



PLAN COMMISSION AGENDA

December 9, 2021 – 7:00 pm

Village Hall
235 Hickory Street, Pewaukee, WI 53072

1. Call to Order and Roll Call
2. Public Hearings.
 - a. Request for Conditional Use Grant approval to construct a multi-family building/use (i.e. a duplex) at 203 E. Wisconsin Avenue. The property owners/applicants are Joanne Koehler and Dwight Zoellner. The property is zoned B-2 Downtown Business District.
3. Citizen Comments – *This is an opportunity for citizens to share their opinions with Board Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Board is not able to answer questions or respond to your comments. All comments should be directed to the Board. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*
4. Approval of the Minutes:
 - a. Regular Plan Commission Meeting – November 11, 2021
5. Old Business. – None.
6. New Business.
 - a. Review, discussion and possible action on the Conditional Use Grant request to construct a multi-family building/use (i.e. a duplex) at 203 E. Wisconsin Avenue. The property owners/applicants are Joanne Koehler and Dwight Zoellner. The property is zoned B-2 Downtown Business District.
 - b. Review, discussion and consultative feedback to the applicant, Wellspring Construction Group LLC (in/c/o Tim Kneppath), on a potential Planned Unit Development (“PUD”) plan including a “mini warehousing” use in the B-5 Zoning District. The prospective development project would encompass the presently vacant lands located immediately north and west of, and adjacent to, the existing uses/building located at 227 Sussex Street. The property is Zoned B-5 Light Industrial.
7. Citizen Comments. – *This is an opportunity for citizens to share their opinions with Board Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Board is not able to answer questions or respond to your comments. All comments should be directed to the Board. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*
8. Adjournment

Note: It is possible that members and/or possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; action will not be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in the notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. To request such assistance, contact the Village Clerk at 262-691-5660.

Dated: December 3, 2021



PLAN COMMISSION MEETING MINUTES

November 11, 2021 – 7:00 pm

DRAFT-DRAFT- DRAFT-DRAFT- DRAFT-DRAFT- DRAFT-DRAFT-

1. Call to Order and Roll Call

President Knutson called the meeting to order at approximately 7:00 p.m.

Plan Commission members present: Comm. Jim Grabowski, Comm. Cheryl Mantz, Trustee Craig Roberts, and President Jeff Knutson.

Comm. Ryan Lange, Comm. Brian Belt, Comm. Theresa Hoff were excused.

Also present: Village Planner Mary Censky, Village Attorney Matt Gralinski, Village Administrator Scott Gosse, and Village Clerk, Cassie Smith.

2. Public Hearings.

a. Conditional Use Grant request to replace the existing detached garage at 485 Park Avenue with an attached garage addition to the principal residence that will result in a 2.1-foot offset from the east/north lot line and a 15-foot setback from the front lot line where a 10-foot offset and 35-foot setback would otherwise be required by Code. The property owner is John and Toni Culhane. The applicant is Bryan Ward of Renovations Group, Inc. The property is zoned R-5(LO) Single-Family Residential District with Lakefront Overlay. Brian Ward @530 Hartbrook Dr, Hartland - Mr. Ward stated his current garage is not compliant with the current Village code and he is looking to put up a new garage improving the front setback while maintaining the current side offset as it is now.

Chris Tollefsen @ 491 Park Ave - Mr. Tollefsen stated he went through this same process in the past and suggested that maybe there needs to be a look into the setback code.

Mike Schieble @ 481 Park Ave - Mr. Schieble stated he agrees with Mr. Tollefsen and the garage needs improvement. He is in full approval of this request.

b. Conditional Use Grant request to operate an indoor shooting range, offer firearms training/education and conduct firearms-related accessory retail sales in the existing B-5 Light Industrial zoned building/site located at 1228 Hickory Street. The applicant is Megan Eaton d/b/a Fletcher Arms Lake Country. The property owner is FR Goff Real Estate LLC. None.

c. Conditional Use Grant Amendment request to increase, from 26 to 29, the permitted number of parking stalls in their recently approved metered, at grade, private parking lot located at 104 and 120 W. Wisconsin Avenue. The applicant is Interstate Parking Company in c/o Erica Vaillancourt. The Property owner is North Shore Bank, FSB. The property is zoned B-2 Downtown Business District.

None.

3. Citizen Comments –

Jeff Knutson - 759 Glacier Rd - Mr. Knutson thanked everyone for the cards and for reaching out during his hospital stay. He also thanked the Commission for stepping up during his absence.

4. Approval of the Minutes:

a. Regular Plan Commission Meeting – October 14, 2021

**Comm. Grabowski motioned, seconded by Trustee Roberts to approve the minutes of the October 14, 2021 Regular Plan Commission meeting as Presented.
Motion carried 3-0-1, with President Knutson abstaining.**

5. Old Business

a. Review, discussion and possible action/recommendation to the Village Board regarding the Village of Pewaukee Comprehensive Plan update in progress. There may also be discussion regarding its relationship(s)/connectivity to the recently completed Village of Pewaukee Strategic Plan Update. There may also be an action to recommend a date for a public hearing to be held for public review and comment as to the proposed redraft.

Planner Censky stated that she is looking for the Commission to read through the Comprehensive Plan and bring up anything that they feel needs to be addressed for additions, deletions, or modifications. Censky responded to Grabowski that the majority of changes were in the Land Use Chapter. Censky stated that some graphs are outdated and due to the County not updating their data as of yet these will remain until that process has been completed. Discussions regarding a list of items from Trustee Roberts and Comm. Mantz were discussed regarding various pages in the document. The consensus of the Commission was to allow Planner Censky to update the document and present it at the December meeting with a plan to hold a public hearing in January.

6. New Business.

a. Review, discussion and possible action on the Conditional Use Grant request to replace the existing detached garage at 485 Park Avenue with an attached garage addition to the principal residence that will result in a 2.1 foot offset from the east/north lot line and a 15 foot setback from the front lot line where a 10 foot offset and 35 foot setback would otherwise be required by Code. The property owner is John and Toni Culhane. The applicant is Bryan Ward of Renovations Group, Inc. The property is zoned R-5(LO) Single-Family Residential District with Lakefront Overlay.

Planner Censky stated that this is a legal non-conforming lot where the newly proposed garage would not meet the offsets required by the current zoning code. Open space requirements have been met. The applicant responded to President Knutson stating this would be a new garage, not a total renovation.

Comm. Grabowski motioned, seconded by Comm. Mantz to Approve the Conditional Use Grant request to replace the existing detached garage at 485 Park Avenue with an attached garage addition to the principal residence that will result in a 2.1 foot offset from the east/north lot line and a 15 foot setback from the front lot line where a 10 foot offset and 35 foot setback would otherwise be required by Code with the Following Recommendations:

1. Applicant to comply with any extra-ordinary building design/materials requirements as may be required by the Building Inspections Department in their review for Building Permit, owing to the limited separation between this proposed new addition and the neighboring residence to the east.
2. Applicant to provide, for Village Staff review and approval prior to building permit issuance, survey evidence of the actual building separation between the proposed addition and the existing residence to the east.
3. Applicant to provide, for Village Staff review and approval prior to building permit issuance, survey evidence that with the addition in place, and considering the removal of the old garage, this site is either compliant with the 30% minimum open space requirement and maximum 30% building footprint area (or no more nonconforming than existing conditions) on the lot.
4. Village Engineer review and approval of a grading/drainage plan for the site as will ensure that the proposed addition will not adversely impact surrounding properties in terms of stormwater flow/management given the narrow distance to the lot line.
5. Issuance of a building permit prior to starting of any work toward constructing the proposed garage addition.
6. Recording of the Conditional Use Grant prior to issuance of a building permit for the new house with attached garage.

Motion carried 4-0.

b. Review, discussion, and possible action on the Conditional Use Grant request to operate an indoor shooting range, offer firearms training/education, and conduct firearms-related accessory retail sales in the existing B-5 Light Industrial zoned building/site located at 1228 Hickory Street. The applicant is Megan Eaton d/b/a Fletcher Arms Lake Country. The property owner is FR Goff Real Estate LLC.

Planner Censky stated that this proposal is a change of ownership to the existing indoor shooting range. The existing shooting range is proposed to be open to the public and offers educational training. Operating hours would be Monday 12pm-8pm, Tuesday - Friday 10am-8pm, and Saturday and Sunday 10am - 4pm. Applicant Ms. Eaton confirmed that no alcohol would be served but sales for firearms and supplies would be included.

Trustee Roberts motioned, seconded by Comm. Grabowski to Approve the Conditional Use Grant request to operate an indoor shooting range, offer firearms training/education, and conduct firearms-related accessory retail sales in the existing B-5 Light Industrial zoned building/site located at 1228 Hickory Street as Presented.

Motion carried 4-0.

c. Review, discussion and possible action on the Conditional Use Grant Amendment request to increase, from 26 to 29, the permitted number of parking stalls in their recently approved metered, at grade, private parking lot located at 104 and 120 W. Wisconsin Avenue. The applicant is Interstate Parking Company in c/o Erica Vaillancourt. The Property owner is North Shore Bank, FSB. The property is zoned B-2 Downtown Business District.

Planner Censky stated that this private paid parking lot was approved with 26 private stalls and once the applicant had the parking lot re-paved and re-stripped three additional stalls were striped. Discussion regarding where the additional stalls are located and if they are compliant.

Comm. Grabowski motioned, seconded by Comm. Mantz to Approve the Conditional Use Grant Amendment request to increase, from 26 to 29, the permitted number of parking stalls in their recently approved metered, at grade, private parking lot located at 104 and 120 W. Wisconsin Avenue with the following recommendations:

1. Applicant to provide, for Planning Commission consideration and possible approval prior to action on this request, the dimensions (l x w) of the proposed 29 stalls and the drive-aisle widths within the site;
2. All the terms and Conditional Use Grant as originally approved shall remain in full force and effect except as specifically modified by this amendment.

Motion carried 4-0.

d. Site Plan amendment approval to install zero offset, 8-foot tall, decorative security fencing along a portion of the backyard lot line at the Beachscape condominium development located at 145 W. Wisconsin Avenue. The applicant/property owner is Beachscape Pewaukee LLC in c/o Member Joe Grasch. The 1.16-acre site is zoned B-2 Downtown Business District with a Conditional Use Grant.

Planner Censky stated that this request is to construct an 8' decorative security fence to eliminate pedestrians from passing through their private residential property. The applicant would need to garner approval from the adjoining neighbors.

Trustee Roberts motioned, seconded by Comm. Grabowski to Approve the installation of a zero offset, 8-foot tall, decorative security fencing along a portion of the backyard lot line at the Beachscape condominium development located at 145 W. Wisconsin Avenue with the following recommendations:

1. Applicant to provide Village Staff, for the permanent file record attendant to this site, a copy of the signed/written consent of the adjoining property owner to the north as to the zero-foot offset of this fence along their common lot line.
2. The above referenced written consent document must be reviewed and approved as to form and content by the Village Attorney prior to acceptance by the Village Staff and a permit to install the fence may not be issued until the consent has been made a part of the permanent record as to this property.

Motion carried 4-0.

e. Review, discussion and possible recommendation to the Village Board of the exterior

architectural intentions for the homes to be built in the Glen at Pewaukee Lake subdivision development located at/near 449 W. Wisconsin Avenue. John Wahlen of Cornerstone Development (d/b/a The Glen at Pewaukee Lake) in c/o Alan Peters of True Vine Development. The ~14-acre site is zoned R-5 Single-Family Residential District with Residential Infill-Redevelopment (RIR) Overlay District.

Planner Censky stated that this property is within the infill overlay district which is subject to review of the exterior house plan details with a possible recommendation to the Village Board for their approval. The applicant stated that most houses are 2 bedrooms with some models having 3 bedrooms and the color pallet is mostly greys, teupes, and blues. They have started the infrastructure and are looking to start selling the properties in the summer.

Trustee Roberts motioned, seconded by Comm. Grabowski to approve the recommendation to the Village Board of the exterior architectural intentions for the homes to be built in the Glen at Pewaukee Lake subdivision development located at/near 449 W. Wisconsin Avenue as presented with the following recommendation:

1. The applicant is aware that the requirements for ... minimum home size (i.e. 1,100 minimum total sq.ft. with minimum 900 sq.ft. on the first floor), minimum open space ratio (25%), and maximum building coverage ratio (35%) remain applicable to all lots.

Motion carried 4-0.

f. Review, discussion and possible recommendation to the Village Board on the Village Staff initiated request to rezone the property located at 234 Oakton Avenue from existing IPS Institutional & Public Service District to B-2 Downtown Business District.

Planner Censky stated that items 6f and 6g are a result of a zoning map error. It seems that the properties 234 Oakton and 235 Hickory were flipped around. The zoning for 234 Oakton should be labeled as B-2 Downtown Business District and 235 Hickory should be IPS Institutional & Public Service.

Comm. Mantz motioned, seconded by Comm. Grabowski to approve the recommendation to the Village Board on the Village Staff initiated request to rezone the property located at 234 Oakton Avenue from existing IPS Institutional & Public Service District to B-2 Downtown Business District as presented.

Motion carried 4-0.

g. Review, discussion and possible recommendation to the Village Board on the Village Staff initiated request to rezone the property located at 235 Hickory Street from existing B-2 Downtown Business District to IPS Institutional & Public Service District.

Trustee Roberts motioned, seconded by Comm. Grabowski to approve the recommendation to the Village Board on the Village Staff initiated request to rezone the property located at 235 Hickory Street from existing B-2 Downtown Business District to IPS Institutional & Public Service District as presented.

Motion carried 4-0.

7. Citizen Comments - None.

8. Adjournment

Trustee Roberts motioned, seconded by Comm. Mantz to adjourn the November 11, 2021, Regular Plan Commission meeting at approximately 8:05 p.m.

Motion carried by roll call vote 4-0.

Sincerely,

**Casandra Smith
Village Clerk**

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: December 9, 2021

General Information:

Agenda Item: **6.a.**

Applicant/Property Owner:

Joanne Koehler and Dwight Zoellner

Requested Action:

Recommendation to Village Board for approval of Conditional Use Grant to develop a duplex on B-2 Downtown Business District zoned site.

Existing Zoning:

B-2 Downtown Business District

Surrounding Zoning/Land Use:

North: Pewaukee River & R-5 Single-Family Residential District
South: Institutional & Public Service District
East: B-2 Downtown Business District
West: R-5 Single-Family Residential District

Existing Master Plan Classification:

Single-Family Residential

Proposed Master Plan Classification:

Community Commercial

Location:

203 E. Wisconsin Avenue

Lot Size:

.3081 +/- acres

Discussion:

Conditional Uses listed in the B-2 Downtown Business district include “Multi-family residential development subject to approval not only by the Planning Commission, but also by the Village Board upon finding that the proposed development will not be detrimental to the surrounding area and/or generate adverse impacts upon the public health, safety and welfare”.

