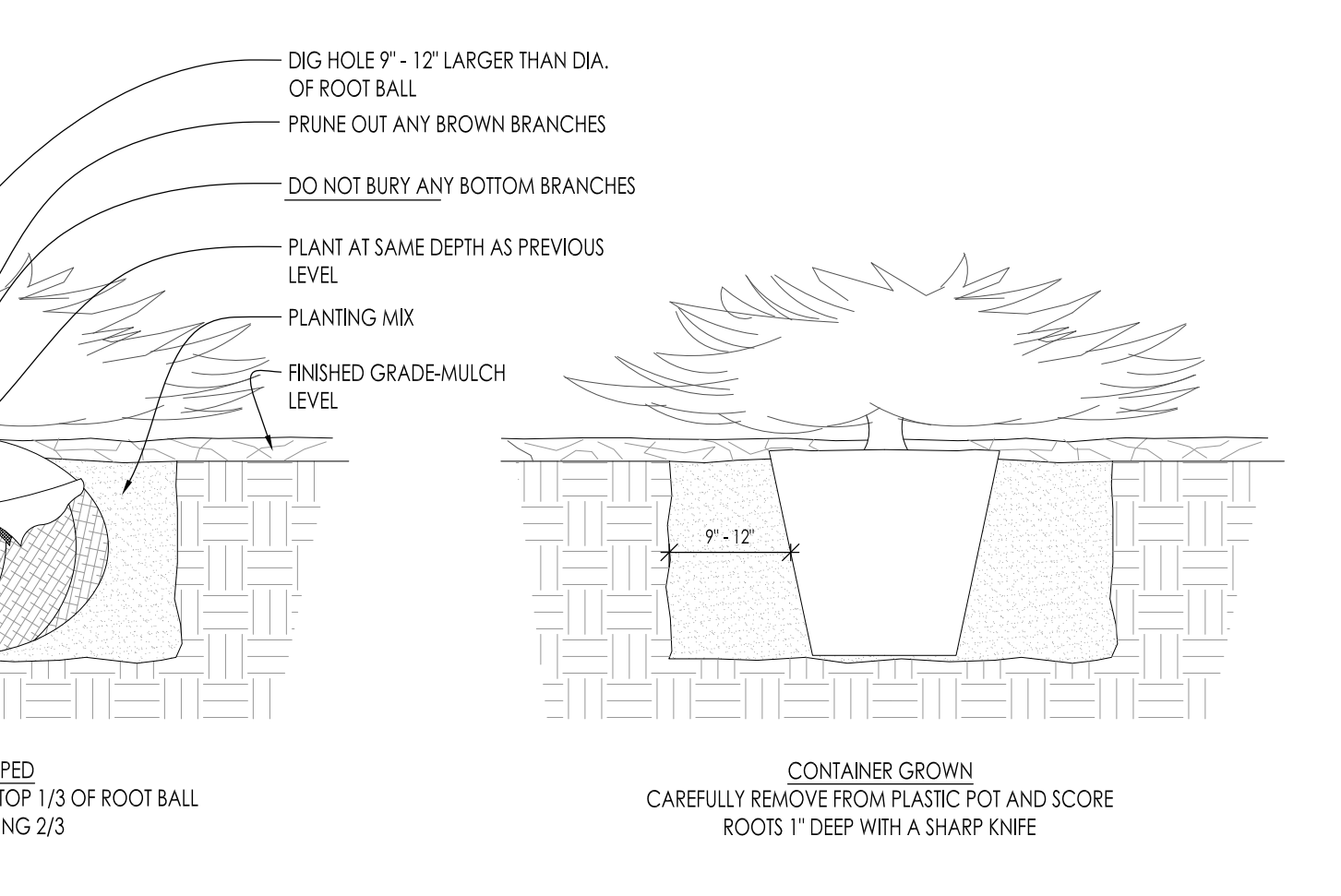
4 EXISTING TREE PROTECTION DETAIL SCALE: NONE



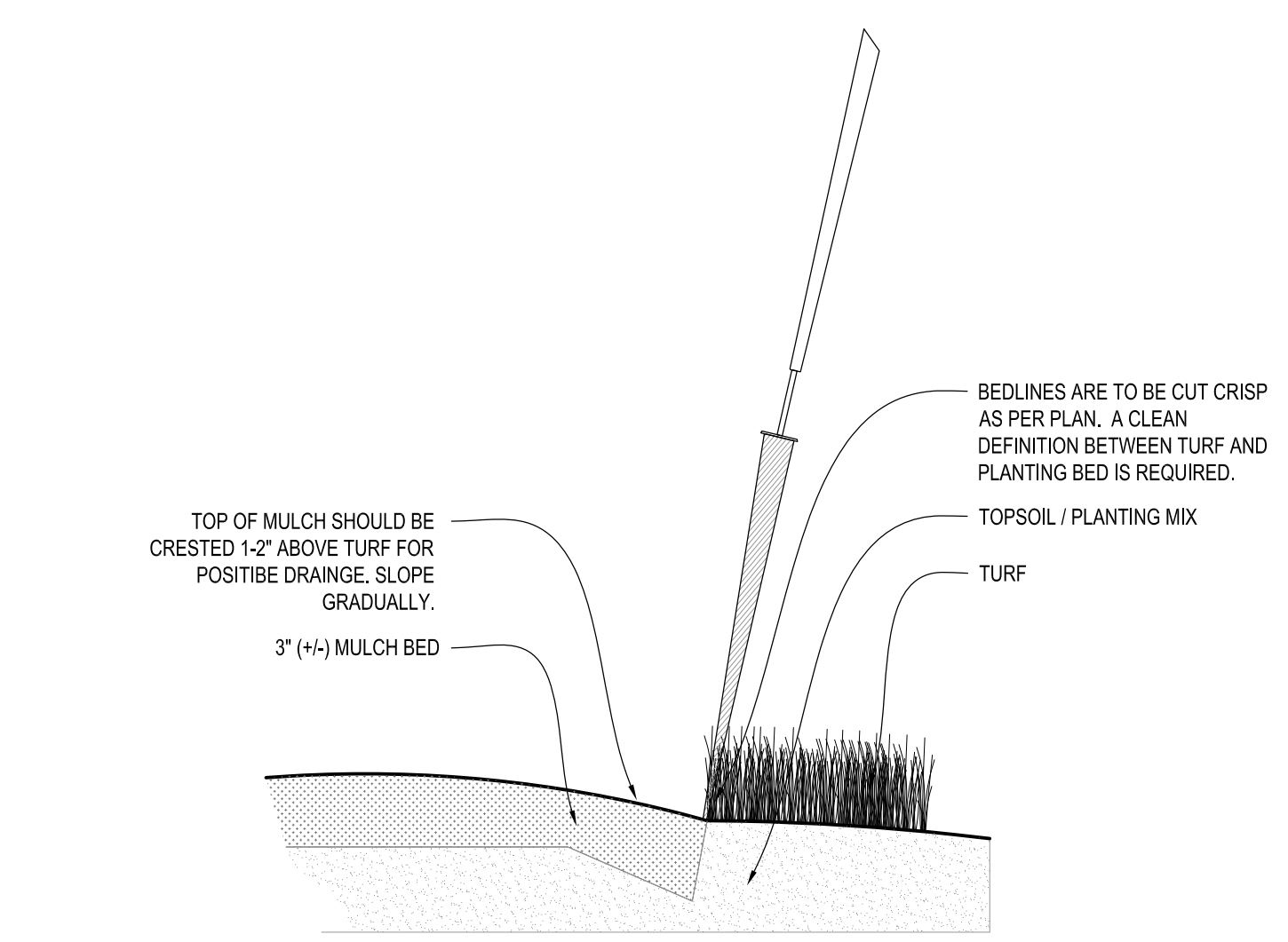
5 DECIDUOUS SHRUB PLANTING DETAIL SCALE: NONE



6 CONIFEROUS SHRUB PLANTING DETAIL SCALE: NONE



7 PERENNIAL BED PLANTING DETAIL SCALE: NONE



8 SPADE EDGE PLANT BED EDGE DETAIL SCALE: NONE

Project:  
**THE SHOPS AT MEADOW RIDGE -FIRST WATCH**  
Meadowcreek Drive & Capitol Drive  
Pewaukee, WI

Issuance and Revisions:

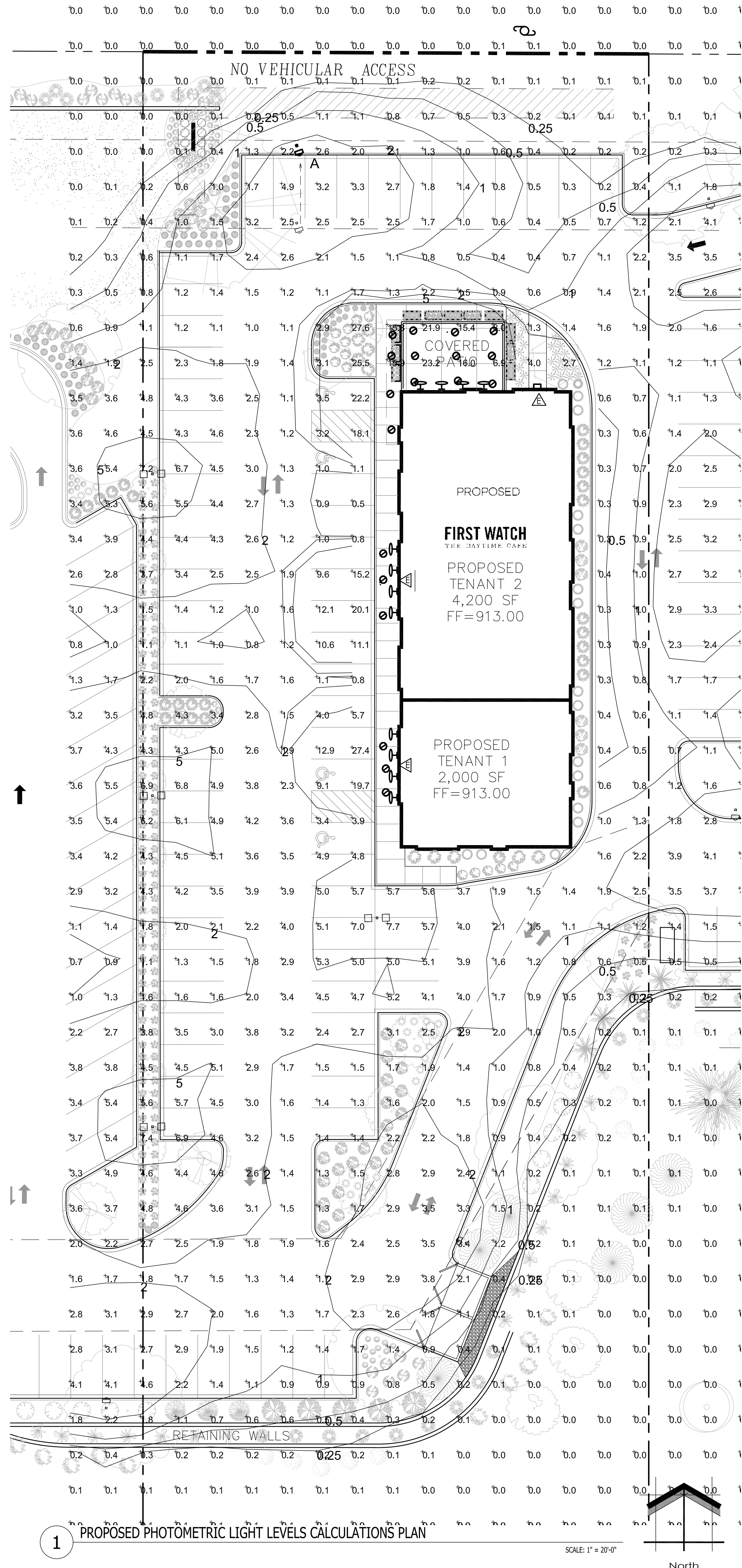
Date	Number	Description
09/20/21		Plan Commission Submittal

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Sheet Title:  
PROPOSED LANDSCAPE PLAN, PLANTING DETAILS  
Date of Drawing: 09/20/21  
Scale: As Noted  
Drawn By: MCD  
Job Number: L21-106  
Sheet Number:

NOT FOR CONSTRUCTION - PRELIMINARY - FOR ESTIMATING AND REVIEW ONLY - DO NOT SCALE THESE DRAWINGS - L21-106 - THE SHOPS AT MEADOW RIDGE - FIRST WATCH - 09/20/2021 These progress documents reflect progress & intent & may be subject to change, including additional notes and detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.





1 PROPOSED PHOTOMETRIC LIGHT LEVELS CALCULATIONS PLAN

SCALE: 1" = 20'-0"

### PARTIAL LUMINAIRE SCHEDULE -

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
A	1	1	EXISTING FIXTURE TO BE RELOCATED) OSQ A xx 3ME A 40K-UL w/OSQ-BLSMF CONFIGURED FROM OSQ A xx 3ME J 40K-UL w/OSQ-BLSMF	CONFIGURED FROM Cree OSQ Series Area Luminaire, Type III Medium w/ Backlight Shield, J Input Power Designator, 4000K	CONFIGURED FROM Twelve type MDA LEDs	OSQ A xx 3ME A 57K-UL w- OSQ-BLSMF_CONF IGURED.ies	Absolute	1.00	112
B	3	3	OSQ A xx 4ME A 40K CONFIGURED FROM OSQ A xx 4ME A 40K	CONFIGURED FROM Cree OSQ Series Area Luminaire, Type IV Medium, A Input Power Designator, 4000K	CONFIGURED FROM Eight type MDA 4000K LEDs	OSQ A xx 4ME A 57K_CONFIGU RED.ies	Absolute	1.00	224
SHOWN FOR REFERENCE									
O	19	19	EVO 30/20 8AR WD LSS	8" EVO 3500K 80CRI 2000LM WIDE DISTRIBUTION, LSS trim finishing	LED	canopy-EVO_30_20_8 AR_WD_LSS.ies	Absolute	1.00	31.6
P	1	1	WST LED P1 30K VF MVOLT	WST LED, Performance package 1, 3000 K, visual comfort forward throw, MVOLT	LED	wall pack- WST_LED_P1_30K_VF_MV OLT.ies	Absolute	1.00	12
G	12	12	AD150-10-NW (4000K) LED UE-MSV LDS96 WL DO	ABOLITE LED ANGLED REFLECTOR 4000K 80CRI 2000LM WIDE AD w/ GOOSENECK	LED	AD150-10-NW -LED-UE-DO.ies	760	1.00	11

### STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	1.7 fc	27.6 fc	0.0 fc	N / A	N / A

### LUMINAIRE NOTES

- ALL NEW POLE MOUNTED FIXTURES ARE EXISTING (HEADS AND TENONS) ARE SHOWN FOR REFERENCE AND ARE ON 20'-0" SQUARE LIGHT POLES W/ SILVER FINISH ON NEW POURED CONCRETE LIGHT POLE BASE FOUNDATIONS AS PART OF PHASE I CONSTRUCTION.
- FIXTURE "A" AND EXISTING NEW POLE MOUNTED FIXTURE (SINGLE HEAD AND TENON) IS TO BE RELOCATED TO POSITION SHOWN. RELOCATE EXISTING 20'-0" SQUARE LIGHT POLE/ SILVER FINISH AND IS TO BE TO BE INSTALLED ON NEW POURED CONCRETE LIGHT POLE BASE FOUNDATION.
- ALL NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL EXPOSED FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.
- ALL PROPOSED AREA / FLOOD FIXTURE HEADS ARE TO HAVE A DIFFUSING REFLECTOR AND TO BE IESNA DARK-SKY COMPLIANT AND TO HAVE FULL CUTOFF HOUSE SIDE SHIELDING HARDWARE WHERE REQUIRED. W/ OPTIONAL PHOTOCCELL CONTROL.
- ALL PROPOSED AREA / FLOOD ARE TO BE INSTALLED WITH RNEMA PHOTOCCELL CONTROL.

ALL BUILDING MOUNTED FIXTURES ARE NOT INCLUDED IN CALCULATIONS. WALL PACKS (FIXTURE A) ARE AT KNOW CURRENT EGRESS LOCATIONS AND ARE SUBJECT TO CHANGE BASED ON INDIVIDUAL BUILDING/TENANT PROGRAMS. THESE FIXTURES WILL BE INCLUDED ONCE BUILDING PROGRAMS AND FLOOR PLANS AND ELEVATIONS ARE DEVELOPED CALCULATED VALUES INCLUDE DIRECT AND INTERREFLECTED COMPONENTS.

THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS ARE CALCULATED VALUES INCLUDE DIRECT AND INTER-REFLECTED COMPONENTS.

THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LED'S AND OTHER MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LED'S AND OTHER VARIABLE FIELD CONDITIONS. CALCULATIONS DO NOT INCLUDE OBSTRUCTIONS SUCH AS BUILDINGS CURBS, LANDSCAPING, OR ANY OTHER ARCHITECTURAL ELEMENTS UNLESS NOTED.

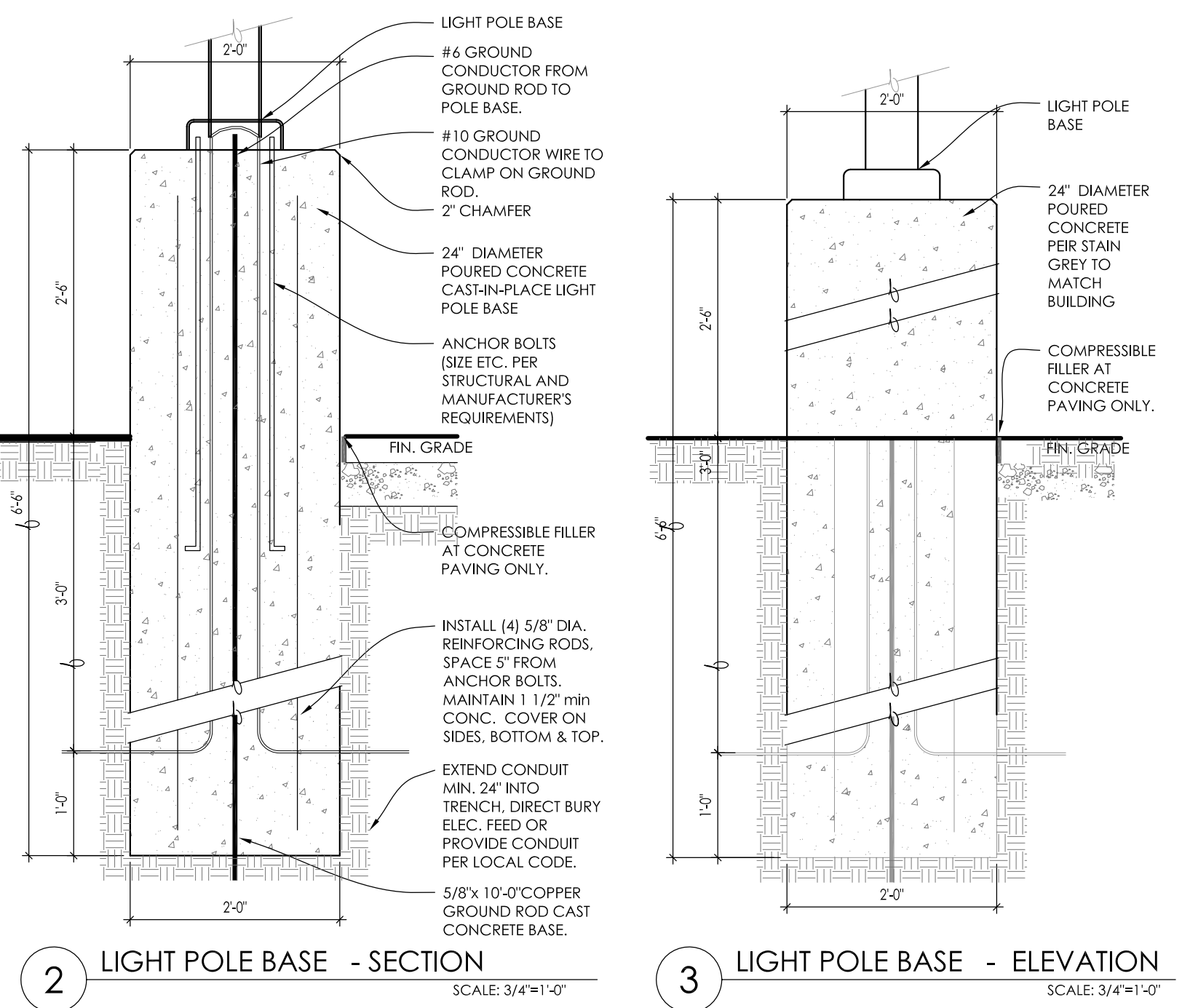
REFER TO PHO1.1 FOR LIGHT POLE BASE SECTION AND DETAIL.