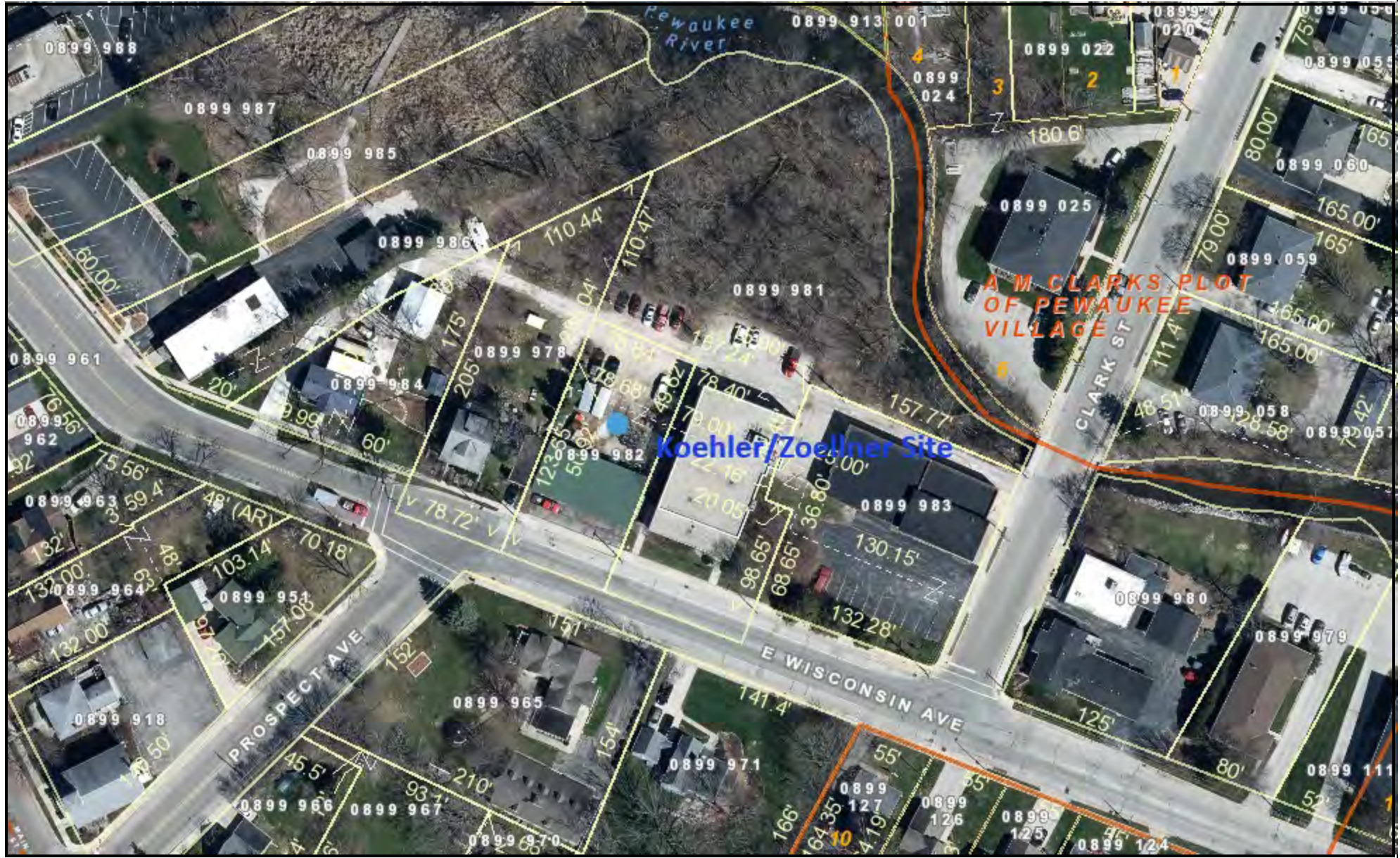
Back in September, 2020, The applicant received generally favorable feedback from the Planning Commission on the idea of possible plex type residential redevelopment of this site given its limitations (such as street access, slope,...) for other, more typical commercial type uses permitted in the B-2 District.

The plan presented provides two-dwelling units, side-by-side in a 3-story building. Each unit faces E. Wisconsin Avenue with a sidewalk from front door to sidewalk. The garage units in in the lowest level and accessible only via an easement/accessway that enters from Clark Street and runs in behind this property. The building has a two-story appearance from the front.

Recommendation:

The Planner has no specific objection to this plan as presented but encourages the Planning Commission and Village Board consider attaching the following conditions to any approval as may be granted:

- 1) Prior to recording of the Conditional Use Grant, the applicant must provide to Village Staff the calculations confirming the minimum open space standard of 5% is met within the developed lot;
- 2) Prior to recording of the Conditional Use Grant, the applicant must provide evidence, satisfactory to the Village Attorney, that enduring access for a duplex use on this lot with two double-stall-garages entering from the rear of the site is indeed available to this site;
- 3) The applicant to secure an amendment to the Comprehensive Plan Land Use Plan Map Element changing the category of Land Use for this site from existing Single-Family Residential to proposed General Commercial prior to issuance of a building permit for the new duplex.



0 94.22 Feet



The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Notes: 203 E. Wisconsin Avenue

Printed: 12/2/2021



Village of Pewaukee Plan Commission
Engineer's Report for December 9, 2021

Koehler/Zoellner Duplex
203 E. Wisconsin Avenue

Report

General comments related to the proposed development:

- Existing grades are shown on the site plan; however, no proposed grades and contours are shown. The current drainage pattern is from the front to the rear. The rear exposure make use of the drop in elevation from front to back.
- The new building provides room for drainage along the sides of the building as compared to the current building which appears to take up the close to the entire lot width.
- Based on the current building and impervious surface on the lot, no stormwater management will be required. I would recommend that the impervious area to the rear of the building that is not needed for vehicle maneuvering to get into the lower level garage, be removed and replaced with topsoil and seed to allow some runoff infiltration.
- If the intent of the owner is to provide separate sewer and water laterals to each unit, the work should be performed prior to the E. Wisconsin Avenue reconstruction project scheduled for spring/summer of 2022.
- The Plan of Operation indicates 3 parking stalls for customers; whereas, only two (2) have been shown on the site plan.

Recommendation

Should the Plan Commission move this request forward, any action should be conditioned on the following:

The submittal of a site grading and drainage plan and subsequent Village Engineer approval of the plan prior to receiving a building permit.

Completion of all underground work (sewer, water, electric, gas, etc.) that may affect E.

Wisconsin Avenue prior to May 1, 2022 or the date on which the E. Wisconsin Avenue is started whichever is earlier.

Tim Barbeau, Village Consulting Engineer
December 1, 2021

Rec 109160



**Conditional Use Grant
Application Form**

NOV 16 2021

JMS 9:35am

Address/Parcel No. of Property Involved: 203 East Wisconsin Avenue

Zoning of Property: B-2

Current Owner of Property: Dwight Zoellner and Joanne Koehler

Applicant – Name: Dwight Zoellner and Joanne Koehler

Address: 165 East Wisconsin Ave.

Phone: (414) 469-0274

Fax: _____

Email: crankthisout@yahoo.com

Nature of Request (If Requesting Approval for a New Business, Please Attach a Business Summary):

Requesting approval to demolish current garage/barn structure where

new building is to be built.

Requesting approval to build a 2-unit side by side condominium building.

Provide detailed information with your application that addresses the following:

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate the suitability of architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, drainage, exterior lighting, control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & general compatibility of the proposed use with the area in which it is located.



PROFESSIONAL SERVICES REIMBURSEMENT NOTICE

Pursuant to the Village of Pewaukee Code of Ordinances, the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

I, the undersigned, have been advised that, pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.

The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.

RESPONSIBLE PARTY & MAILING ADDRESS

JOANNE KOEHLER DWIGHT ZOELLNER
Name of Company and/or Individual

165 E WIS AVE PEWAUKEE WI 53072
Street City State Zip

2624080676 Phone: 2624080674 Fax: CRANK THIS OUT @yahoo.com E-Mail: ANNJOE88@yahoo.com

Dwight Zoellner 11/15/2021
Joanne Koehler 11/15/21

Signature of Applicant & Date

Dwight Zoellner 11/15/2021
Joanne Koehler 11/15/21

Signature of Property Owner & Date

JM 11/16/21
Village Official Accepting Form & Date

SEND ALL PROFESSIONAL SERVICES INVOICES TO:
(Check One)

Property Owner

Applicant

2. It is the responsibility of the applicant/owner to ensure that the proposed project meets the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted Land Use Plan.

Signature of Property Owner as listed on this Application:



Application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

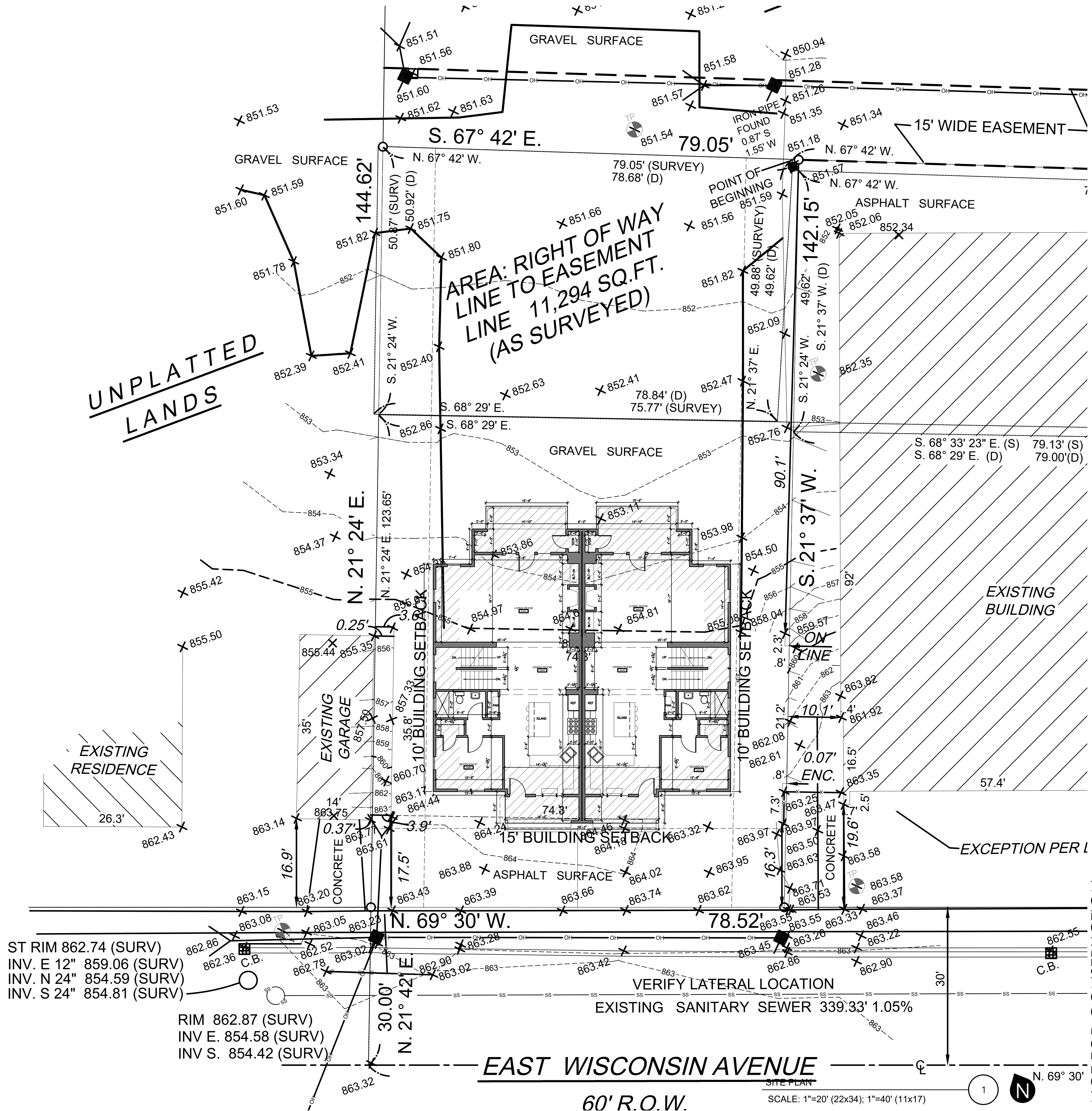
Signature of Applicant (if different than Owner):

Please return Completed Application Forms along with required attachments and the \$100 Application Fee to Pewaukee Village Hall, 235 Hickory Street, Pewaukee, WI 53072. If you have any questions, please call Village Hall at (262) 691-5660.

****Please submit eleven sets of any applicable attachments as well as a digital copy of any attachments submitted.**

Drawn by	Checked by
EAS	JDB

Revisions		
No.	Date	Description
	10/18/21	Preliminary
	1/3/21	Preliminary



UNPLATTED LANDS

AREA: RIGHT OF WAY LINE TO EASEMENT LINE 11,294 SQ.FT. (AS SURVEYED)

EXISTING BUILDING

EXISTING RESIDENCE

EXISTING GARAGE

10' BUILDING SETBACK

10' BUILDING SETBACK

15' BUILDING SETBACK

EXCEPTION PER I

ST RIM 862.74 (SURV)
INV. E 12" 859.06 (SURV)
INV. N 24" 854.59 (SURV)
INV. S 24" 854.81 (SURV)

RIM 862.87 (SURV)
INV. E. 854.58 (SURV)
INV. S. 854.42 (SURV)

VERIFY LATERAL LOCATION

EXISTING SANITARY SEWER 339.33' 1.05%

EAST WISCONSIN AVENUE

60' R.O.W.