### PHOTOMETRIC GENERAL NOTES:

- BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POLE PLACEMENTS AND LUMINAIRE ORIENTATION. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO RELEVANT FIELD CONDITIONS.
- THE DEPICTED ILLUMINATION RESULTS ARE BASED UPON ILLUMINATION MEASUREMENTS AS CALCULATED BY AN INDEPENDENT LABORATORY. LUMINAIRE CHARACTERISTICAL DATA WAS MEASURED UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH APPROVED ILLUMINATION ENGINEERING SOCIETY METHODS. ACTUAL ON-SITE PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY FROM LABORATORY TEST RESULTS DUE TO VARIATIONS IN: ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
- IF EXISTING LUMINAIRES ARE INCLUDED IN THIS REPORT, THEIR ILLUMINATION CHARACTERISTICS ARE BASED UPON A COMBINATIONS OF CUSTOMER'S PROVIDED SPECIFICATIONS & OUR BEST ESTIMATIONS.
- ALL EXISTING AND NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.

### EXISTING CONDITIONS GENERAL NOTES:

- INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE ARCHITECTURAL DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS, BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.
- VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES I.E. WATER, SEWER, TELECOMMUNICATION AND ACCESS PANELS W/ MECHANICAL AND ELECTRICAL EQUIPMENT FOR ACCESSIBILITY OF MECHANICAL & ELECTRICAL ITEMS.



2 LIGHT POLE BASE - SECTION SCALE: 3/4"=1'-0"

3 LIGHT POLE BASE - ELEVATION SCALE: 3/4"=1'-0"

ALL EXISTING AND NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

## DIGGERS HOT LINE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK (800)242-8511, (262) 432-7910 (877) 500-9592 www.DiggersHotline.com OR

Know what's below. Call before you dig.

# INSITE

LANDSCAPE DESIGN

Landscape Consulting & Master Planning Design Services

11525 W. North Avenue, Suite 1B  
Wauwatosa, WI 53226  
Tel (414) 476-1204  
www.insitedesigninc.com  
mdavis@insitedesigninc.com

Project:

## THE SHOPS AT MEADOW RIDGE -FIRST WATCH

Meadowcreek Drive & Capitol Drive  
Pewaukee, WI

### Issuance and Revisions:

Date	Number	Description
09/20/21		Plan Commission Submittal

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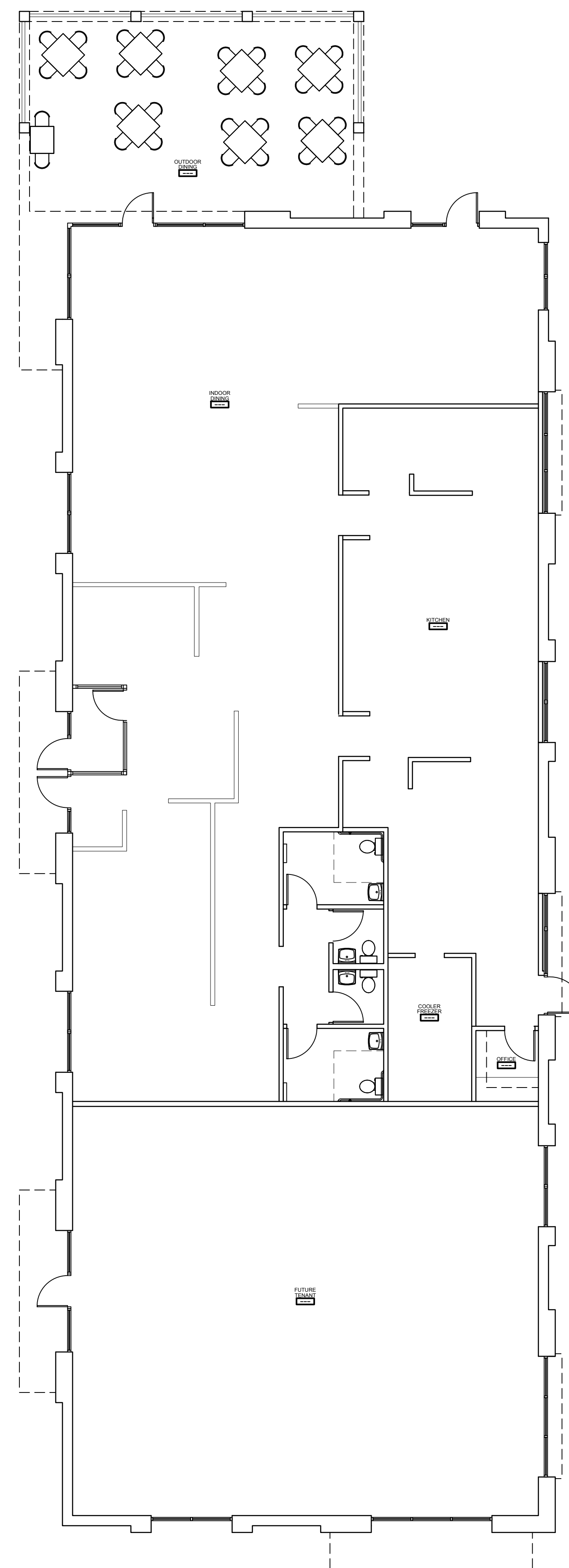
Sheet Title:  
PROPOSED PHOTOMETRIC LIGHT LEVEL CALCULATIONS PLAN, GENERAL NOTES, AND LIGHT FIXTURE TABLE

Date of Drawing: 09/20/21  
Scale: 1" = 20'-0"  
Drawn By: MCD  
Job Number: L21-106  
Sheet Number:

# PHO1.1

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Project Info. — 20053

**SOMERSTONE  
RETAIL**

NEW CONSTRUCTION

CAPITOL DRIVE  
PEWAUKEE, WI

Sheet Title

**PRELIMINARY  
FLOOR PLAN**

Revisions

No.	Date	Description
01	09.21.2021	PC Submittal

NOT FOR CONSTRUCTION

Sheet No.

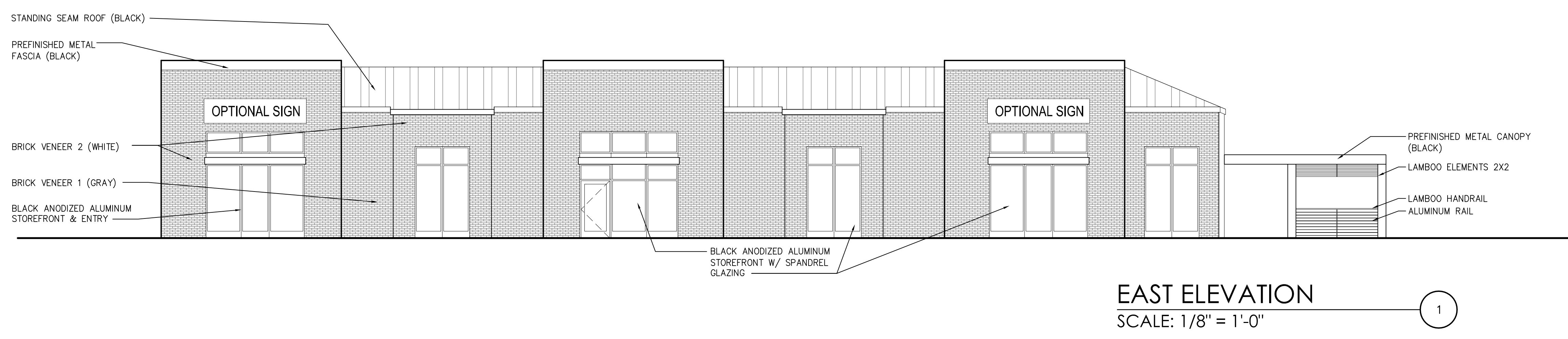
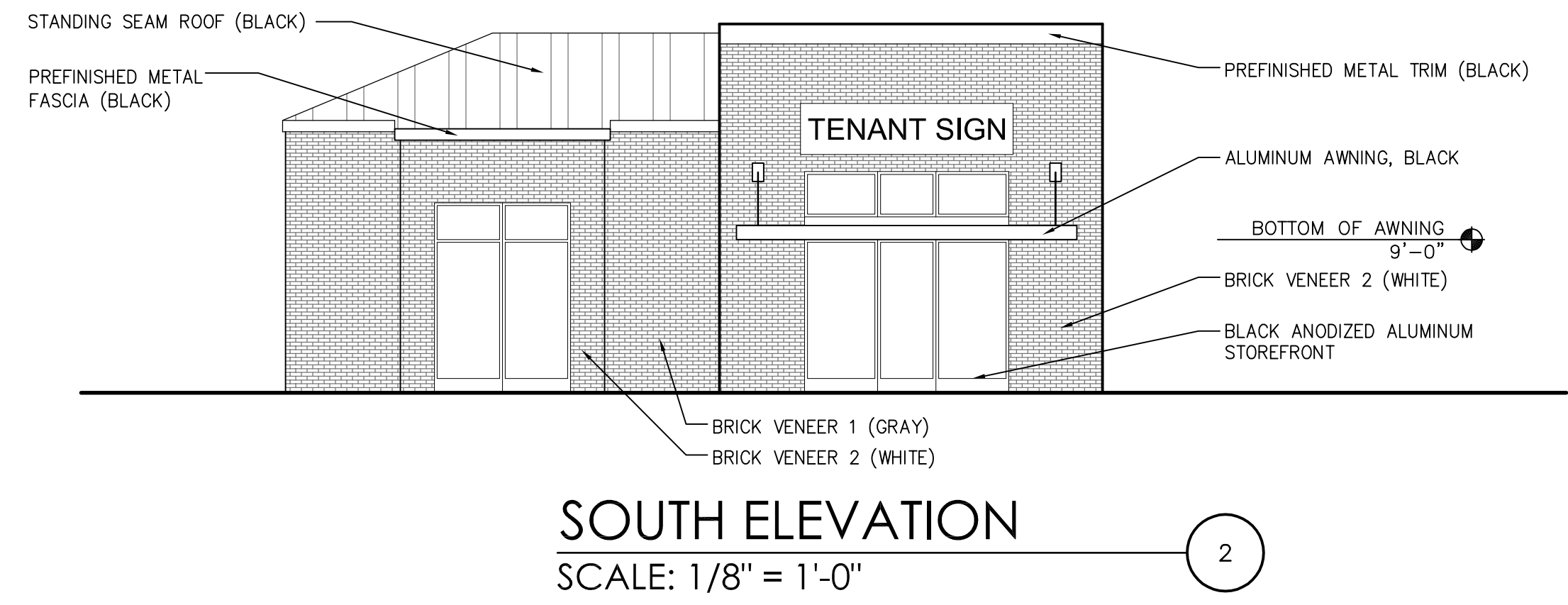
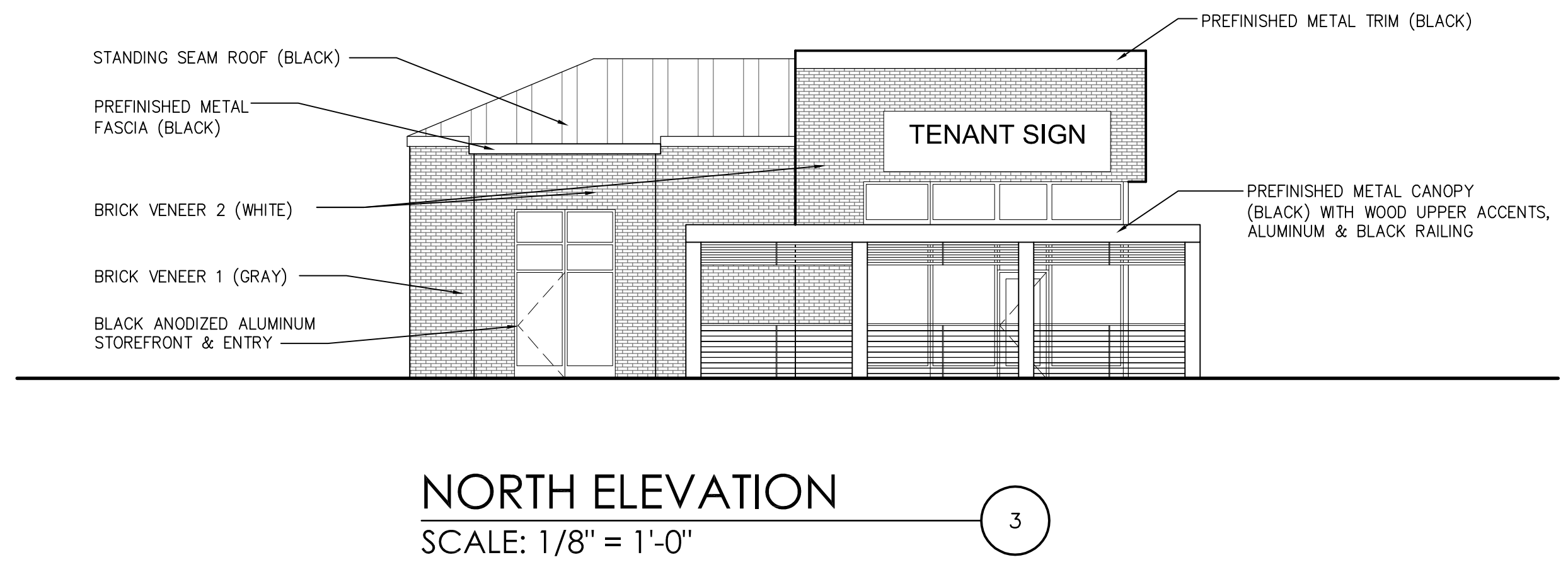
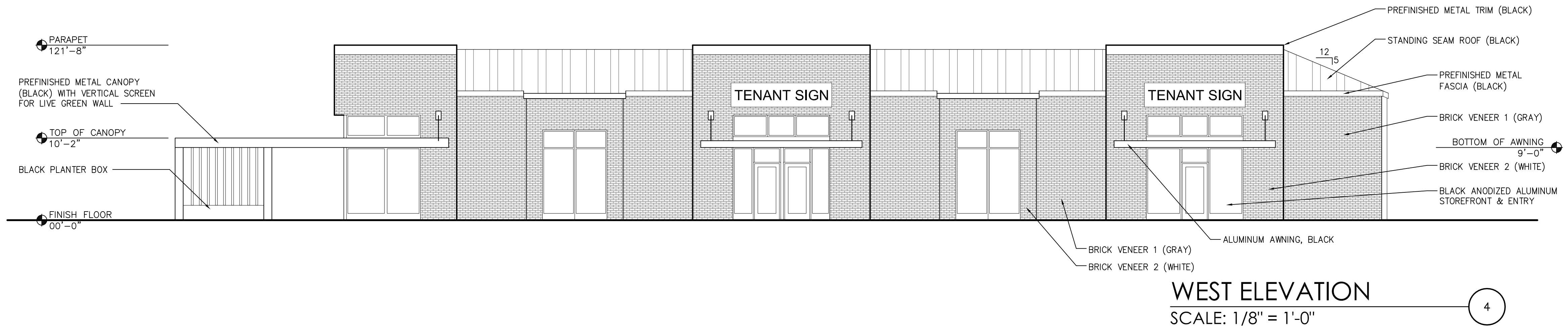
**A1.0**

**FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**PROPOSED FINISHES**

- BRICK 1 (GRAY): COUNTY MATERIALS, HERITAGE BRICK – SMOKEY MOUNTAIN
- BRICK 2 (WHITE): COUNTY MATERIALS, HERITAGE BRICK – WHITE
- PREFINISHED METALS (TRIM, FASCIA, ETC): UNACLAD MATTE BLACK, OR EQUAL
- STANDING SEAM ROOF: FIRESTONE METAL ROOF, UNACLAD MATTE BLACK
- ALUMINUM STOREFRONT: ANODIZED ALUMINUM, BLACK
- GLAZING: LOW-E, GRAY
- WOOD (CANOPY ELEMENT): LAMBOO ELEMENTS, 2X2, HAZEL PREFINISHED
- ALUMINUM RAILING (CANOPY ELEMENT): CLEAR ANODIZED
- ALL SIGNAGE BY OWNER, TO BE REVIEWED AND APPROVED SEPARATELY

**THRIVE ARCHITECTS**  
 Architect  
 259 South Street, Suite A  
 WAUKESHA, WI 53186  
 p: 833-380-6180  
 e: jab@thrive-architects.com



Project Info. — 20053  
**SOMERSTONE RETAIL**  
 NEW CONSTRUCTION  
 CAPITOL DRIVE  
 PEWAUKEE, WI

Sheet Title  
**EXTERIOR ELEVATIONS**

Revisions

No.	Date	Description
09.21.2021		PC Submittal

NOT FOR CONSTRUCTION

Sheet No.  
**A3.0**

# Somerstone Retail

## Lot 3

The Shops at Meadow Ridge

Exterior Material Examples

9.21.2021



County Materials, Heritage Collection  
Brick Veneer



Smokey Mountain (A)  
Brick 1



\* White (C)  
Brick 2

Prefinished  
Metals/ Roof  
Una Clad



Matte Black

Wood Elements  
Lamboo



HAZEL  
PRE-FINISHED

Storefront/  
Canopy / Awning



Railing



Tables and Chairs – Exterior  
(no umbrella or stand)



Aluminum Base and Top



RP-015

ALUMINUM / ALUMINUM

# Exterior Infrared Heaters

Example of Existing Location



## MW2 SERIES

RE-VERBER-RAY<sup>®</sup>  
by Detroit Radiant Products Company

*Designer Series*

### MEDIUM-WAVE ELECTRIC INFRARED HEATER

Effectively heats the surrounding space while subtly illuminating the area

The MW2 Series is a medium wattage, commercial grade electric heater offering. Coiled Nichrome elements that produce medium-wave infrared heat energy with a soft visible orange glow. A great choice for romantic restaurants, outdoor patios and applications where light is not needed. Heaters are equipped with a specially designed reflector for optimal radiant heat output. Optional wall mounting brackets allow adjustment of the heating direction.



BENEFITS OF HEATING WITH ELECTRIC INFRARED	
• Superior Comfort	• Even Heat Distribution
• Reduced Energy Consumption	• Outdoor Tested & Approved
• Durability	• Long Lamp Life Expectancy



## Village of Pewaukee Plan Commission Submittal

### CONDITIONAL USE APPLICATION – RESTAURANT/NIGHT CLUB

business location Information	
Restaurant/Night Club Name	First Watch- The Daytime Cafe
Restaurant/Night Club Address	The Shops at Meadow Ridge

Applicant contact Information	
Name	Vinnie Busalacchi
Address	W223 N3589 Ridgeside Ct. Pewaukee, WI 53072
Phone	(414) 550-4488
Fax	—
E-mail	baconandeggs505@gmail.com

Provide a general description of the restaurant/night club business plan of operations.

Breakfast, Brunch, Lunch restaurant. Open 7am-2:30pm  
7 days a week. Full service, sit down restaurant.