SCALE: 1"=20' (22x34); 1"=40' (11x17)

1

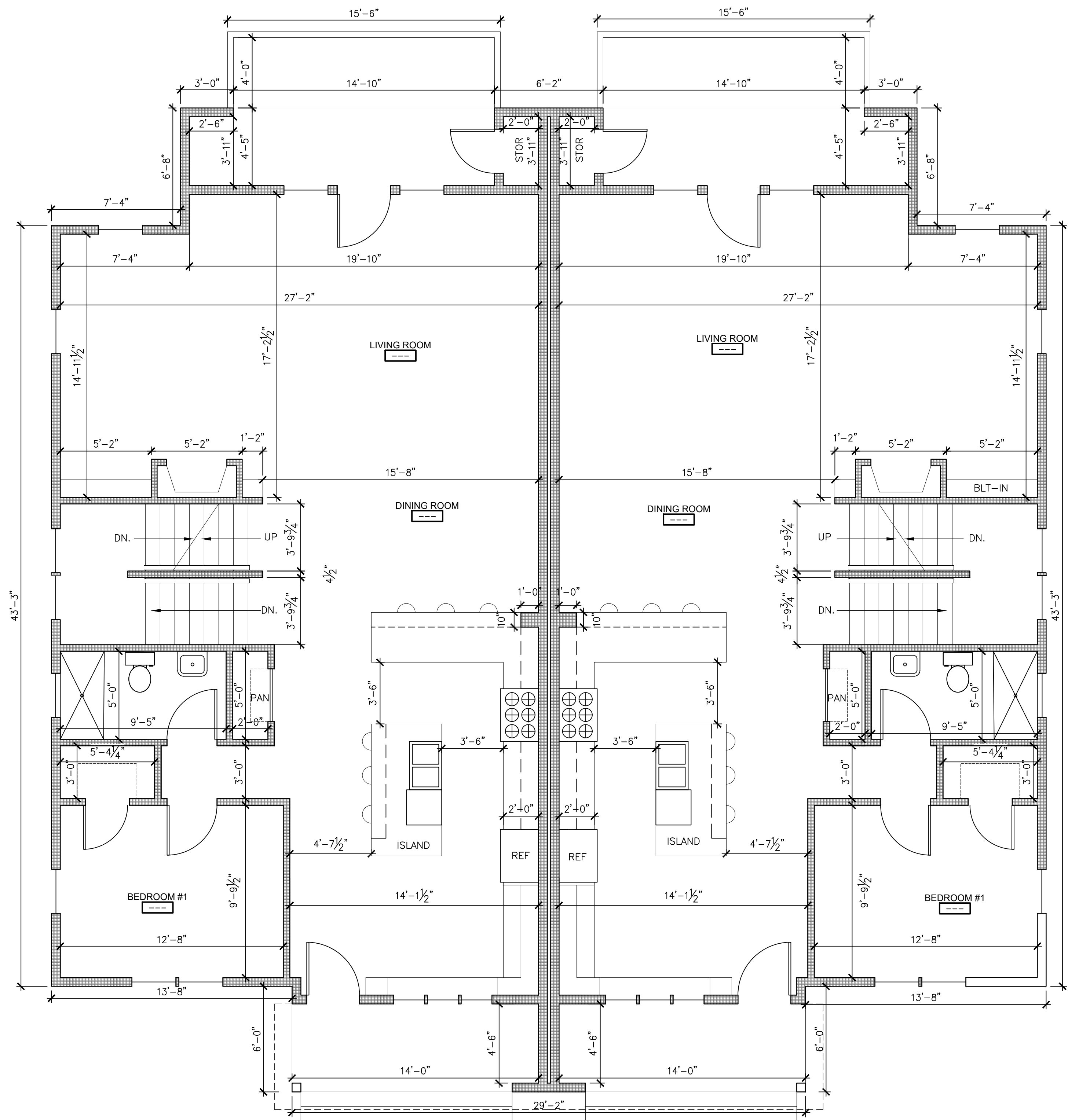


NOT FOR CONSTRUCTION

FIRST FLOOR PLAN

Drawn by	Checked by
EAS	JDB

Revisions		
No.	Date	Description
	10/18/21	Preliminary
	1/3/21	Preliminary

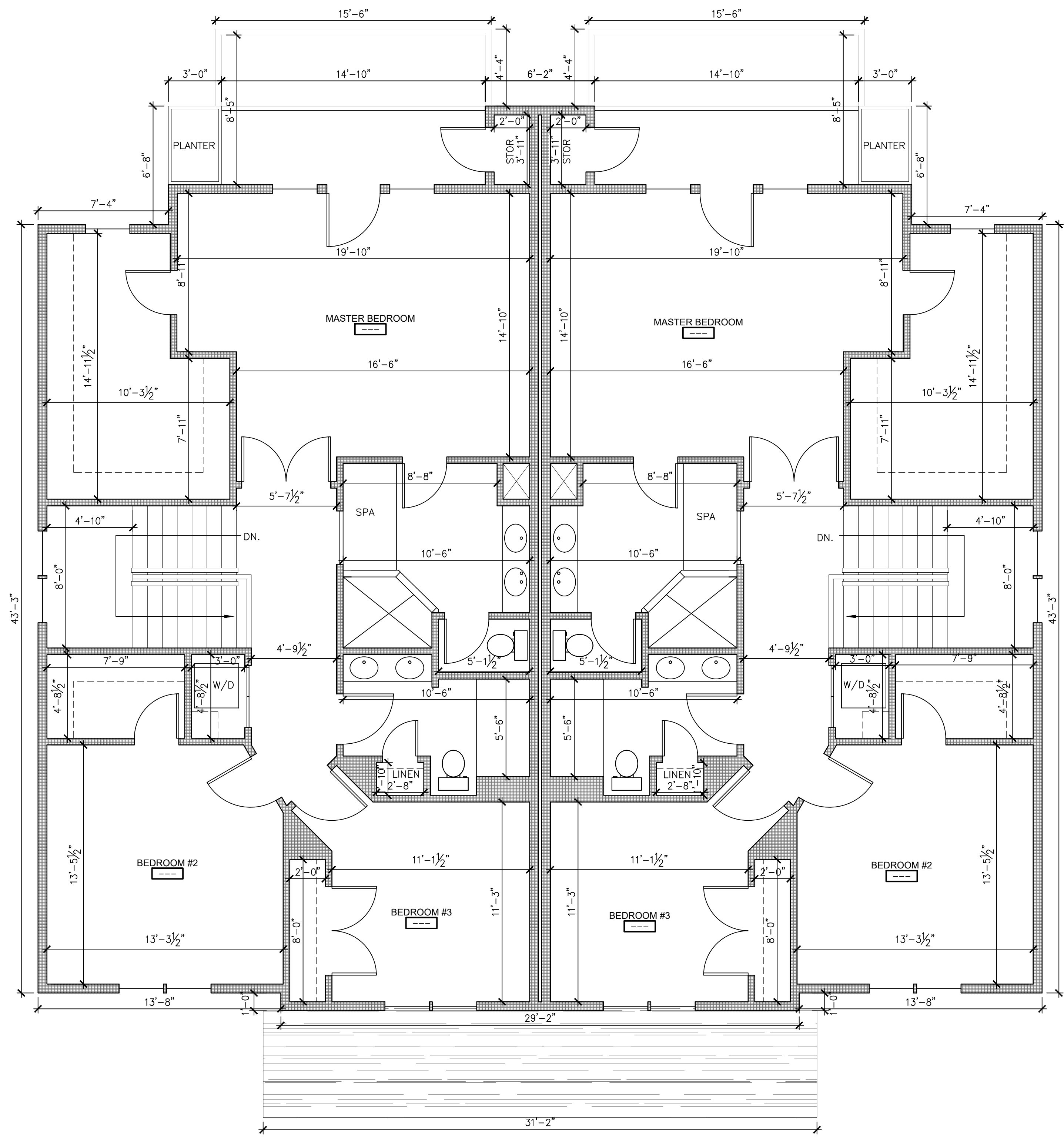


NOT FOR CONSTRUCTION

SECOND FLOOR PLAN

Drawn by	Checked by
EAS	JDB

Revisions		
No.	Date	Description
	10/18/21	Preliminary
	1/3/21	Preliminary

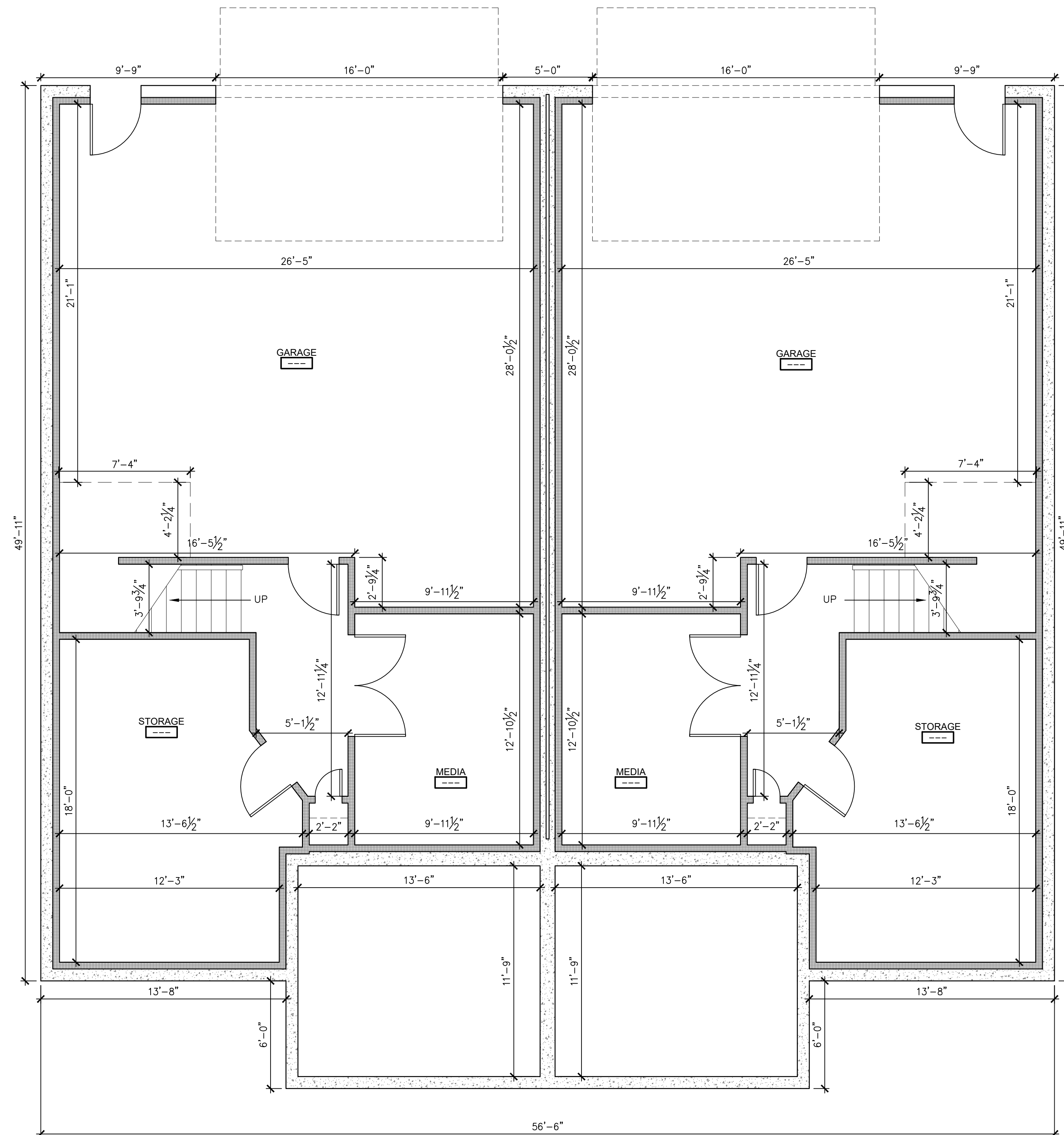


NOT FOR CONSTRUCTION

BASEMENT PLAN

Drawn by	Checked by
EAS	JDB

Revisions		
No.	Date	Description
	10/18/21	Preliminary
	1/3/21	Preliminary

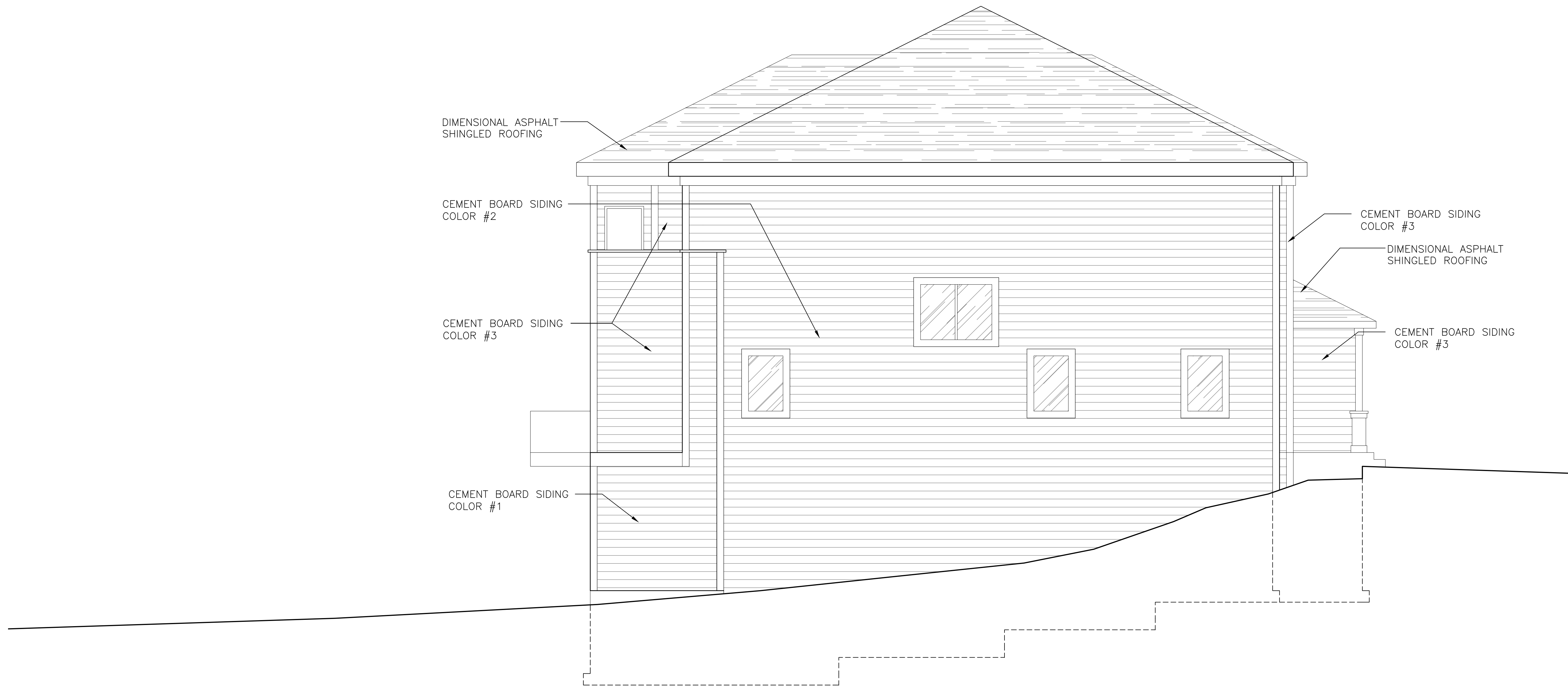


NOT FOR CONSTRUCTION

WEST ELEVATION

Drawn by	Checked by
EAS	JDB

Revisions		
No.	Date	Description
	10/18/21	Preliminary
	1/3/21	Preliminary



NOT FOR CONSTRUCTION

SOUTH ELEVATION

Drawn by	Checked by
EAS	JDB

Revisions		
No.	Date	Description
	10/18/21	Preliminary
	1/3/21	Preliminary

A5.0



DIMENSIONAL ASPHALT SHINGLED ROOFING

CEMENT BOARD SIDING COLOR #2

CEMENT BOARD SIDING COLOR #3

CEMENT BOARD SIDING COLOR #1

CEMENT BOARD SIDING COLOR #3

GLASS RAILING

GLASS RAILING

GLASS RAILING

GLASS RAILING

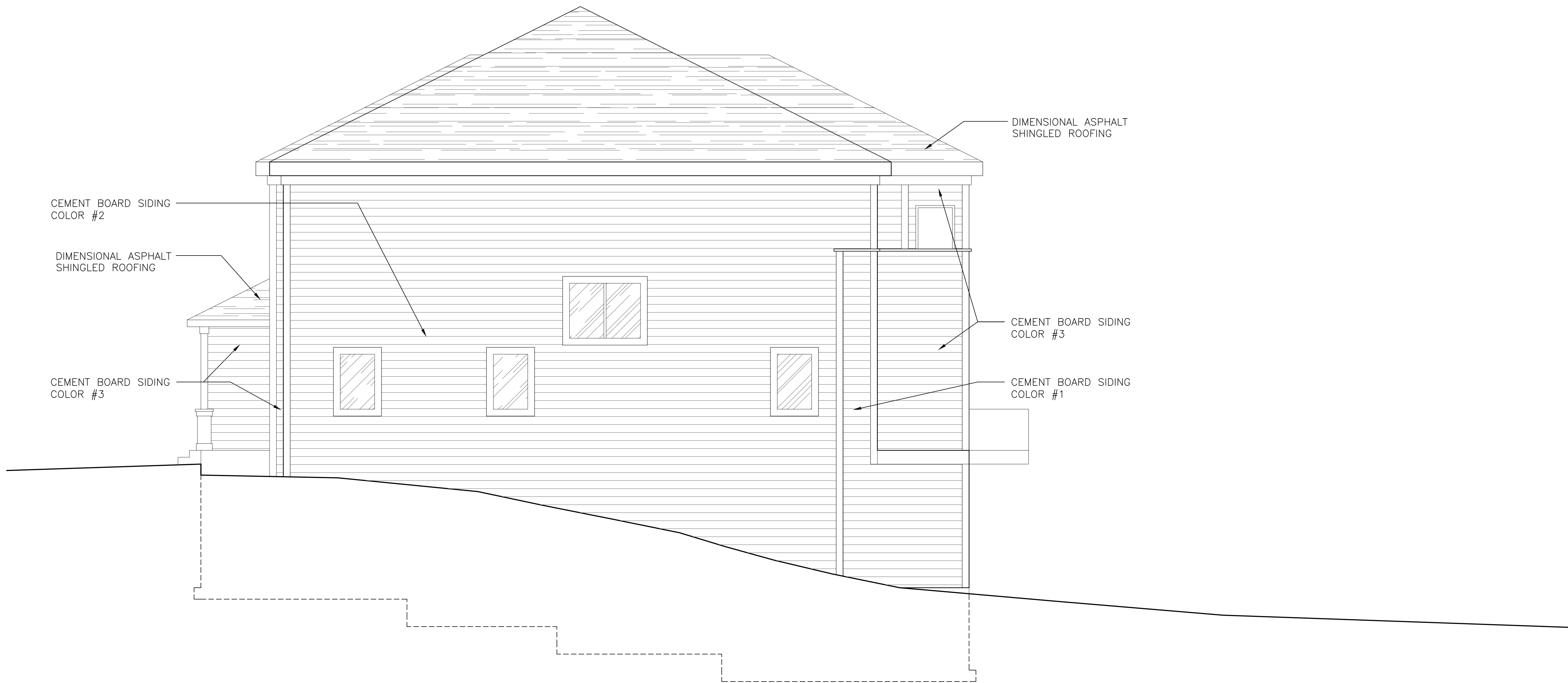
NOT FOR CONSTRUCTION

EAST ELEVATION

Drawn by	Checked by
EAS	JDB

Revisions

No.	Date	Description
	10/18/21	Preliminary
	1/3/21	Preliminary



NOT FOR CONSTRUCTION

NORTH ELEVATION



Drawn by	Checked by
EAS	JDB

Revisions		
No.	Date	Description
	10/18/21	Preliminary
	1/3/21	Preliminary

NORTH ELEVATION
 SCALE: 1/2"=1'-0" (22x34); 1/4"=1'-0" (11x17)

1

NOT FOR CONSTRUCTION

Sheet No.
A7.0

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: December 9, 2021

General Information:

Agenda Item: 6.b.

Applicant:

Wellspring Construction in c/o Tim Knepprath

Property Owner:

230 Sussex Street LLC

Requested Action:

Review, discussion and consultative feedback on a potential Planned Unit Development (“PUD”) plan including a “mini warehousing” use.

Current Zoning:

B-5 Light Industrial District

Proposed Zoning:

B-5 Light Industrial District w/
Planned Unit Development (PUD)
Overlay.

Current Master Plan Classification:

Industrial-Business park

Surrounding Zoning/Land Use:

North: Vacant (Floodplain &
Environmental Conservancy)
South: R-5 Single-Family Detached
Residential
East: B-5 Light Industrial District
West: Residential use with Land Use
designation of Single Family
Residential and zoning of B-5 Light
Industrial District.

Project Area:

N/A

Property Location:

227 Sussex Street

Discussion:

The applicant seeks feedback from the Commission on the concept site plan, architecture and operating plan for a self-storage rental facility (including ~284 [ten foot wide x twenty foot deep] leasable units across nine buildings) proposed to be located at 227 Sussex Street and including the contiguous part of that lot which fronts on Maiden Lane.

The project layout is generally consistent with Village Code as to such things as the setbacks and from front lot lines for both the buildings, parking and fencing, and offsets to side lot lines. One exception noted is with respect to the paving/parking offset to the west lot line where 20 feet is required (vs < 20 proposed).

Architecturally, the building plans depict masonry/brick materials in the street facing elevations with the balance of the structures, including the roofs being all metal materials. This does not comport with the provisions at Section 40.447(3) of the Code where it states “New retail and office building construction shall consist of quality materials such as brick, wood, stone and glass. New industrial building construction may also use decorative concrete block in addition to the above listed materials. The plan commission may, however, allow the use of metal building components, exterior finish insulation systems, and concrete block if incidental to the primary building architecture, screened from public view, or if used to reflect existing building architecture”.

As for the nearly flat roof line (i.e. 1/4” : 12’), the Village Code provides as follows: “The visual continuity of roofs and their contributing elements (parapet walls, gables, coping, cornices, etc.) shall be maintained in building development or redevelopment. Heating, ventilation, air conditioning and other rooftop mechanical equipment must be appropriately screened from view. Metal roofing is not specifically prohibited in the Village Code.

The lighting plan, including the fixture, appear to be fully Code compliant (i.e. cutoff fixture and < .5 footcandles on the ground at the lot lines).

The landscaping plan does not meet the 1 tree + 2 shrubs/1000 square feet of greenspace requirement of the Code. Presumably the intent is to count the existing vegetation in the unbuildable portion of the lot toward this minimum. The plan also does not provide street trees as may be required per Section 40.445(a) of the Code.

A 6 foot tall woven metal fence is proposed to enclose the entire development with secure gated access for tenants entering off of Sussex Street. There also appears to be a Fire Safety entry point with a lock-box along the Maiden Lane frontage of the project almost at Caldwell Street.

No water or sanitary sewer service is proposed to serve the buildings. It is not clear at this time whether there would be heat in any of the units.

No onsite refuse containers are proposed.

The greenspace on the site well exceeds the 35% minimum although the buildable area of the project appears to be ~99% impervious – under buildings and asphalt.

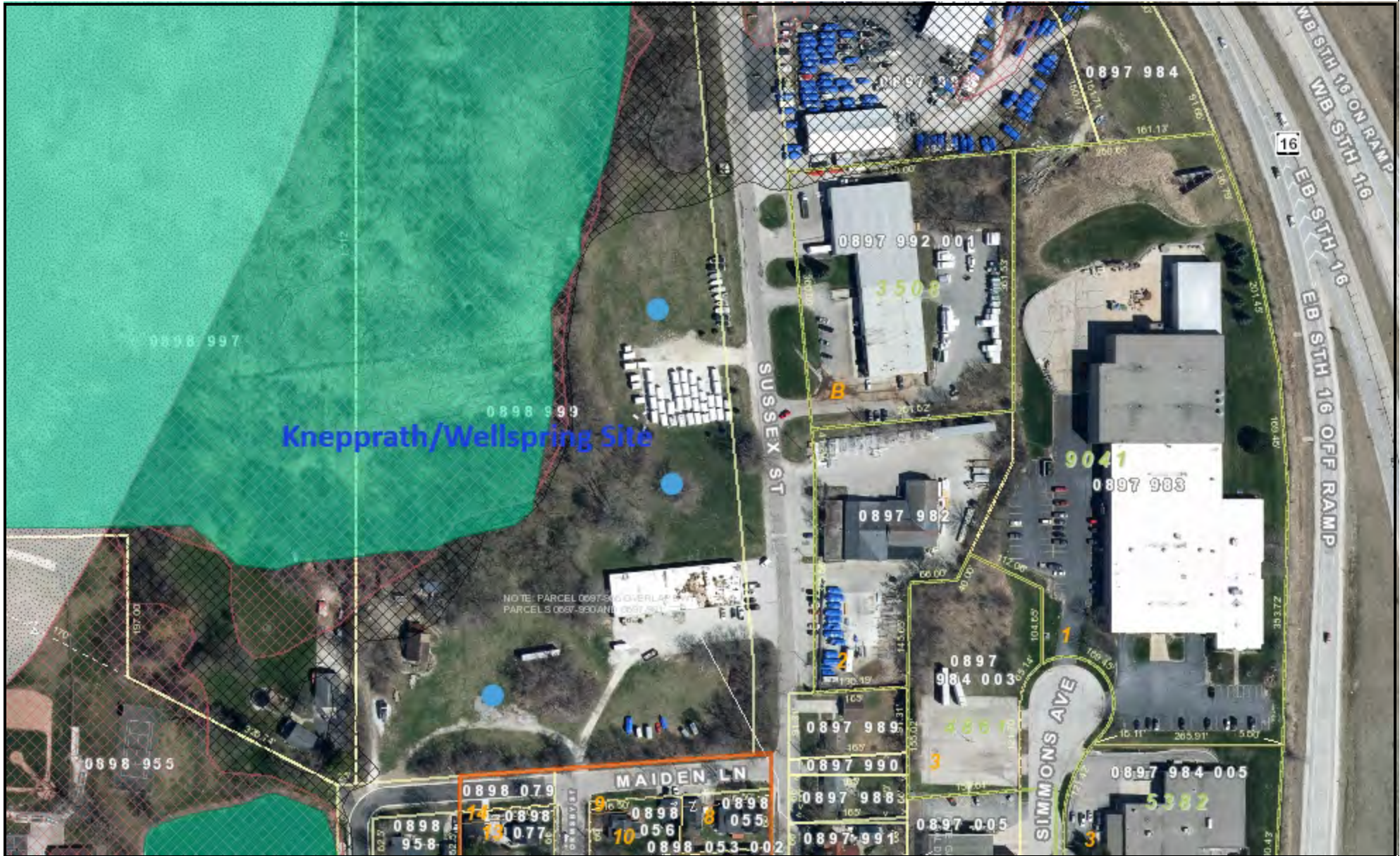
The maximum Floor Area Ratio also comes in under the maximum 30% per Code. What the ratio is within the buildable area of the site has not been calculated.

Recommendation:

As this is only a consultation, the Planner makes no recommendation at this time but points out the following issues for further discussion and consideration:

- 1) Can the Fire Department circulate throughout – add fire vehicle turning info to the plan;
- 2) This use is not expressly permitted in the Zoning Code. Rather, it will require permission through creation of a PUD;
- 3) A CSM creating the underlying lot will be needed.

Kneprath/Wellspring Site



0 188.45 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Notes: 227 Sussex Street

Printed: 12/2/2021



Village of Pewaukee Plan Commission
Engineer's Report for December 9, 2021

Pewaukee Self Storage
230 Sussex Street

Report

General comments related to the proposed development:

- No specific grading plan or storm water management plan were provided. The plans provided indicate the general flow pattern which is primarily comprised of sheet flow within the aisles to one of two storm water pond areas. The existing drainage pattern is from the southeast to the northwest and west. The proposed drainage pattern appears to be similar, with the stormwater ponds capturing the runoff and treating the water prior to releasing it towards the wetland area.
- Since no computations were provided for the size of the stormwater ponds, the number of buildings and sizes may have to be modified to accommodate the stormwater management facilities.
- No sewer or water is being requested for this site.
- The Plan of Operation indicates 3 parking stalls for customers; whereas, only two (2) have been shown on the site plan.
- The Plan of Operation indicates one controlled access point to be provided on Sussex Street; however, the plans indicate a second gate off of Maiden Lane in the southwest corner of the property.
- The site plan is lacking in some technical details that can be addressed when/if final plans are prepared.

Recommendation

Since this is discussion only, I have no specific recommendation. If the Village Plan Commission provides positive feedback such that the development proceeds, I will provide my technical site plan review comments to the engineer for incorporation into a final plan set. Paramount will be the design of the stormwater ponds, since they will dictate the available space for buildings.

Tim Barbeau, Village Consulting Engineer
December 1, 2021

Application is due three weeks prior to meeting date.



**Planning Commission Consultation
Application Form**

Address/Parcel No. of Property Involved: 227 Sussex St - PWV 0898999

Zoning of Property: B-5

Current Owner of Property: 230 Sussex St, LLC. (Rick Wellenstein, Nick Wellenstein & Tim Kneprath)

Applicant – Name: Tim Kneprath, c/o Wellspring Construction Group, LLC.

Address: 227 Sussex St. Pewaukee, WI 53072

Phone: 262 696-4492

Fax: _____

Email: tim@wellspringcg.com

Name of Business that Consultation is for: Sussex St Self Storage

Describe Nature of Business (Restaurant, Retail, Office, etc.):

Self Storage Business

Signature of Property Owner as listed on this Application:

Application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Consultation Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

Signature of Applicant (if different than Owner):

**** For Consultation Purposes, an Engineering Review will not take place. Engineering Reviews will begin if and when an Application for Final Approval is processed.***

***Please submit eleven sets of any applicable attachments as well as a digital copy of any attachments submitted.**

**Sussex Street Self Storage
Plan of Operations
12-9-2021**

Address of premises	227 Sussex St
Name of business	Pewaukee Self Storage
Type of business	Self Storage rental facility
Detailed description of the proposed operation <i>This description should explain, in detail, how the proposed use will be operated. The description should state what activities are to occur on site.</i>	<p>A storage facility comprised of multiple buildings. Each building will be divided into small individual storage units. The majority of the rental units will range from 10'w x 10'l to 10'w x 30'l. The site will be unoccupied. The site will be secured with a 6' tall chain link fence and security cameras.</p> <p>One controlled access point will be provided on Sussex St. This access will include a keypad access for customers.</p> <p>No toilet or refuse facilities will be provided on site.</p>
Hours and days of operation	Site will be accessible to clients 24 hours a day
Number of employees	No on site employees - Site management will be completed off site
Does your location provide on-site parking? a. If yes, how many parking spaces are available to customers and employees? b. Where is the on-site parking located?	<p>Yes</p> <p>3</p> <p>Handicap parking stalls will be located adjacent to handicap accessible units</p>
Will you receive at your location vehicles that make deliveries or pick-ups? a. How many deliveries and/or pick-ups do you anticipate each day? b. Where will deliveries, pick-ups, loading and unloading activities occur?	<p>No</p> <p>n/a</p> <p>n/a</p>

<p>Describe the land uses next to the property and on the same block.</p> <p><i>This description should explain what businesses and/or uses are located in the area around your proposed location.</i></p>	<p>North - Hwy 16 South - Business (Wellenstein and Sons) and Residential (Maiden Lane) West - Wetlands and One Residence East - Sussex Street Businesses</p>
<p>Describe who your business will serve.</p> <p>a. For churches, please provide the number of members</p> <p><i>This description should explain who your business will serve and where your customers, clients, or congregants come from.</i></p>	<p>The general public from the surrounding community</p>