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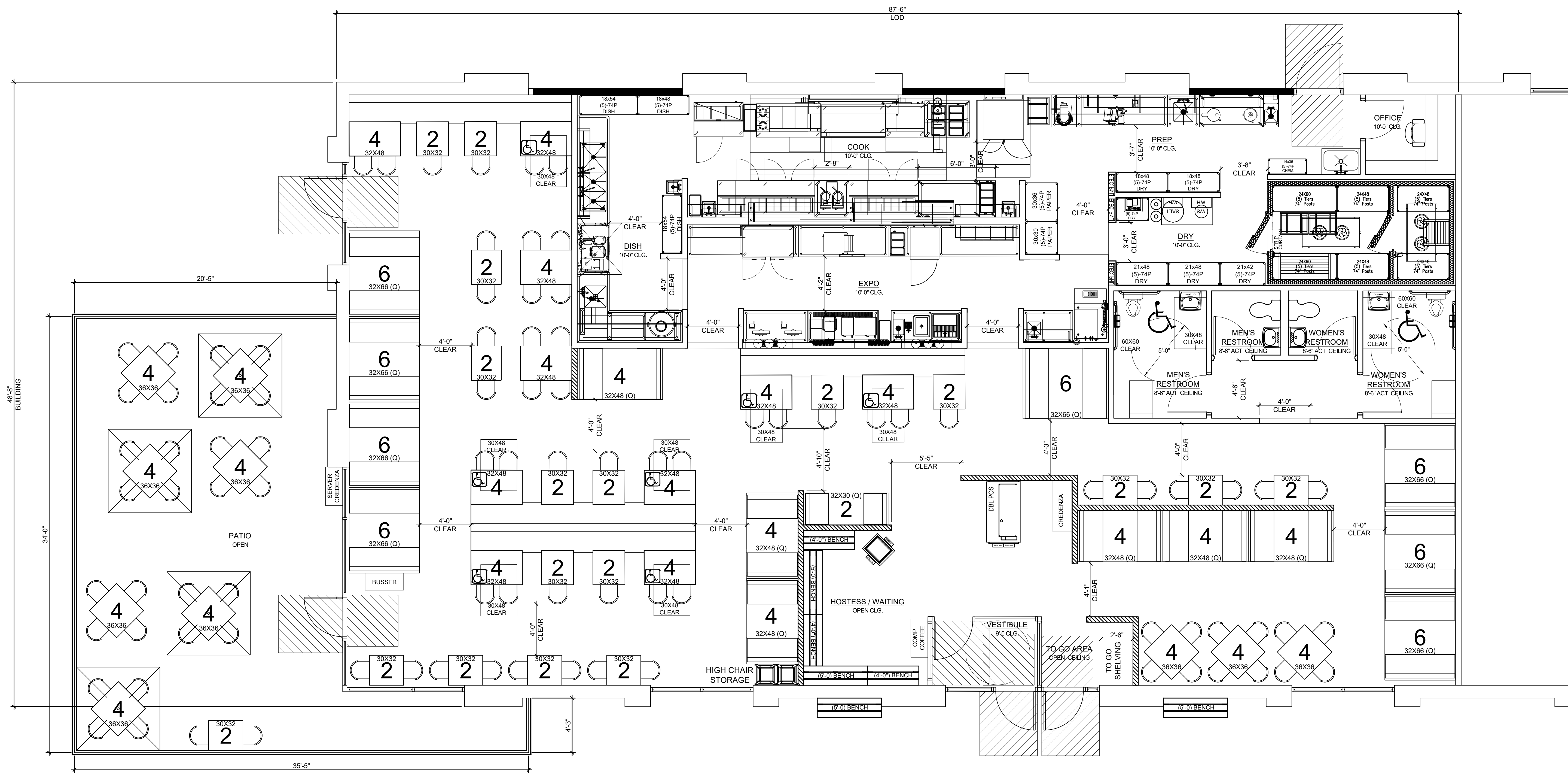
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requested information	
Proposed days/hours of operation:	7am - 2:30pm Monday - Sunday
Proposed entertainment <sup>1</sup>	<input checked="" type="checkbox"/> none <input type="checkbox"/> yes, describe:
Indoor seating area size/capacity	4200 square feet, 35 tables, 160 seats
Bar area size/capacity	— square feet, / tables, / seats
Outdoor seating area size/capacity <sup>2</sup>	500 square feet, 8 tables, 30 seats
Drive-up or walk-up window service <sup>3</sup>	<input checked="" type="checkbox"/> none <input type="checkbox"/> yes, describe:
Carry-out sales	% of total sales
Alcohol sales	/ % of total sales
Employment	40 total employees, 35 full-time, 5 part-time
Number of employees on largest shift	22 employees
Time of Largest Shift	<input checked="" type="checkbox"/> breakfast <input type="checkbox"/> lunch <input type="checkbox"/> dinner <input type="checkbox"/> late (after 7 pm) <input type="checkbox"/> other _____
General Menu Description	Fresh made to order breakfast + lunch items.

## ATTACHMENTS

The application must include a plan (drawn to scale) indicating the locations of the kitchen and serving areas, indoor and outdoor dining areas, drive-up or walk-up service windows, and other features of the proposed restaurant.

- 
- 1 Indicate whether the restaurant will feature any live or other entertainment, describe whether there will be a stage, dance floor, games, etc. Indicate location on the required plan.
  - 2 Indicate the location and arrangement of the outdoor seating area on the required plan. Enough information should be provided to determine the relationship of the outdoor seating area to landscaping, parking, and other features, and to determine the distance to property lines.
  - 3 Indicate the location and access provided to any walk-up or drive-up service areas on the required plan.



**NOTE:**  
 ALL SQUARE FOOTAGE CALCULATIONS AND  
 FIXTURE PLACEMENT ARE APPROXIMATE.  
 ARCHITECT TO COORDINATE WITH FIELD  
 VERIFIED DIMENSIONS PRIOR TO  
 CONSTRUCTION.

WAIT SEAT TABULATION		
INTERIOR ONLY	ACTUAL	
	UNITS	SEATS
CLASSIC 4' BENCH (2 SEATS EA.)	3	6
CLASSIC 5' BENCH (3 SEATS EA.)	2	6
CHAIR W/ ARMS (1 SEAT EA.)	X	X
CHAIR W/O ARMS (1 SEAT EA.)	X	X
LOVE SEAT (3 SEATS EA.)	X	X
<b>TOTAL:</b>	<b>5</b>	<b>12</b>

INTERIOR TABLE TABULATION				
	ACTUAL		FIRST WATCH BRAND MIN.	
	TABLE	SEATS	TABLE	SEATS
2-TOPS	18	36	8	16
28x32	X	X		
30x32	18	36		
4-TOPS	19	76	18	72
6-TOPS	8	48	6	36
8-TOPS	X	X		
COUNTER SERVICE	X	X		
<b>TOTAL:</b>	<b>35</b>	<b>160</b>	<b>32</b>	<b>124</b>

EXTERIOR TABLE TABULATION				
	ACTUAL		RANGE	
	TABLE	SEATS	TABLE	SEATS
<b>TOTAL:</b>	<b>8</b>	<b>30</b>		

MISCELLANEOUS ITEMS			
	YES	NO	SQFT. OF SHELVES
DOUBLE DISH MACHINE	X		
WALK-IN SIZE: 8'-0"x14'-6"	X		115 sqft

SQUARE FOOT TABULATION		
	ACTUAL	RANGE
LEASEABLE SF	4,188 SF	3,400-3,800 SF
DINING	2,268 SF	
KITCHEN/OFFICE	1,292 SF	1,200-1,300 SF
RESTROOM	279 SF	275-300 SF
HOST	254 SF	235-250 SF
VESTIBULE	51 SF	
TO-GO	44 SF	
PATIO	765 SF	

REVISION	DATE

**PEWAUKEE, WI**  
TEST FIT LAYOUT

**FIRST WATCH**  
BREAKFAST • BRUNCH • LUNCHEON

DR: RGS	DRAWN: RGS
CHECKED: DF	DECOR: FW
DATE: 9.11.21	STORE NUMBER: TBD
SCALE: 1/4" = 1'-0"	

## STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: October 14, 2021

### General Information:

**Agenda Item:** 6.d.

**Applicant:**

Wellspring Construction in c/o Tim Knepprath

**Property Owner:**

230 Sussex Street LLC

**Requested Action:**

Review, discussion and consultative feedback add the use “mini-warehousing” to the list of conditional uses that can be considered for approval in the B-5 Zoning District in order to make that use available to themselves for possible development on lands they own in the Village.

**Current Zoning:**

B-5 Light Industrial District

**Current Master Plan Classification:**

Industrial-Business park

**Surrounding Zoning/Land Use:**

North: Vacant (Floodplain & Environmental Conservancy)  
South: R-5 Single-Family Detached Residential  
East: B-5 Light Industrial District  
West: Residential use with Land Use designation of Single Family Residential and zoning of B-5 Light Industrial District.

**Project Area:**

N/A

**Property Location:**

227 Sussex Street

---

### Discussion:

The applicant seeks feedback from the Commission on the prospect of adding the use “mini-warehousing” to the list of conditional uses that can be considered for approval in the B-5 Zoning District in order to make that use available to themselves for possible development on lands they own at 227 Sussex Street.

The Village does have “Warehousing as a principal use” listed among the uses that can be considered for approval through conditional use grant in the B-5 Light Industrial Zoning District.

The Zoning Code provides this definition for “*Warehouse* means a building used primarily for the storage of business generated goods and materials and/or as a distribution center.”

The Zoning Code provides this definition for “*Warehouse, mini (or residential storage facility)*, means a building or portion thereof designed or rented primarily for storage.”

“*Warehouse, mini (or residential storage facility)*” is not listed anywhere in the Village Code as either a permitted use, accessory use or conditional use. It has always been the Planners interpretation that this definition was provided as a means to ensure that “*Warehouse, mini (or residential storage facility)*” would not be mistakenly interpreted as included under the “Warehouse” use.