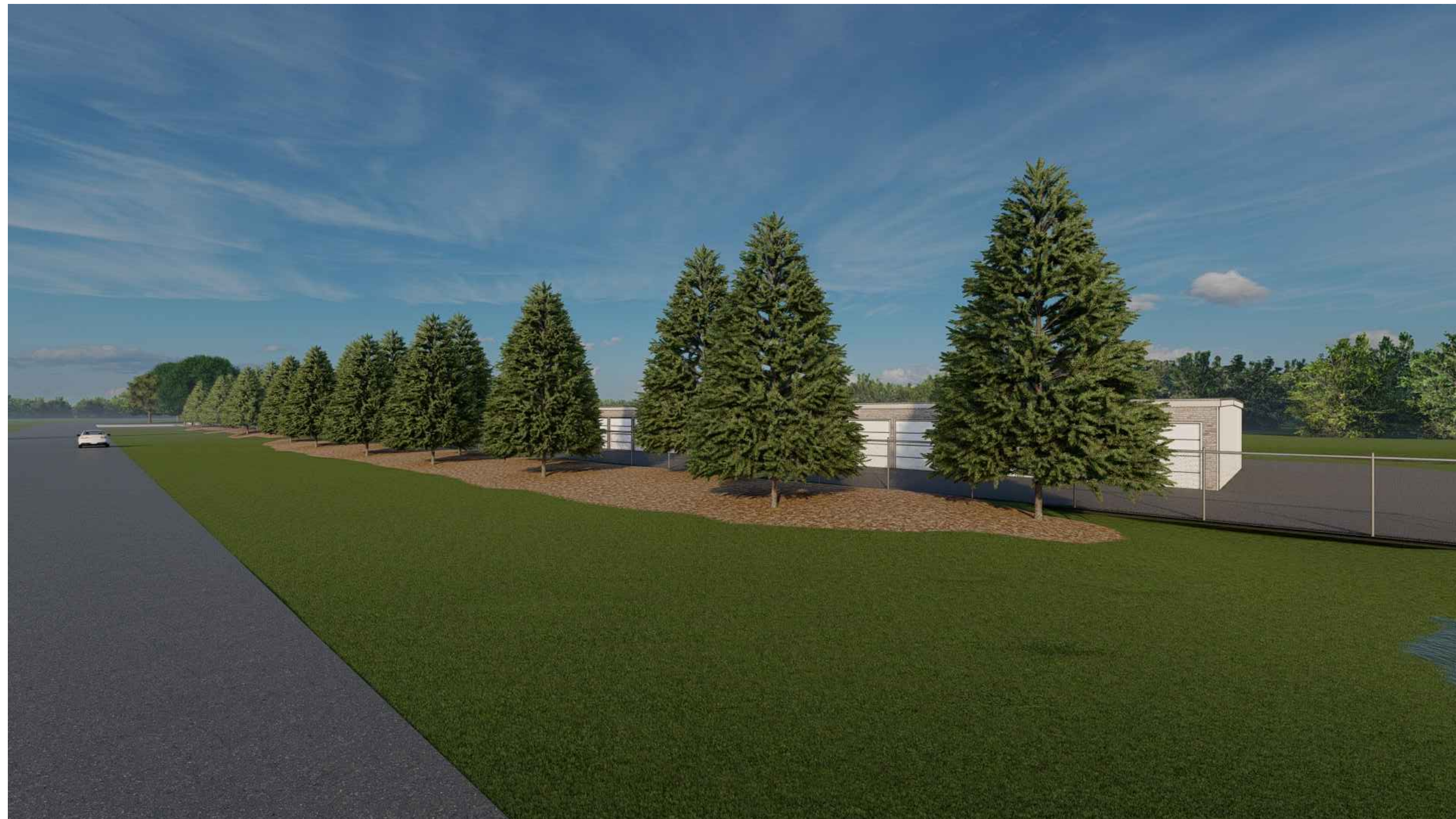
MAIDEN LANE
SCALE: N.T.S.

4



MAIDEN LANE
SCALE: N.T.S.

3



SUSSEX STREET
SCALE: N.T.S.

2



SUSSEX STREET
SCALE: N.T.S.

1

**CONCEPTUAL
RENDERINGS**

Drawn by	Checked by
AMP	---

Revisions		
No.	Date	Description
	11.11.21	Preliminary

NOT FOR CONSTRUCTION

SUSSEX SELF STORAGE - NEW CONSTRUCTION

227 SUSSEX STREET | PEWAUKEE, WI 53072

THRIVE ARCHITECTS
 Architect
 259 South Street, Suite A
 Waukesha, WI 53186
 p: 833-380-6180
 e: jdb@thrive-architects.com

wellspring CONSTRUCTION GROUP
 Contractor
 227 Sussex Street
 Pewaukee, WI 53072
 p: 262-696-4492
 e: tim@wellspringcg.com

Project Info. — 21112
SUSSEX SELF STORAGE
 NEW CONSTRUCTION
 227 Sussex Street
 Pewaukee, WI 53072

Sheet Title
TITLE AND CODE SHEET

Drawn by	Checked by
AMP	---

Revisions

No.	Date	Description
1	11.11.21	Preliminary

Sheet No. **T1.0**

SHEET INDEX	
SHEET	DESCRIPTION
T1.0	TITLE AND CODE SHEET
CIVIL	
LANDSCAPE	
ARCHITECTURAL	
SP1.0	SITE PLAN AND SITE DETAILS
A1.0	BUILDING 1 - PLAN AND ELEVATIONS
A1.1	BUILDING 2 - PLAN AND ELEVATIONS
A1.2	BUILDING 3, 4, AND 6 - PLAN AND ELEVATIONS
A1.3	BUILDING 5 - PLAN AND ELEVATIONS
A1.4	BUILDING 7 AND 8 - PLAN AND ELEVATIONS
A1.5	BUILDING 9 - PLAN AND ELEVATIONS
STRUCTURAL	
PLUMBING, MECHANICAL AND ELECTRICAL PLANS TO BE A DEFERRED REVIEW AND SUBMITTAL BY DESIGN-BUILD CONTRACTOR	
PROJECT NOTES	

- ELECTRICAL NOTES:**
 1) ALL WORK TO BE BY DESIGN-BUILD ELECTRICAL CONTRACTOR.
- HVAC NOTES:**
 1) ALL WORK TO BE BY DESIGN-BUILD HVAC CONTRACTOR.
- PLUMBING NOTES:**
 1) ALL WORK TO BE BY DESIGN-BUILD PLUMBING CONTRACTOR.

BUILDING CODE SUMMARY	
BASED ON THE	WISCONSIN COMMERCIAL BUILDING CODE (2015 INTERNATIONAL BUILDING CODE w/ WI AMENDMENTS) 2015 INTERNATIONAL EXISTING BUILDING CODE 2009 ANSI A117.1 ACCESSIBILITY CODE
	ALL OTHER CODES AND ORDINANCES AS REFERENCED BY THE ABOVE CODES
BUILDING AREA:	NEW CONSTRUCTION BUILDING AREA BUILDING 1: 9,400 GSF BUILDING 2: 3,000 GSF BUILDING 3: 5,400 GSF BUILDING 4: 5,400 GSF BUILDING 5: 6,200 GSF BUILDING 6: 5,400 GSF BUILDING 7: 8,200 GSF BUILDING 8: 8,200 GSF BUILDING 9: 7,400 GSF TOTAL AREA 58,600 GSF OF NEW CONSTRUCTION
FIRE ALARM:	NOT REQUIRED
OCCUPANCY	S-1 STORAGE
OCCUPANCY SEPARATION	NOT REQUIRED
CONSTRUCTION TYPE	VB WOOD FRAME UNPROTECTED
SPRINKLER SYSTEM	NOT REQUIRED
NUMBER OF FLOOR LEVELS	1 STORY
ALTERATION LEVEL	N/A NEW CONSTRUCTION
FLAME SPREAD & SMOKE INDEX	CLASS C
CODE EXCEPTION	BOTTLED WATER PROVIDED IN LIEU OF DRINKING FOUNTAIN

GENERAL NOTES	
1.	CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, & SUPERVISING ALL SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THIS PROJECT.
2.	ARCHITECT/DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY COST, SCHEDULE OR CONSTRUCTION ISSUES ARISING DUE TO GC/OWNERS FAILURE TO DISTRIBUTE ALL DOCS, SUBCONTRACTORS & SUPPLIERS SHOULD ENDEAVOR TO REVIEW A COMPLETE SET OF DOCS BEFORE BIDDING, FABRICATING & INSTALL.
3.	GC, SUBCONTRACTORS, MATERIAL SUPPLIERS, OWNER, ETC. MUST NOTIFY ARCHITECT OF ANY ERRORS, OMISSIONS, OR DEFECTS IN THE CONSTRUCTION DOCUMENTS PRIOR TO BIDDING, FABRICATING OR INSTALLING WORK.
4.	SITE DIMENSIONS ARE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY. THE ARCHITECT/DESIGNER SHALL BE NOTIFIED OF ANY VARIANCES BEFORE CONTRACTOR BEGINS OR PROCEEDS WORK.
5.	MECH, ELEC, PLUMB & FIRE PROTECTION ARE TO BE DESIGN BUILT, COMPLYING WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS, WHICH WILL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR; THE ARCHITECT ASSUMES NO LIABILITY.
6.	ALL MECH, ELEC, PLUMB & FIRE PROTECTION SYSTEMS/EQUIP. SHALL BE MAINTAINED ACCORDING TO MANUFACTURER'S STANDARDS. BLDG. OWNER SHALL ASSUME FULL RESPONSIBILITY FOR MAINTANANCE/OPERATION UPON OCCUPANCY.
7.	THE INSTALLATION AND EXECUTION OF ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS AND SPECIFICATIONS. ALL MEANS & METHODS OF CONSTRUCTION TO BE THE SOLE RESPONSIBILITY OF THE GC.
8.	PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN OCCUPANCIES AND LOCATIONS AS REQUIRED BY THE INTERNATIONAL FIRE CODE. INSTALLATION LOCATIONS SHALL HAVE A MAXIMUM TRAVEL DISTANCE OF 75' TO ANY EXTINGUISHER. EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE, TYPICALLY ALONG PATHS OF TRAVEL. EXTINGUISHERS SHALL NOT BE OBSTRUCTED FROM VIEW; IF VISUAL OBSTRUCTION CAN NOT BE AVOIDED ANOTHER MEANS SHALL BE PROVIDED TO INDICATE THE EXTINGUISHER LOCATIONS. EXTINGUISHERS NOT EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 5'-0" ABOVE THE FLOOR, EXTINGUISHERS EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 3'-6" ABOVE THE FLOOR. THE CLEARANCE BETWEEN THE FLOOR AND BOTTOM OF HAND HELD UNITS SHALL NOT BE LESS THAN 4". VERIFY EXTINGUISHER LOCATIONS W/ LOCAL FIRE DEPT. & OWNER PRIOR TO INSTALLATION.
9.	ALL CONCRETE FLAT WORK MUST BE WET CURED PER ACI REQUIREMENTS AND/OR CURED USING A CURING COMPOUND. REFER TO STRUCTURAL NOTES FOR CURING COMPOUND SPECS. CONTRACTOR IS RESPONSIBLE FOR APPLYING CURING COMPOUNDS PER THE MANUFACTURER'S REQUIREMENTS.

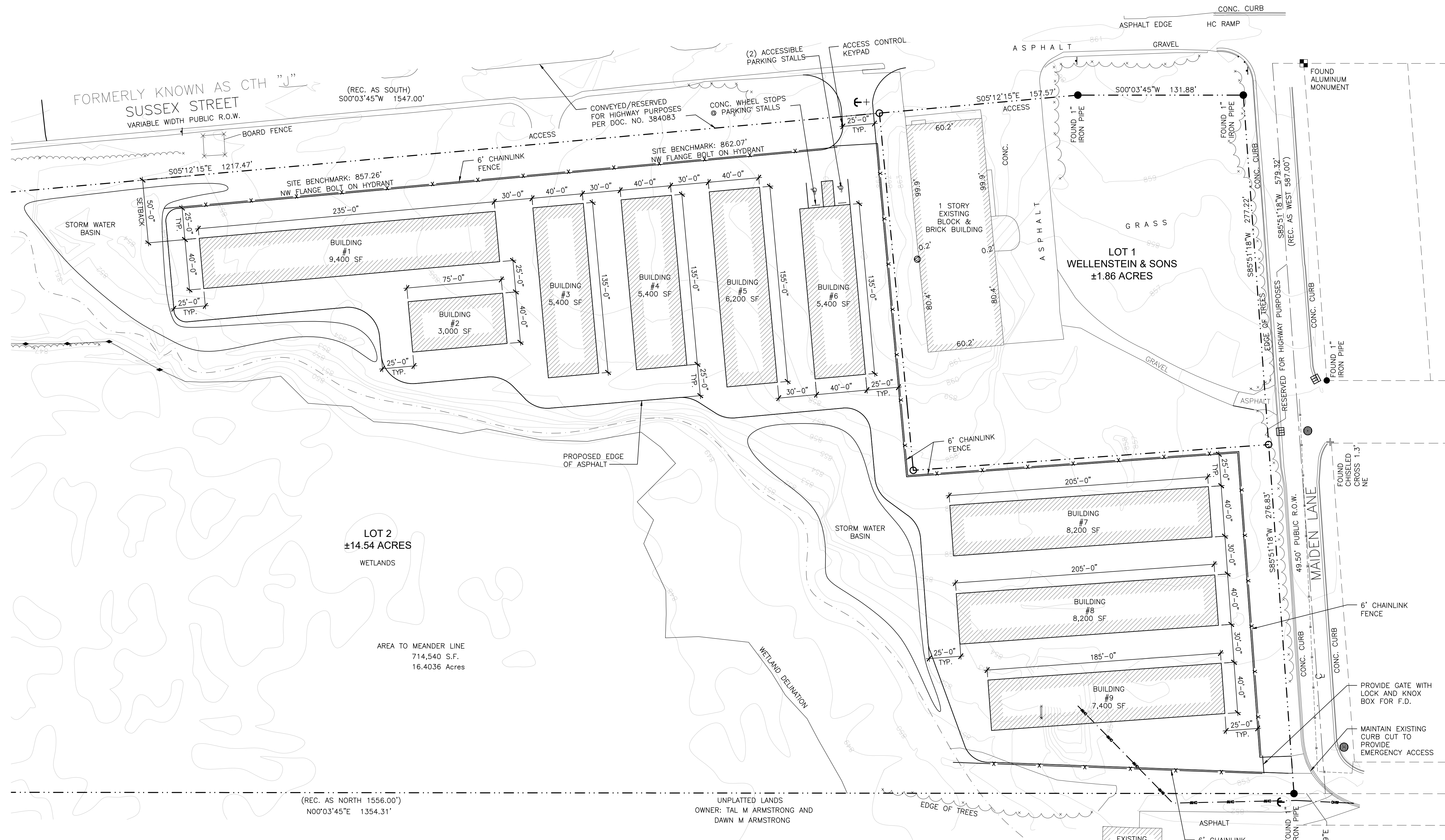
PROJECT CONTACT INFO		
OWNER: WELLENSTEIN & SONS INC 227 SUSSEX STREET PEWAUKEE, WI 53072 262-696-3580	CONTRACTOR: WELLSRING CONSTRUCTION GROUP 227 SUSSEX STREET PEWAUKEE, WI 53072 P: 262-696-4492	LANDSCAPE DESIGN: INSITE LANDSCAPE DESIGN, INC. 11525 W NORTH AVENUE WAUWATOSA, WI 53226 P: 414-476-1204
CIVIL: CJ ENGINEERING 9205 W CENTER STREET, SUITE 214 MILWAUKEE, WI 53222 P: 414-443-1312	ARCHITECT: THRIVE ARCHITECTS 259 SOUTH STREET, SUITE A WAUKESHA, WI 53186 P: 833-380-6180 ATTN: JEREMY BARTLETT, ARCHITECT OF RECORD	STRUCTURAL ENGINEER: TO BE DETERMINED



VICINITY MAP
 SCALE: N.T.S.