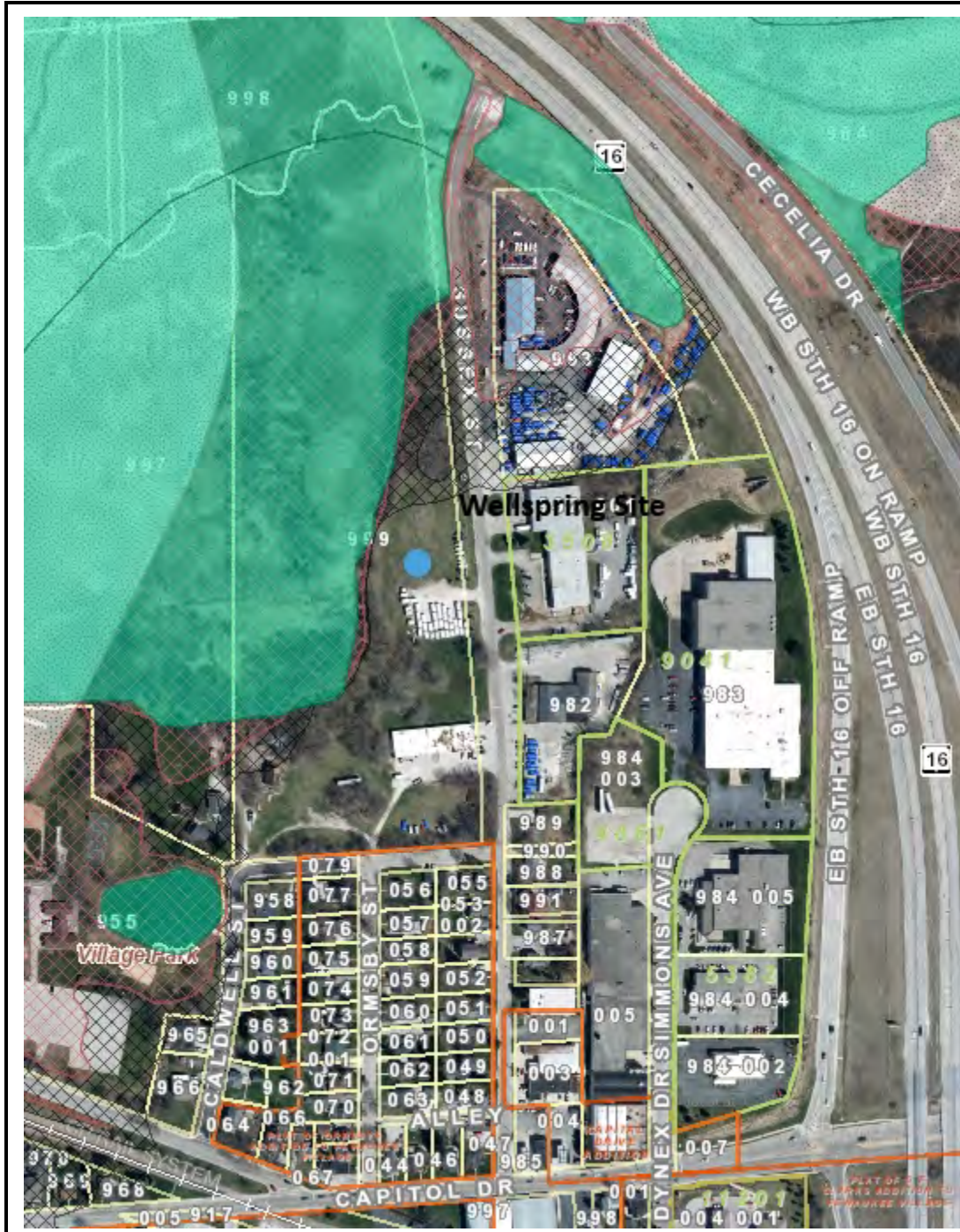
The Village does provide, at 14.316(9) of the Code, that “In recognition that Pewaukee is a lake community, boat and boat accessory sales, service, repair and storage shall be a conditional use” in the B-5 District.

Outside of limited few approvals for boat storage buildings/uses in the Village, the Planner has never heard support for general purpose mini-warehousing as a use to be included in the Zoning Code.

The applicant has given certain soil data in support of this request which they suggest identifies their Sussex Street site as site is *uniquely* limited to developing lighter-weight type construction in the buildings, and limited foundation load demands in the uses. The Village Engineer, in cursory review of the data, suggests that uses other than just mini-warehousing can also be lighter-weight in their materials/design and in the foundation load demands. He notes that there are examples within the Village where foundation/footing design accommodations have had to be made to facilitate building over poorer soils. Further, he noted that without wide-ranging soil borings data, it’s difficult to predict how many other locations throughout the B-5 District may share these same soil characteristics.

**Recommendation:**

As this is only a consultation, the Planner makes no recommendation at this time.



### Legend

- DNR Wetlands < .
- DNR Wetlands > .
- FEMA Floodplain**
  - 0.2% Chance Flood
  - 1% Chance Flood
  - 1% Chance Flood
  - AE, Floodway
- Municipal Boundaries
- FacilitySites\_2K\_L**
- Lots\_2K**
  - Lot
  - Unit
  - General Common
  - Outlot
- SimultaneousCon**
  - Assessor Plat
  - CSM
  - Condominium
  - Subdivision
- Cartoline\_2K**
  - <all other values>
  - EA-Easement\_Line
  - PL-DA
  - PL-Extended\_Tie\_
  - PL-Meander\_Line
  - PL-Note
  - PL-Tie
  - PL-Tie\_Line
- Road Centerlines\_**
- Railroad\_2K**
- TaxParcel\_2K
- Waterbodies\_2K\_**
- Waterlines\_2K\_La**

0 376.90 Feet

### Notes:

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.





PROJECT INFORMATION

**WELLENSTEIN & SONS**

227 Sussex Street  
Pewaukee, WI

ISSUANCE AND REVISIONS

Issued for  
Review

REVISIONS

#	Description	Date

SHEET INFORMATION

OWNERSHIP AND USE OF DOCUMENTS

The drawings, specifications and other documents furnished by the Design/Builder are instruments of service and shall not become the property of the Owner whether or not the Project for which they are made is commenced. Drawings, specifications and other documents furnished by the Design/Builder shall not be used by the Owner on other projects, for additions to this project or for completion to use, liability and compensation. Submission or distribution of documents to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of the Design/Builder's or the Architect's common law copyrights or other reserved rights. The Owner shall own neither the documents nor the copyrights.

PROJECT NUMBER	19-169
DATE	08/31/2021
DRAWN BY	TK

Site Plan

**SP100**



SITE PLAN  
1" = 40'-0"

**PARCEL #1**  
LOT SIZE: 1.53 ACRES  
BUILDING SIZE: 10,256 SF  
PARKING: 13 SPACES

**PARCEL #2**  
LOT SIZE: 5.58 ACRES  
BUILD-ABLE: 3.3 ACRES  
BUILDING SIZE: 33,600 SF  
PARKING: N/A

**PARCEL #3**  
LOT SIZE: 8.34 ACRES  
BUILD-ABLE: 2.2 ACRES  
BUILDING SIZE: TBD SF  
PARKING: TBD SPACES

PROJECT INFORMATION

**WELLENSTEIN & SONS**  
227 Sussex Street  
Pewaukee, WI

ISSUANCE AND REVISIONS

Issued for Review

REVISIONS

#	Description	Date

SHEET INFORMATION

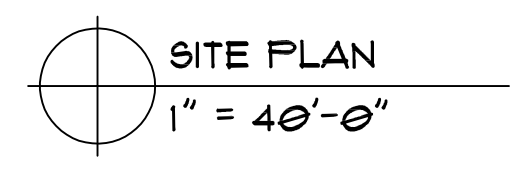
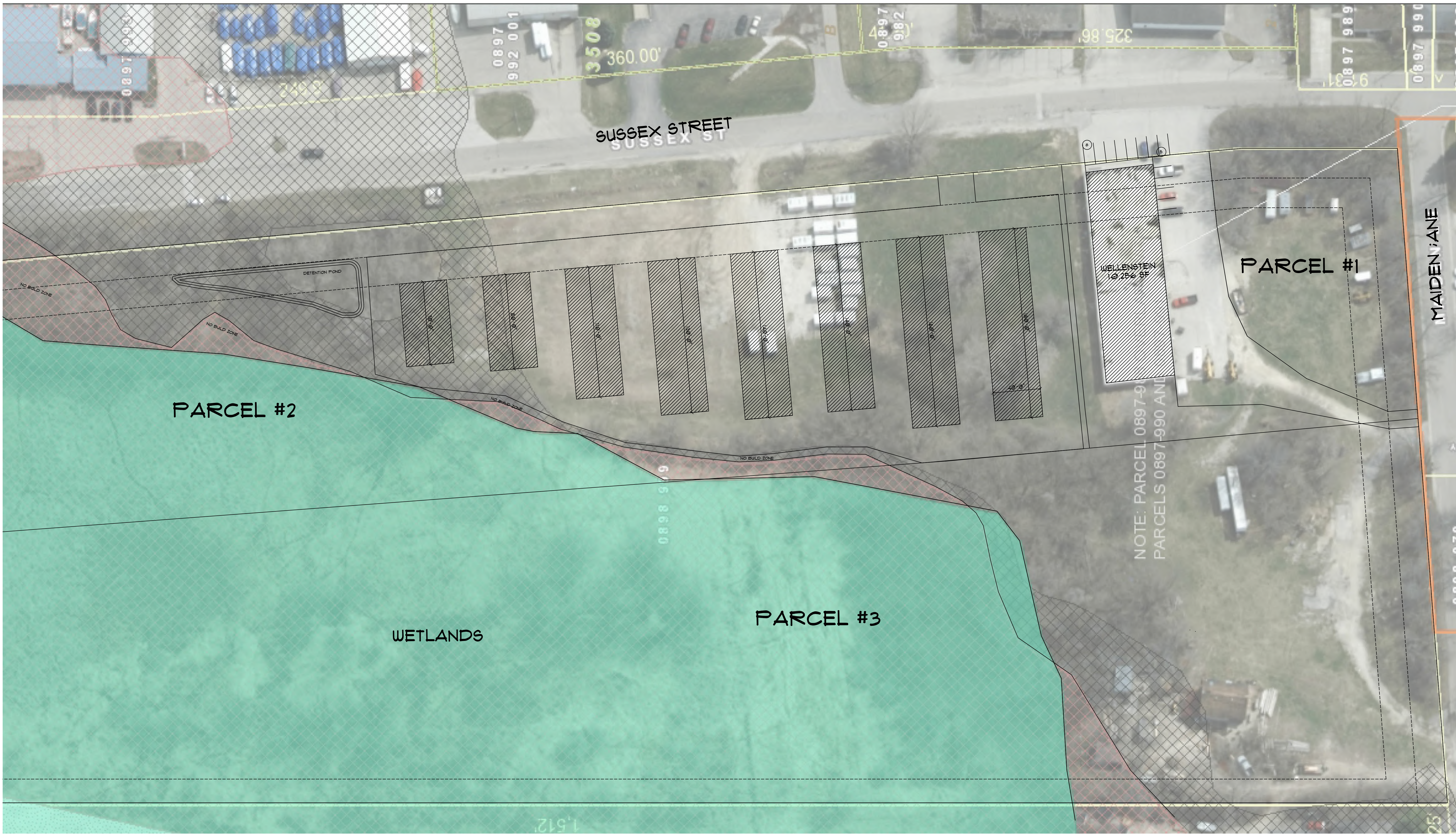
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PROJECT NUMBER	19-169
DATE	08/31/2021
DRAWN BY	TK