TYPICAL ABBREVIATIONS									
ABV: Above	B/O: By Others	DW: Dishwasher	FT: Footing	LB: Pound	NO, #: Number	REFR: Ref	TEMP: Tempered		
ACOUS: Acoustical	BC: Bottom Of	DN: Division	FND: Foundation	LAM: Laminate(d)	O: Non-Operable Window	REG: Register	TK: Tight Knot		
ADDL: Additional	BR: Bedroom	DR: Door	FRM: Fram(d), (ng)	LAV: Lavatory	OL: Left Hand	RE: Reinforced	T&G: Tongue and Groove		
ADH: Adhesive	CAB: Cabinet	DH: Double Hung	FBO: Furnished by Others	LH: Left Hand	OP: Operable Window	REQD: Required	T/O: Top of		
ADJ: Adjustable	CALC: Calculation	DS: Downspout	FUR: Furred	L: Length	OC: On Center	RA: Return Air	TCC: Top of Concrete		
AFF: Above Finish Floor	CAN: Cabinet Door	DRW: Drawer		LOA: Length Overall	OPQ: On Point	REV: Revision	TOW: Top of Wall		
AGG: Aggregate	CC: Corner Guard	DT: Drain Tile		LT: Light	OR: Opening	R: Rider	TB: Towel Bar		
AHL: Authority Having Jurisdiction	CIP: Cast-in-Place	DWG: Drawing		LL: Live Load	OSB: Oriented Strand Board	RD: Rod	T: Tread		
A/C: Air Conditioning	(Concrete)	D: Nail Size		LVL: Laminated Veneer Lumber	RF: Roofing	R&S: Rod and Shelf	TS: Tubular Steel		
ALT: Alternate	CL: Centerline	EW: Each Way		MFR: Manufacturer	RM: Room	RO: Rough Opening	TYP: Typical		
ALUM: Aluminum	CO: Clean Out	E: East		MFO: Masonry Opening	SCH: Schedule	SCN: Screen	UL: Underwriters Laboratory		
ANC: Anchor, Anchorage	CONTR: Contract (or)	EL: Elevation		MGR: Member	SCH: Schedule	SCN: Screen	UNF: Unfinished		
AB: Anchor Bolt	COORD: Coordinate	ELEV: Elevation		MKB: Maximum	SECT: Section	SGD: Sliding Glass Door	UNO: Unless Noted Otherwise		
ANOD: Anodized	CRPT: Carpet	EQ: Equipment		MAS: Masonry	PLAS: Plaster	SLB: Slab	VB: Vapor Barrier		
APK: Approximate	CS: Cast-in-place	EXH: Exhaust		MECH: Mechanic(a)	PLY: Plywood	SKL: Skylight	VAR: Varnish		
APT: Apartment	CLK: Caulking	EXST: Existing		MIC: Medicine Cabinet	PCC: Precast Concrete	SH: Shelf, Shelving	VER: Verify in Field		
ARCH: Architect	CAS: Casement	EXT: Exterior		MD: Medium	PF: Pounds Per Cubic Foot	SM: Stair	VEN: Veneer		
(Architectural)	CB: Catch Basin	FOC: Face of Concrete		MDF: Medium Density Fiberboard	PF: Pounds Per Square Foot	SK: Skylight	VERT: Vertical		
ASPH: Asphalt	CE: Ceiling	FOF: Face of Finish		MDO: Medium Density Overlay	PLF: Pounds Per Linear Foot	SL: Slab	VG: Vertical Grain		
AUTO: Automatic	CT: Ceramic Tile	FOM: Face of Masonry		MDB: Membrane	PLS: Pounds Per Square	SLD: Slid(er)(ng)	VIN: Vinyl Sheet		
AVE: Avenue	CR: Circle	FOS: Face of Studs		MTR: Member	PSI: Pounds Per Square Inch	SPC: Specification	W: Wall		
AVR: Average	CLR: Clear	FW: Face of Wall		MWB: Membrane	PBF: Prefabricated	SQ: Square	WC: Water Closet		
AWN: Awning	COL: Column	FBD: Face of Board		MTL: Metal	PRF: Pressure Treated	STD: Standard	WH: Water Heater		
	CONC: Concrete	FBR: Fiber Cement Board		MILWK: Millwork	PL: Property Line	STR: Structural	WP: Water Proofing		
BSMT: Basement	CMU: Concrete Masonry Unit	FIB: Fiberboard		MIR: Mirror	PL: Property Line	STR: Structural	WR: Weather Resistant Barrier		
BM: Beam	CONSTR: CONSTRUCTION	FIB: Fiber Cement Board		MISC: Miscellaneous	PL: Property Line	STR: Structural	WRB: Weather Resistant Barrier		
BITUM: Bituminous	CONT: Continuous	FGL: Fiberglass		MCD: Module	PL: Property Line	STR: Structural	WV: Welded Wire Fabric		
BLK: Block	CJT: Control Joint	FLE: Finished Floor Elevation		MLD: Moulding	PL: Property Line	STR: Structural	WV: Welded Wire Mesh		
BLKG: Blocking	CORR: Corrugated	FA: Fire Alarm		MLB: Micro Laminated Beam	PL: Property Line	STR: Structural	W: West		
BLW: Below	CUFF: Cubic Foot	FE: Fire Extinguisher		IN: Inch	QTY: Quantity	QTY: Quantity	W/W: Without		
BLVD: Boulevard	CUYD: Cubic Yard	FEL: Fireplace		INCL: Include	QTY: Quantity	QTY: Quantity	W/W: Without		
BTW: Between	DP: Dampproofing	FLSH: Flashing		ID: Inside Diameter	QTY: Quantity	QTY: Quantity	W/W: Without		
BD: Board	DTL: Detail	FLR: Floor		INS: Insulate	QTY: Quantity	QTY: Quantity	W/W: Without		
BD: Bottom	DIK: Diameter	FLR: Fluorescent		INT: Interior	QTY: Quantity	QTY: Quantity	W/W: Without		
BLDG: Building	DIM: Dimension	FT: Foot, Feet		INT: Interior	QTY: Quantity	QTY: Quantity	W/W: Without		
BUR: Built Up Roofing				INT: Interior	QTY: Quantity	QTY: Quantity	W/W: Without		

NOT FOR CONSTRUCTION



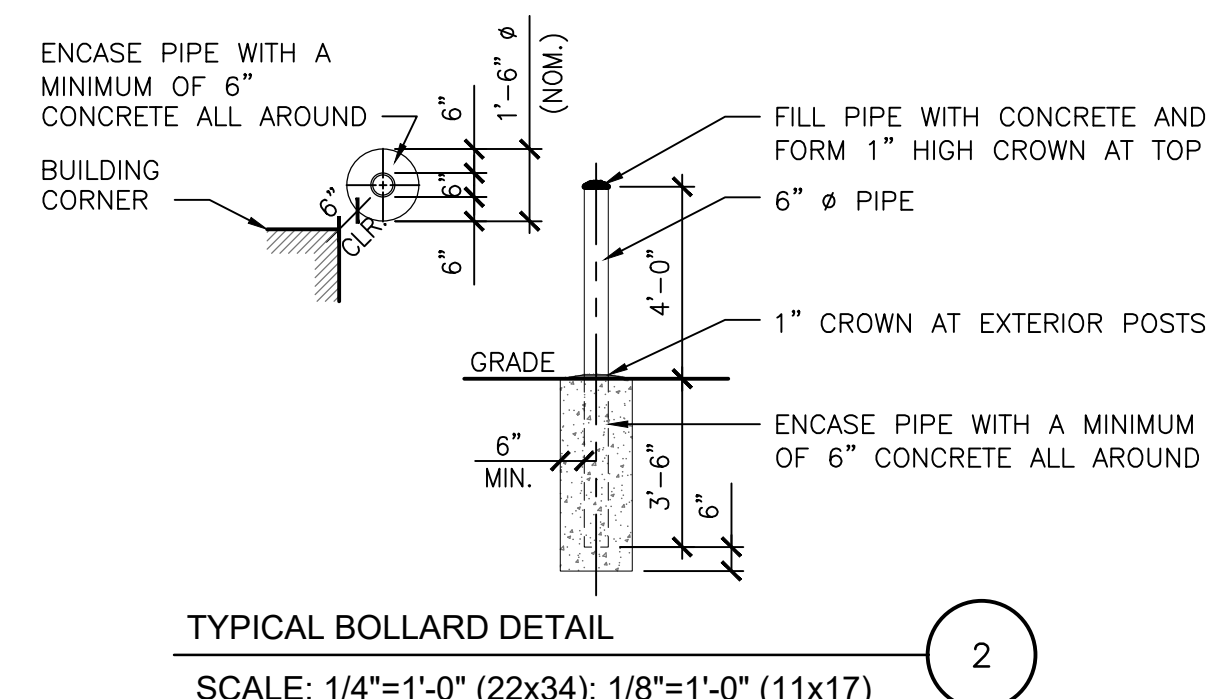
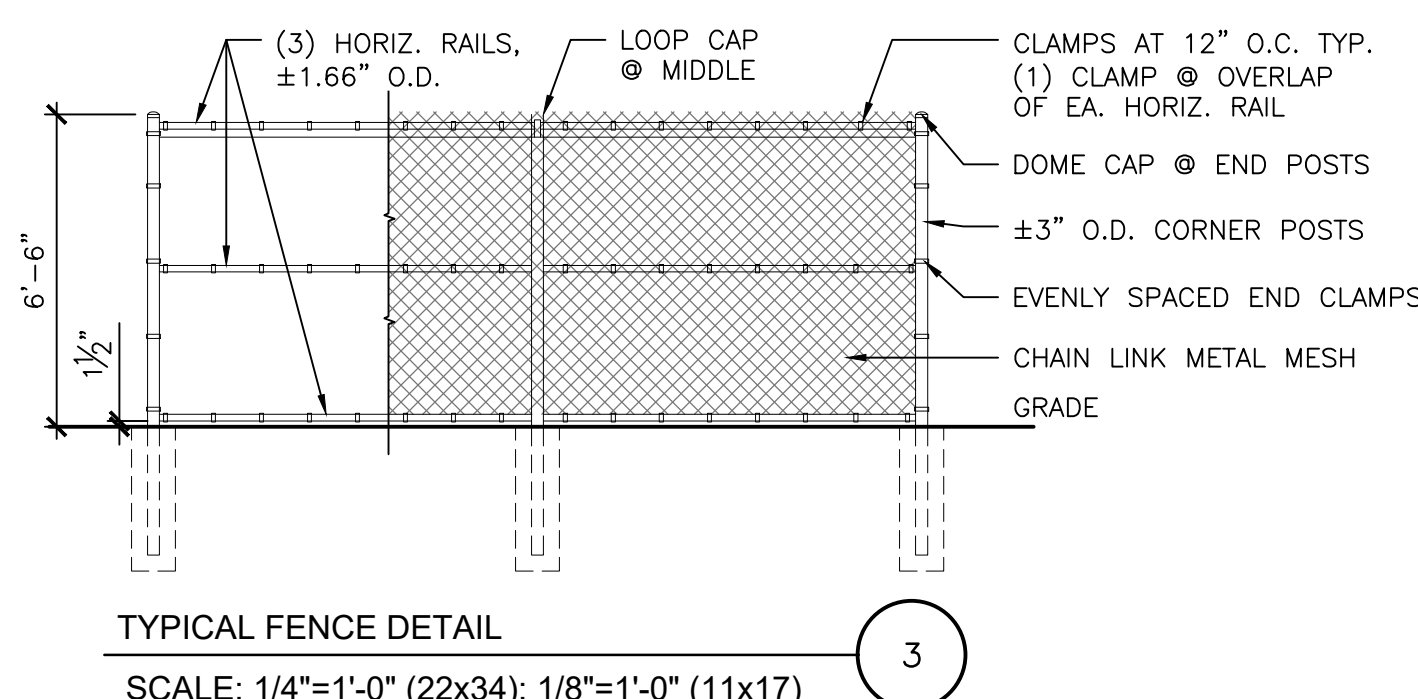
PROJECT INFORMATION - LOT #2 ONLY

OWNER ADDRESS	230 SUSSEX STREET LLC 227 SUSSEX ST. PEWAUKEE, WI 53072-2520		
ZONING	B-5 LIGHT INDUSTRIAL		
CONDITIONAL USE	WAREHOUSING/ACCESSORY STORAGE YARD		
LOT SIZE	CURRENT 14.54 ACRES	DEVELOPED 14.54	CHANGE NONE
BUILDINGS (GSF)	1,038.6	58,600	57,561.4 S.F.
BUILDING HEIGHT	PROPOSED ±11'-6"	CODE REQUIREMENT <50'	
FAR	9.25%	<30%	
LOT SIZE	14.54 ACRES	>1 ACRE	
LOT COVERAGE	24.03% AVG.	65% MAX.	
GREENSPACE RATIO	75.97% AVG.	35% MIN.	

ACCESS HOURS:
24 HOURS PER DAY, 7 DAYS PER WEEK
SECURE SITE WITH ACCESS CONTROL

EMPLOYEES: NO FULL TIME EMPLOYEES ON SITE

PARKING: UNOCCUPIED BUILDINGS, HANDICAP PARKING PROVIDED FOR HANDICAP ACCESSIBLE UNITS



SITE PLAN
SCALE: 1"=40'-0" (22x34); 1"=80'-0" (11x17)

NOT FOR CONSTRUCTION

THRIVE ARCHITECTS
Architect
259 South Street, Suite A
Waukesha, WI 53186
p: 833-380-6180
e: jdb@thrive-architects.com

wellspring CONSTRUCTION GROUP
Contractor
227 Sussex Street
Pewaukee, WI 53072
p: 262-696-4492
e: tim@wellspringcg.com

Project Info. — 21112
SUSSEX SELF STORAGE
NEW CONSTRUCTION
227 Sussex Street
Pewaukee, WI 53072

Sheet Title
SITE PLAN

Drawn by	Checked by
AMP	---

Revisions

No.	Date	Description
1	11.11.21	Preliminary

Sheet No.
SP1.0

Key	Botanical Name	Common Name	Qty	Size	Root	Spacing
●	PA Picea abies	Norway Spruce	48	6' High	B&B	as shown



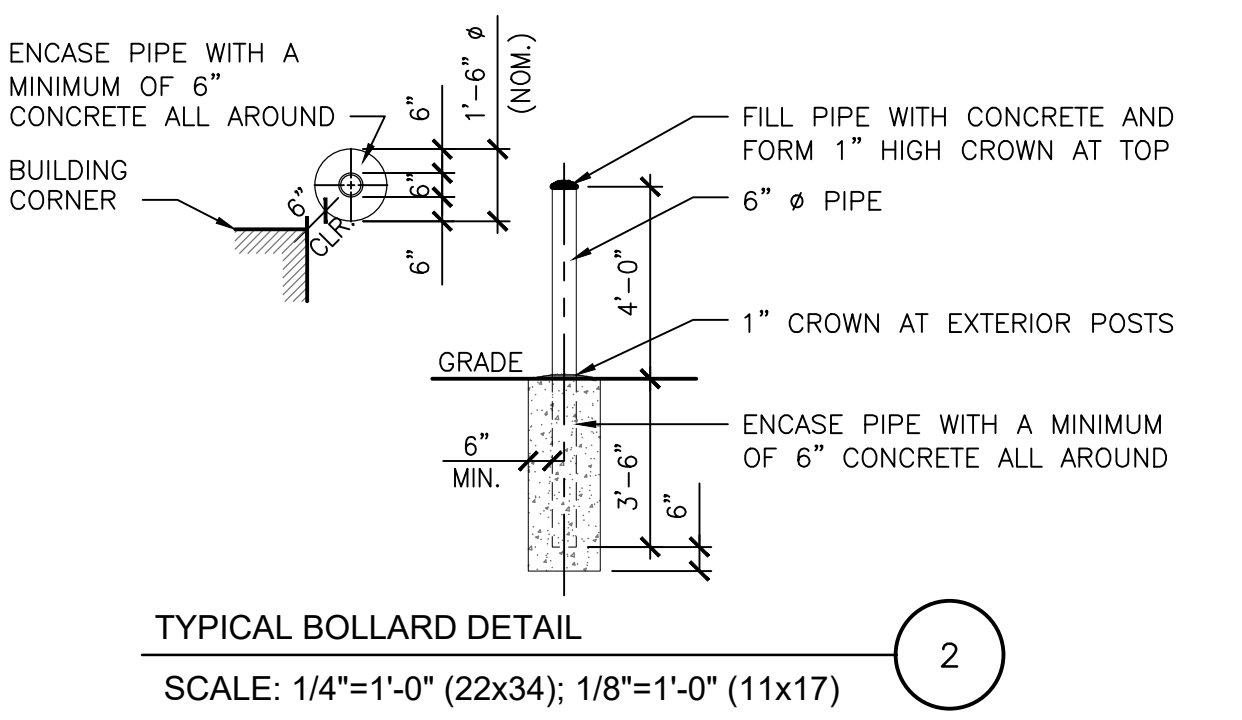
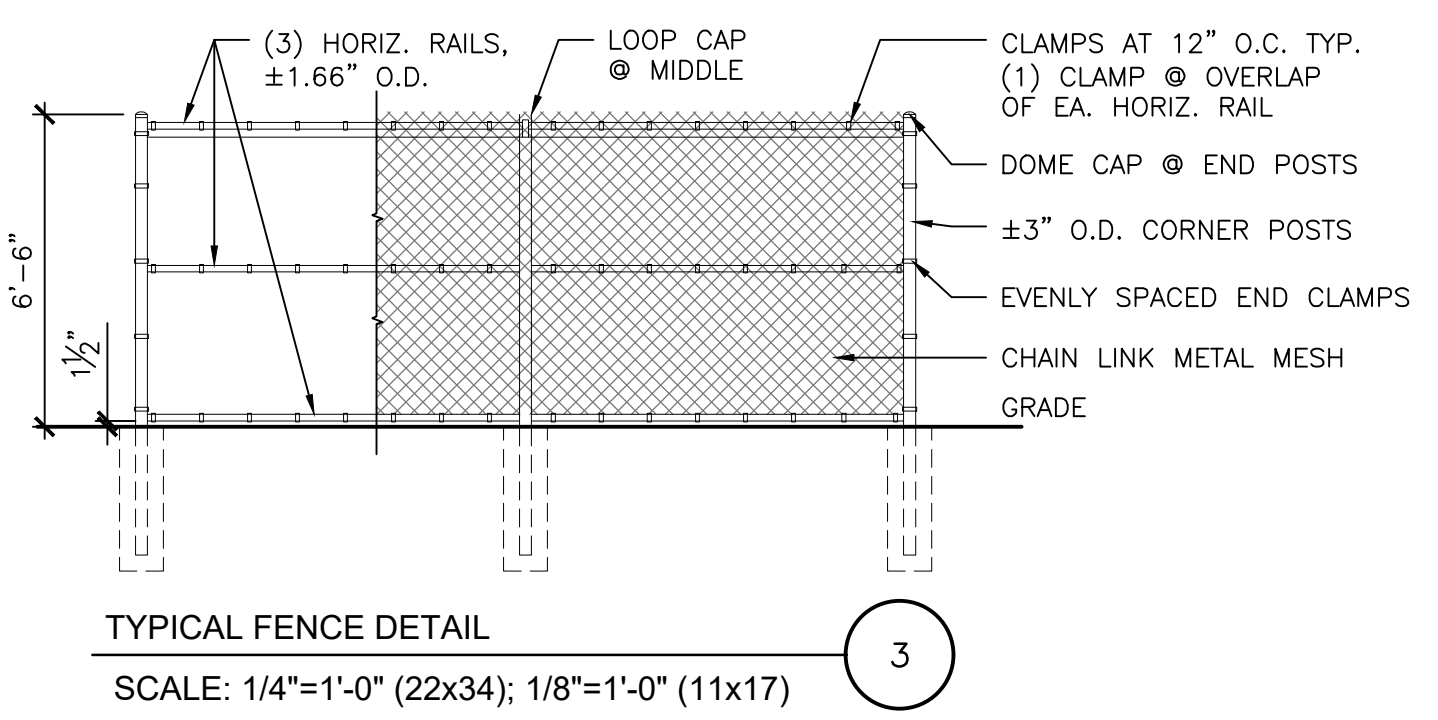
PROJECT INFORMATION - LOT #2 ONLY

OWNER ADDRESS	230 SUSSEX STREET LLC 227 SUSSEX ST. PEWAUKEE, WI 53072-2520
ZONING	B-5 LIGHT INDUSTRIAL
CONDITIONAL USE	WAREHOUSING/ACCESSORY STORAGE YARD
LOT SIZE	CURRENT 14.54 ACRES DEVELOPED 14.54 ACRES CHANGE NONE
BUILDINGS (GSF)	1,038.6 58,600 57,561.4 S.F.
BUILDING HEIGHT	±11'-6"
FAR	9.25%
LOT SIZE	14.54 ACRES
LOT COVERAGE	24.03% AVG. >1 ACRE
GREENSPACE RATIO	75.97% AVG. 65% MAX. 35% MIN.

ACCESS HOURS:
24 HOURS PER DAY, 7 DAYS PER WEEK
SECURE SITE WITH ACCESS CONTROL

EMPLOYEES: NO FULL TIME EMPLOYEES ON SITE

PARKING: UNOCCUPIED BUILDINGS, HANDICAP PARKING PROVIDED FOR HANDICAP ACCESSIBLE UNITS



THRIVE ARCHITECTS

Architect
259 South Street, Suite A
Waukesha, WI 53186
p: 833-380-6180
e: jdb@thrive-architects.com

wellspring CONSTRUCTION GROUP

Contractor
227 Sussex Street
Pewaukee, WI 53072
p: 262-696-4492
e: tim@wellspringcg.com

Project Info. — 21112

SUSSEX SELF STORAGE
NEW CONSTRUCTION

227 Sussex Street
Pewaukee, WI 53072

Sheet Title

LANDSCAPE PLAN

Drawn by	Checked by
AMP	---

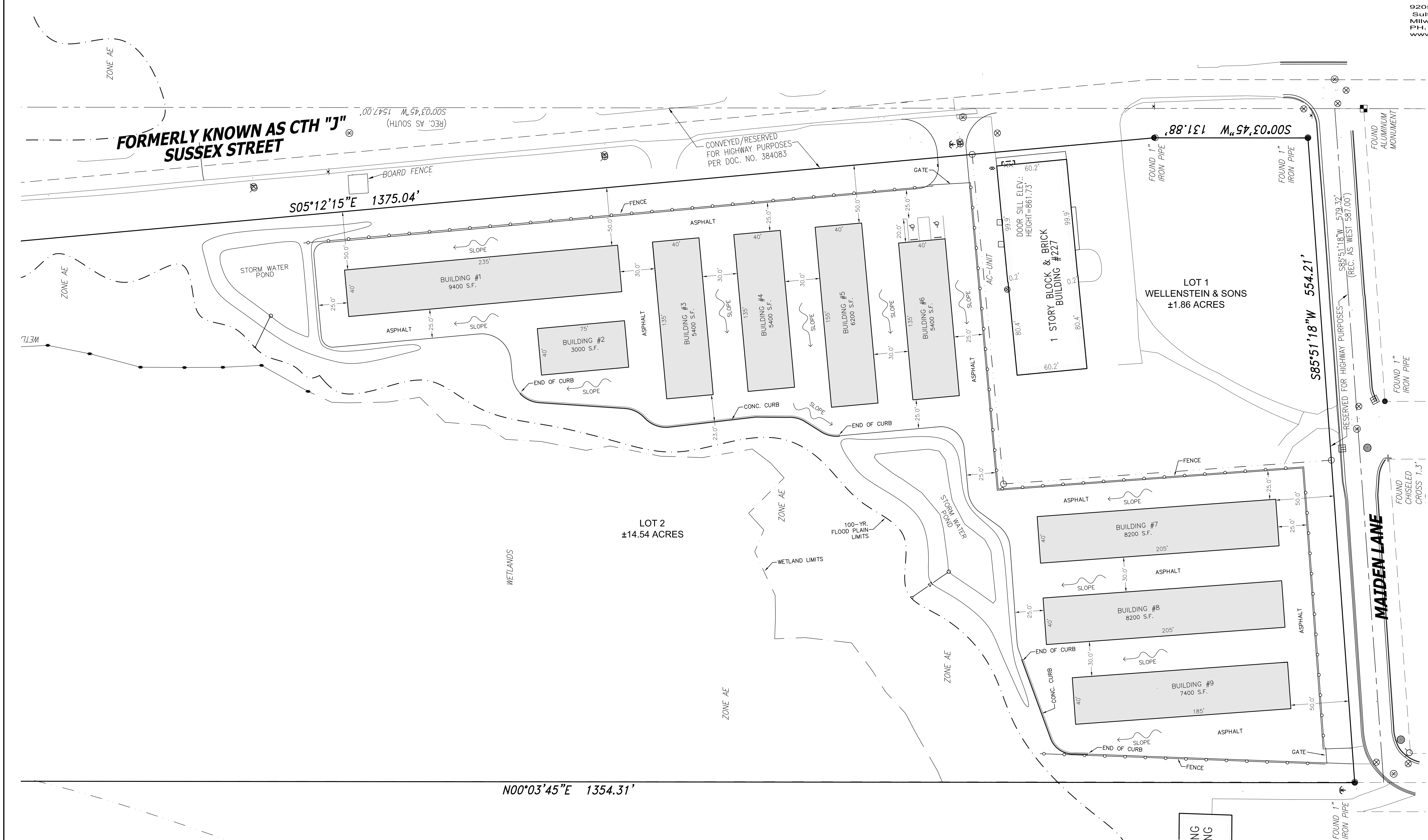
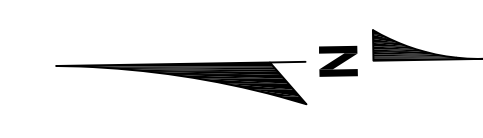
Revisions

No.	Date	Description
1	11.11.21	Preliminary

Sheet No.

L1.0

NOT FOR CONSTRUCTION



**FORMERLY KNOWN AS CTH "J"
 SUSSEX STREET**

CONVEYED/RESERVED
 FOR HIGHWAY PURPOSES
 PER DOC. NO. 384083

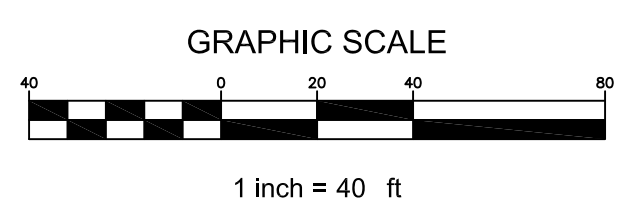
**LOT 1
 WELLENSTEIN & SONS
 ±1.86 ACRES**

**LOT 2
 ±14.54 ACRES**

SUSSEX ST SELF-STORAGE
 VILLAGE OF PEWAUKEE, WISCONSIN

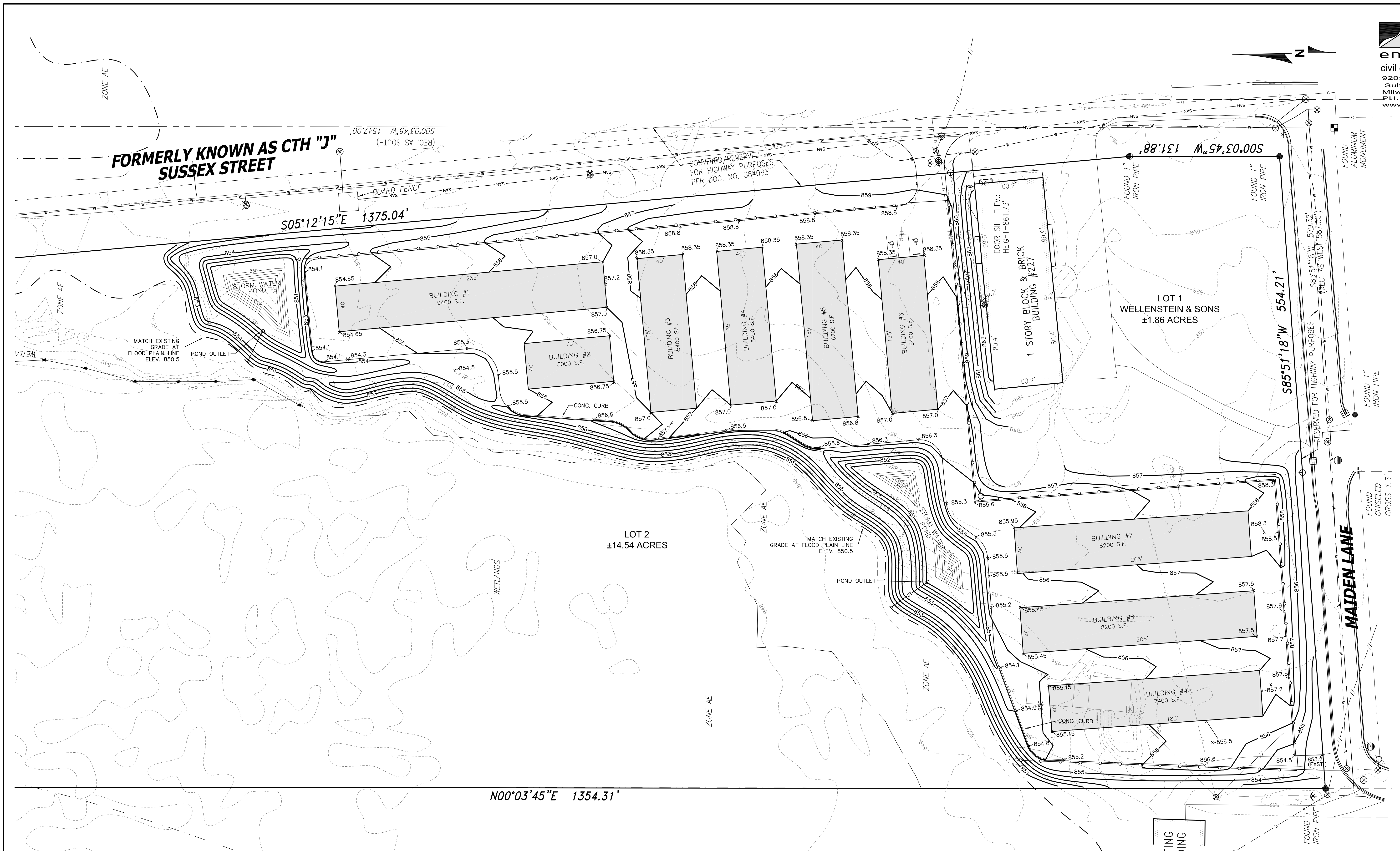
$N00^{\circ}03'45''E$ 1354.31'