Site Plan - Overlay

**SP100**



**PARCEL #1**  
LOT SIZE: 1.53 ACRES  
BUILDING SIZE: 10,256 SF  
PARKING: 13 SPACES

**PARCEL #2**  
LOT SIZE: 5.58 ACRES  
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PARKING: N/A

**PARCEL #3**  
LOT SIZE: 8.34 ACRES  
BUILD-ABLE: 2.2 ACRES  
BUILDING SIZE: TBD SF  
PARKING: TBD SPACES

NOTE: PARCEL 0897-91  
PARCELS 0897-990 AND



## STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: October 14, 2021

### **General Information:**

**Agenda Item:** 6.e.

**Applicant:**

Bell Tower Memorial, in c/o Cheri Enters

**Property Owner:**

Village of Pewaukee

**Requested Action:**

Approval of the building, site and operating plans for the proposed accessory use “veterans memorial tower/bell with related walking paths, seating/reflection area, lighting, landscaping, and shelter”.

**Current Zoning:**

P-1 Park & Recreation

**Current Master Plan Classification:**

Park/Open Space

**Surrounding Zoning/Land Use:**

North: Village parkland - pond

South: R-5 Single-Family Residential

East: R-5 Single-Family Residential

West: Village parkland

**Project Area:**

Portion of existing 21.34 acre Kiwanis Village Park site

**Property Location:**

325 Capitol Drive.

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### **Discussion:**

The applicant requests building, site and operating plans approval for the proposed accessory use “veterans memorial tower/bell with related walking paths, seating/reflection area, lighting, landscaping, and shelter”. The Planning Commission did review and give generally favorable feedback to the applicant in this matter at the September 9, 2021 meeting. This use is passive in character and is considered by the Planner to fit in as an accessory use under the P-1 Park & Recreation zoning – i.e. accessory to the existing principal use of park and recreation.

Tower height is thought to be ~30’ conceptually. Up-lighting is being considered by the applicant with an understanding that any ground mounted fixtures and light sources must be screened from the surrounding view by appropriate landscaping.

More detailed plans for the actual tower structure and bell, shelter, and site layout are provided for review/consideration at this time. The applicant indicates that the bell will ring, and that it will have a detachable tool used to reach up to ring it - so it will only ring during planned ceremonies.

**Recommendation:**

The Planner raises no particular objections to this plan provided the following conditions are considered for attachment to any approval that may be given:

- 1) Approval of the improvement plans and any required agreement(s) for use/access to the park land by the Village Board and the joint Park and Recreation Board including as regards long term care and maintenance of the physical improvements to be placed;
- 2) The bell must not be accessible/able to be rung except intentionally, and only by people approved by the joint Park and Recreation Board;
- 3) Village Staff review and approval of the proposed lighting for this use prior to start of any construction/development of the use.



**PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Pewaukee Code of Ordinances, the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

I, the undersigned, have been advised that, pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.

The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.

**RESPONSIBLE PARTY & MAILING ADDRESS**

Bell Tower Memorial  
Name of Company and/or Individual

PO Box 681                      Pewaukee                      WI                      53072  
Street                                      City                                      State                                      Zip

262-  
Phone: 691-1463 Fax: -                      E-Mail: JJERMILLER@aol.com

Jan Miller 9/23/21  
Signature of Applicant & Date

\_\_\_\_\_  
Signature of Property Owner & Date

\_\_\_\_\_  
Village Official Accepting Form

SEND ALL PROFESSIONAL SERVICES INVOICES TO:  
(Check One)

Property Owner

Applicant



**Business Site Plan  
Application Form**

Address/Parcel No. of Property Involved: \_\_\_\_\_

Zoning of Property: \_\_\_\_\_

Current Owner of Property: \_\_\_\_\_

Applicant – Name: Bell Tower Memorial  
Address: PO Box 681 Pewaukee WI 53072  
Phone: 262-691-1463  
Fax: -  
Email: JJERMILLER@aol.com

Name of Business that Corresponds to Site Plan: Bell Tower Memorial

Summary of Request (New Construction, Addition, Modification, etc.):

Build a Veterans Memorial at Kirwanis/Village Park

Provide detailed information with your application that addresses the following:

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate the suitability of architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, drainage, exterior lighting, control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & general compatibility of the proposed use with the area in which it is located.

2. It is the responsibility of the applicant/owner to ensure that the proposed project meets the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted Land Use Plan.

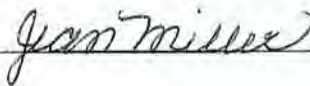
3. Signage shall be determined through a sign permit process and/or a sign plan approved by the Plan Commission. Permits for individual signs may be applied for with the Village's Code Compliance Officer.

Signature of Property Owner as listed on this Application:

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**Application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Site Plan Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.**

Signature of Applicant (if different than Owner):

  
\_\_\_\_\_

Please return Completed Application Forms along with **11 copies** of all attachments (**as well as a digital copy**) you wish to have considered by the Plan Commission as part of your application to Pewaukee Village Hall, 235 Hickory Street, Pewaukee, WI 53072. If you have any questions, please call Village Hall at (262) 691-5660.



# Bell Tower Memorial

September 23, 2021

Village of Pewaukee  
Plan Commission members  
235 Hickory Street  
Pewaukee, WI 53072

Dear Commission members:

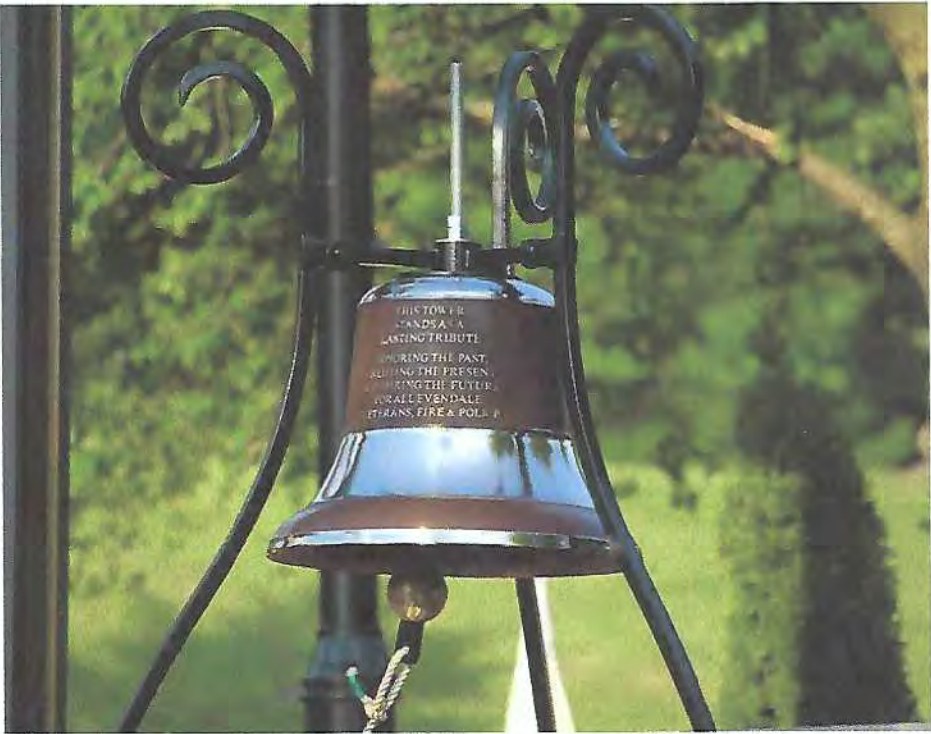
Attached are additional documents for the Bell Tower Memorial agenda item at your meeting on Thursday, October 14, 2021. These documents include the Site Plan Application Form, Professional Reimbursement Notice, a photo of other bell towers being considered, similar memorial appearance photo, and a picture of the bricks that will be ordered for this project.

We look forward to your review of these items and will answer any questions or concerns you might have when we meet on October 14.

Thank you for considering this project to be built in the Kiwanis Village Park.

*Cheri R. Enters, Administrator  
Leadership Committee  
C: 262-844-5440*

*Cc: Douglas Swanson, President  
Board of Directors  
Jean Miller, Secretary/Treasurer*







IN HONOR OF  
JEANIE MILLER  
ENTERS FAMILY

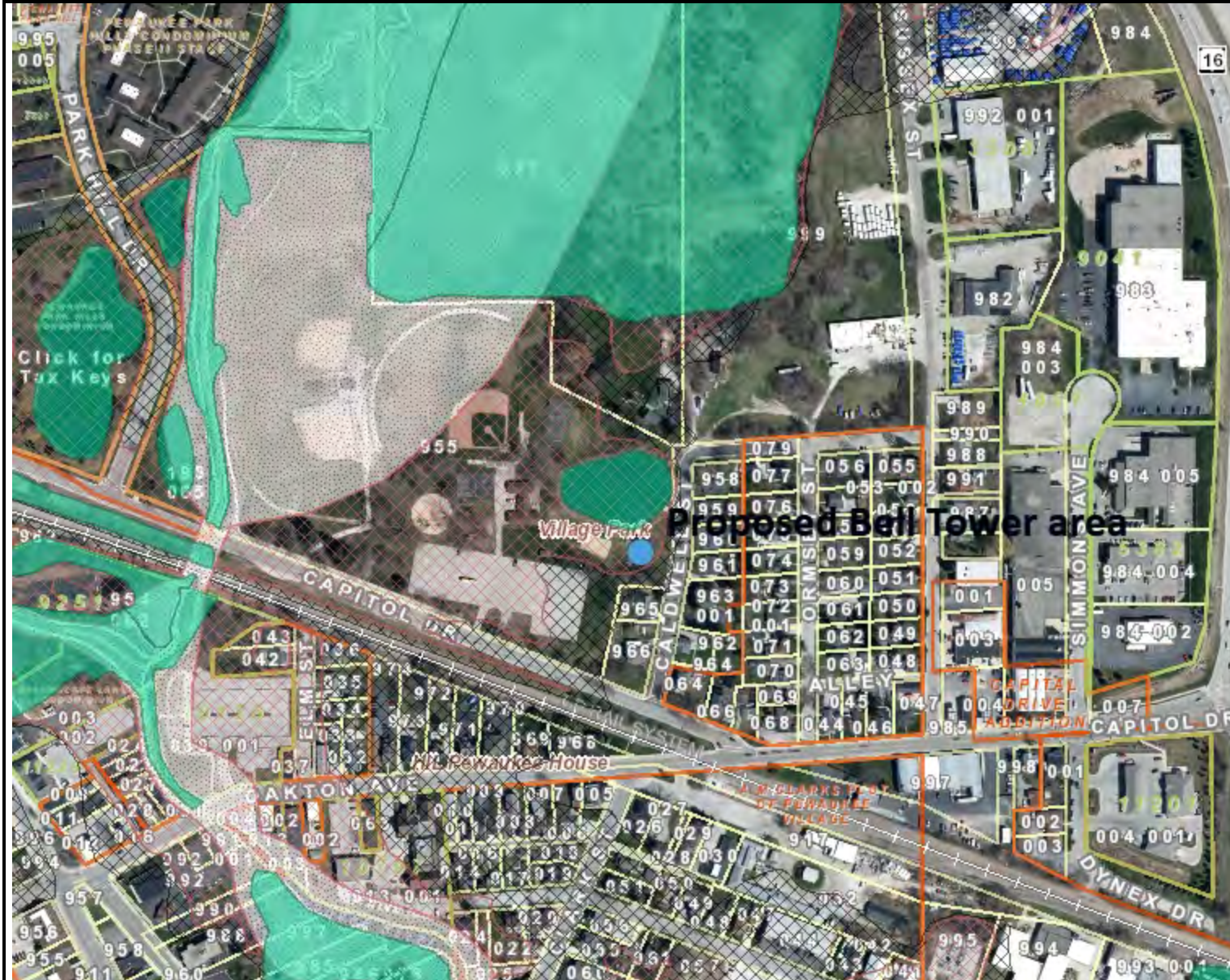
ROLAND PERSCHON  
80TH BIRTHDAY  
6/22/2008

IN HONOR OF  
MAJOR JOSEPH H. SHOLTIS  
1911 - 1996  
U.S. ARMY  
LOVE AND MEMORIES

SO LONG AS THERE ARE  
VETERANS, THE BENEVOLENT AND  
PROTECTIVE ORDER OF ELKS  
WILL NEVER FORGET THEM.  
WAUKESHA LODGE OF ELKS #400

IN HONOR OF  
WILLIAM RICHARD MEYER  
LAWRENCE HERBERT MEYER  
THE DAN MEYER FAMILY  
THANKS YOU

IN LOVING MEMORY OF  
GLENN H. LINDEMANN  
01-31-16 TO 07-25-77  
US ARMY SIGNAL CORPS  
WWII ICELAND ETO  
HUSBAND, FATHER, GRANDFATHER



**Legend**

- DNR Wetlands < .25 Acre
- DNR Wetlands > .25 Acre
- FEMA Floodplain**
  - 0.2% Chance Flood
  - 1% Chance Flood (Zone A)
  - 1% Chance Flood Area (Zone AE, Floodway)
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0 376.90 Feet

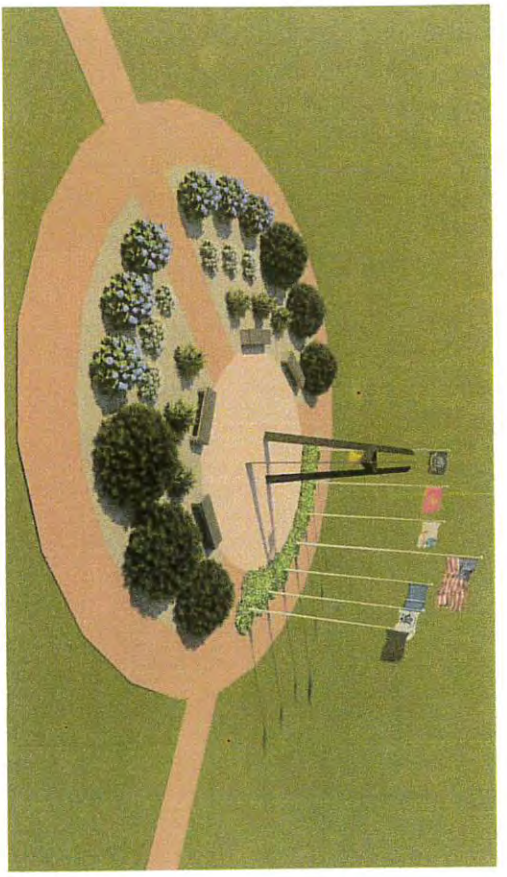
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**Notes:**

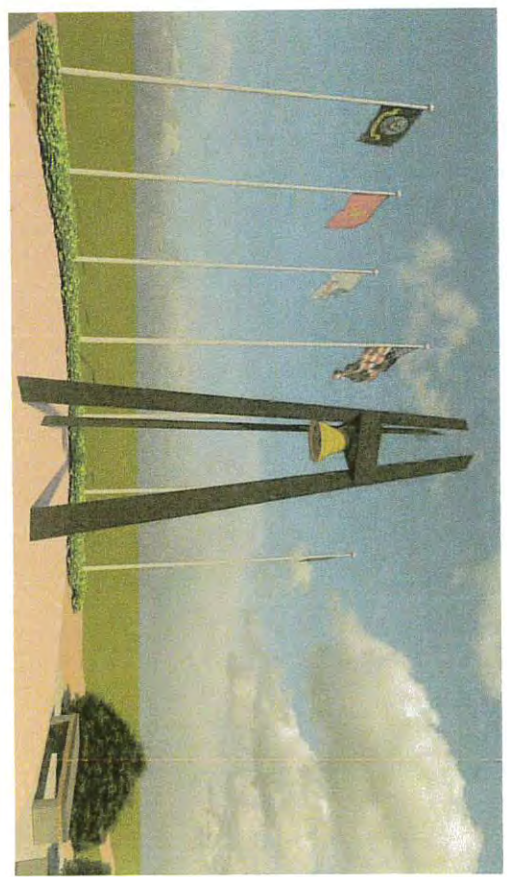
Printed: 9/3/2021



10/5/2021 Bell Tower Memorial updated proposal for memorial in Kiwanis Village Park



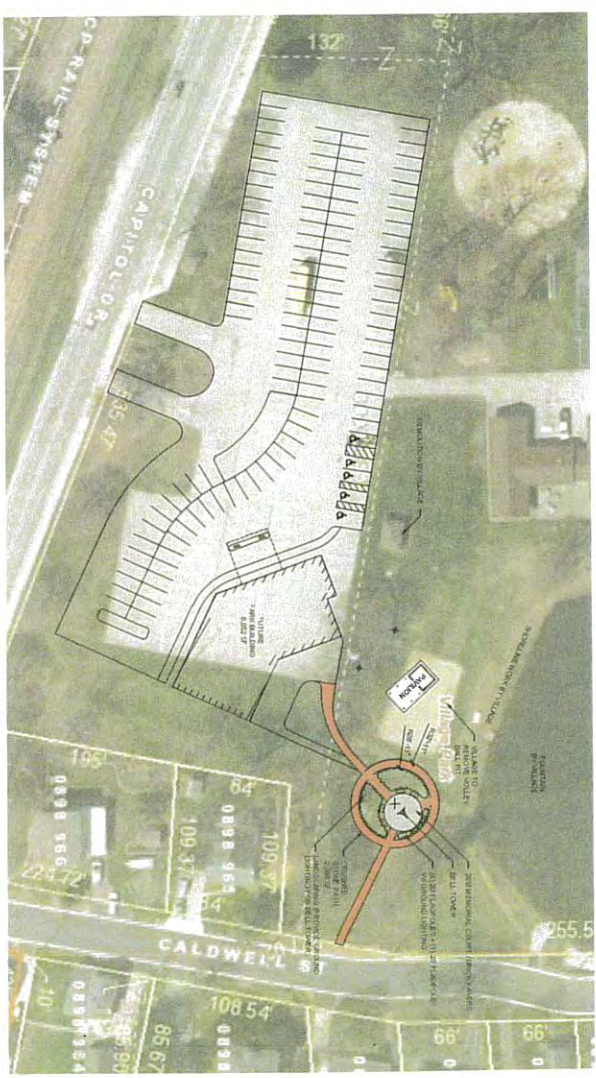
01 BIRDS EYE RENDERING  
NOT TO SCALE



02 BELL TOWER RENDERING  
NOT TO SCALE



03 CONTEXT RENDERING  
NOT TO SCALE



04 SITE PLAN  
1" = 40'

DATE: 2/18/18  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
DATE: 8/7/2021  
PROJECT: BELL TOWER MEMORIAL  
SHEET: 1 OF 1

**BELL TOWER MEMORIAL FLAG COURT**  
KIWANIS VILLAGE PARK  
325 CAPITOL DRIVE, PEWAUKEE, WISCONSIN