SITE PLAN C1.0



- NOTES:**
1. EXISTING CONDITIONS PER SURVEY BY CHAPUT LAND SURVEYS, DATED 10-12-2020.
 2. WETLAND LOCATION PER FIELD DELINEATION BY HEARTLAND ECOLOGICAL GROUP, INC. 09-17-2020.
 3. ALL BUILDING ROOF RUNOFF SHALL SPILL TO GRADE.
 4. DISTURBED AREA: 240,300 S.F. (5.52 ACRES)

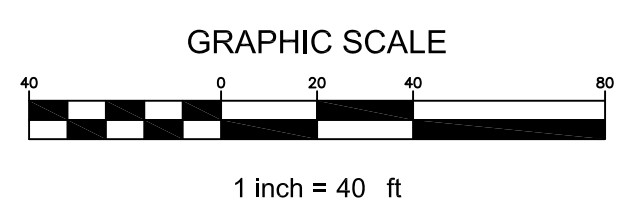
CJE NO.: 2169RI
 NOV. 16, 2021



LEGEND

--- 852 ---	EXISTING CONTOUR
--- 857 ---	PROPOSED CONTOUR
x 856.5	PROPOSED ELEVATION
--- ST ---	EXISTING STORM SEWER
--- ST ---	PROPOSED STORM SEWER
--- SAN ---	EXISTING SANITARY SEWER
--- W ---	EXISTING WATER MAIN
--- G ---	UNDERGROUND GAS MAIN
--- TEL ---	UNDERGROUND TELEPHONE
--- E ---	UNDERGROUND ELECTRIC

DIGGERS HOTLINE
 CALL DIGGERS HOTLINE
 811 or 1-800-242-8511 / MILW. AREA
 259-1181
 WIS STATUTE 182.0175(1974) REQUIRES MIN.
 3 WORK DAYS NOTICE BEFORE YOU
 EXCAVATE



- NOTES:**
- EXISTING CONDITIONS PER SURVEY BY CHAPUT LAND SURVEYS, DATED 10-12-2020.
 - WETLAND LOCATION PER FIELD DELINEATION BY HEARTLAND ECOLOGICAL GROUP, INC. 09-17-2020.
 - ALL PROPOSED SPOT GRADES ALONG THE CURB AND AT THE FLANGE LINE.
 - ALL BUILDING ROOF RUNOFF SHALL SPILL TO GRADE.
 - DISTURBED AREA: 240,300 S.F. (5.52 ACRES)

SITE GRADING PLAN C2.0

CJE NO.: 2169RI
 NOV. 16, 2021



wellspring
CONSTRUCTION GROUP

227 Sussex Street
Pewaukee, WI 53072
262.806.4482

Imagination | Experience | Results
www.wellspringcg.com

PROJECT INFORMATION

Sussex Street Self Storage

227 Sussex St.
Pewaukee, WI 53072

ISSUANCE AND REVISIONS

Issued for Review

REVISIONS

#	Description	Date

SHEET INFORMATION

OWNERSHIP AND USE OF DOCUMENTS

The drawings, specifications and other documents furnished by the Design/Builder are instruments of service and shall not become the property of the Owner whether or not the Project for which they are made is completed. Drawings, specifications and other documents furnished by the Design/Builder shall not be used by the Owner on other projects, for additions to this project or for completion or use, liability and compensation. Submission or distribution of documents to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of the Design/Builder's or the Architect's common law copyrights or other reserved rights. The Owner shall own neither the documents nor the copyrights.

PROJECT NUMBER	00337
DATE	11.11.2021
DRAWN BY	JDP

Site Lighting Plan

SL100

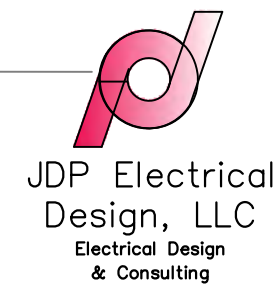
Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
	OA	72	GUARD PACK WPGP-28-40-T3S	WALLPACK BUILDING MOUNTED 9.5' AFG	4000K LED	1	3603.866	1	28.1

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE PLAN	+	1.9 fc	14.5 fc	0.0 fc	N/A	N/A



N00°05'45"E 1364.31'

site photometric lighting plan
1" = 40'-0"



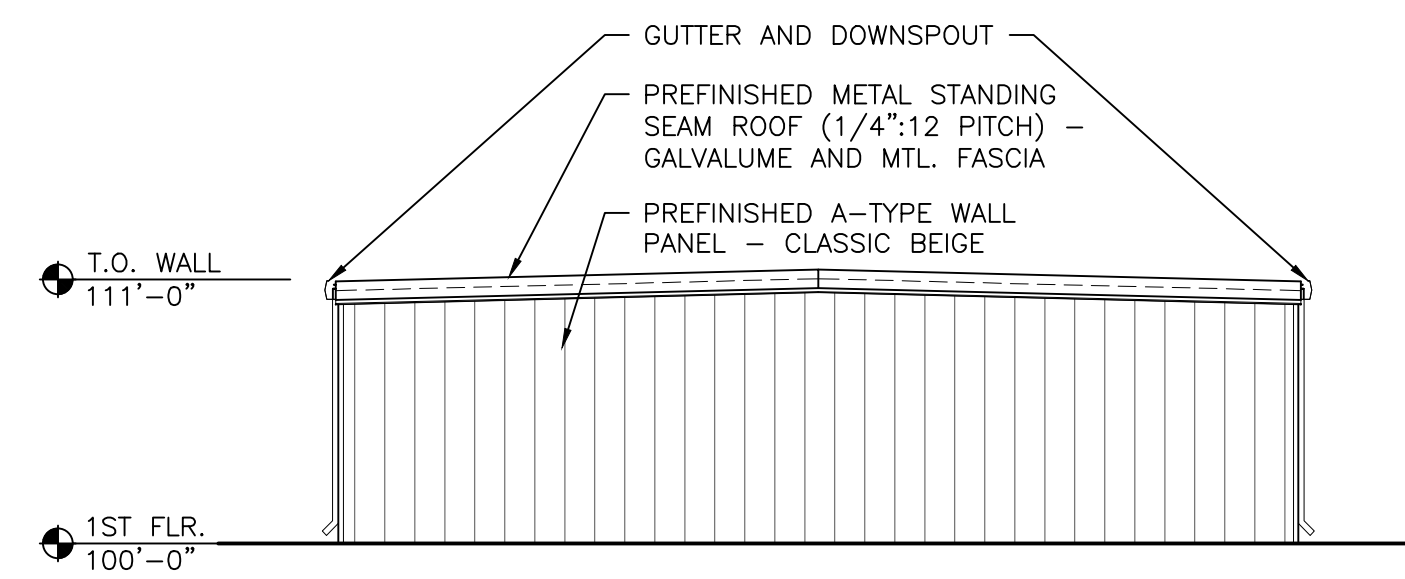
563 516367 College Ave.
Muskego, WI 53150
jdp@electricaldesign.com
(414) 750-2006

BUILDING 1 - PLAN AND ELEVATIONS

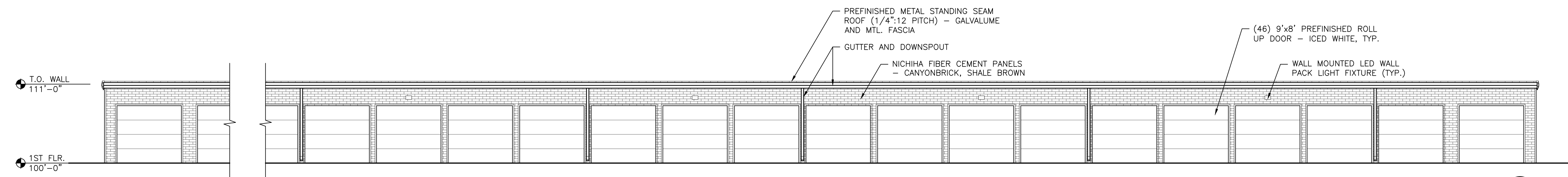
Drawn by	Checked by
AMP	---

Revisions

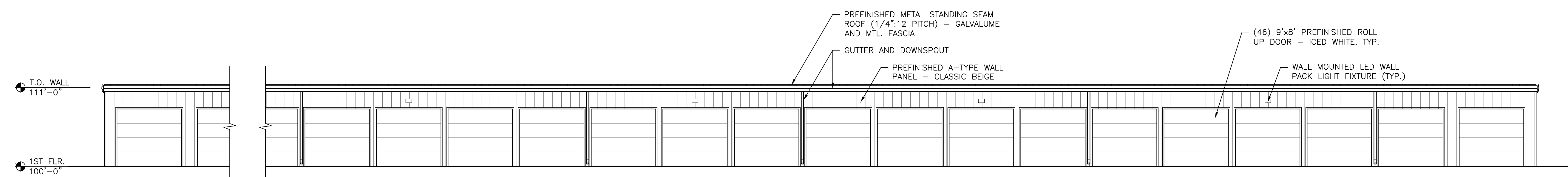
No.	Date	Description
1	11.11.21	Preliminary



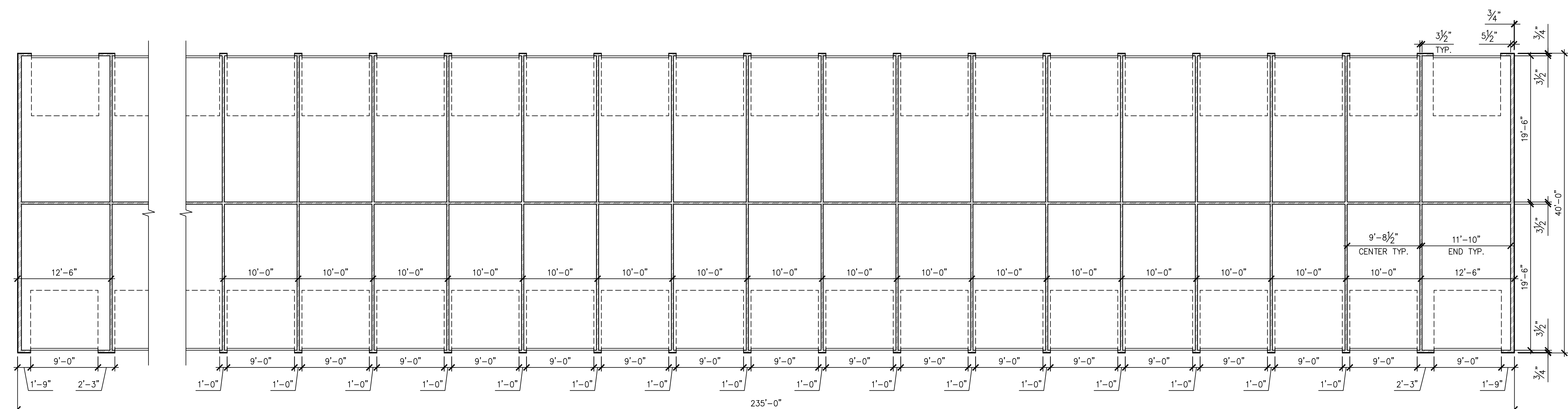
BUILDING 1 - NORTH/SOUTH ELEVATION
 SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17) 4



BUILDING 1 - EAST ELEVATION
 SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17) 3



BUILDING 1 - WEST ELEVATION
 SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17) 2



BUILDING 1 - PLAN
 SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17) 1



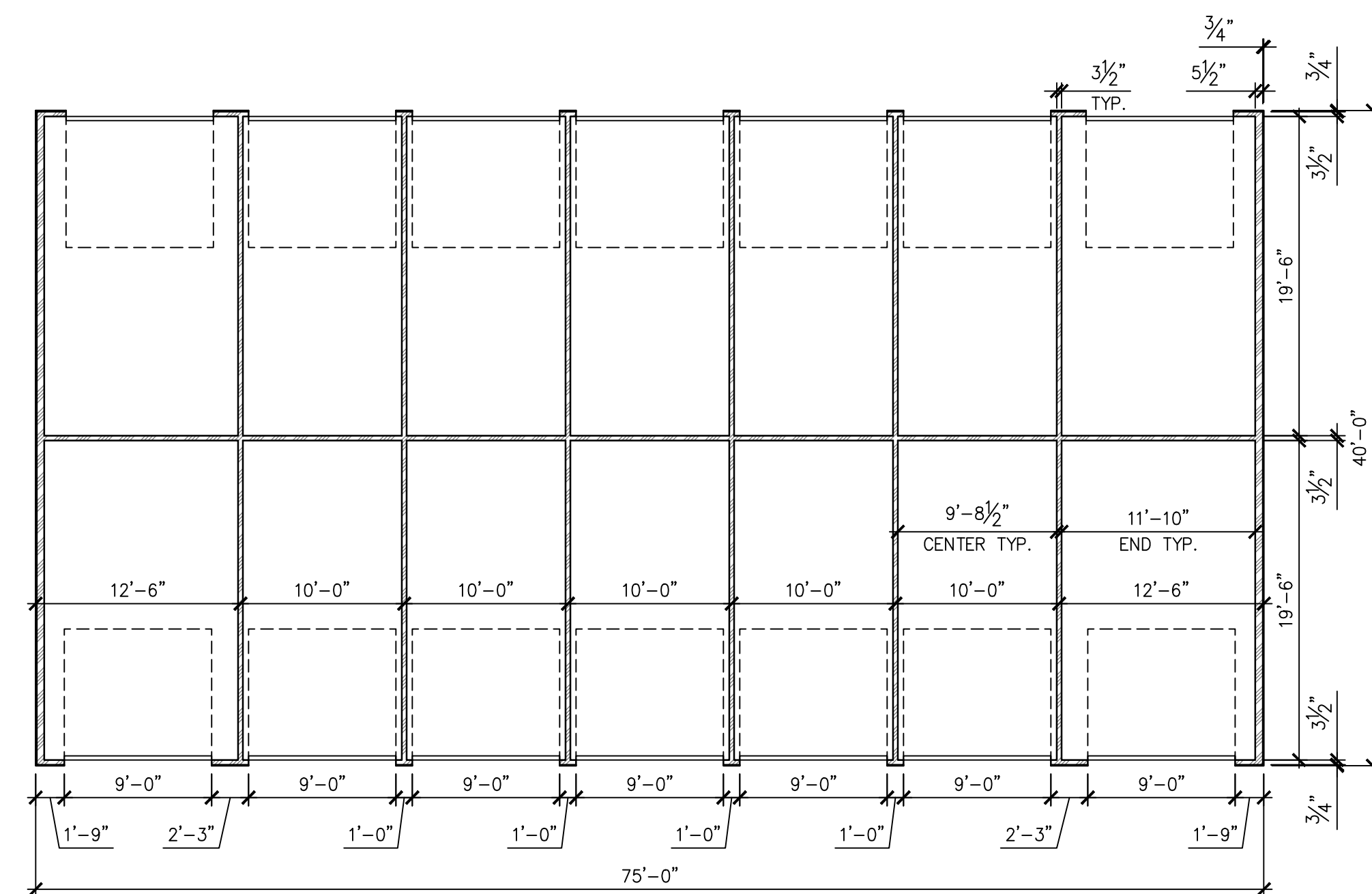
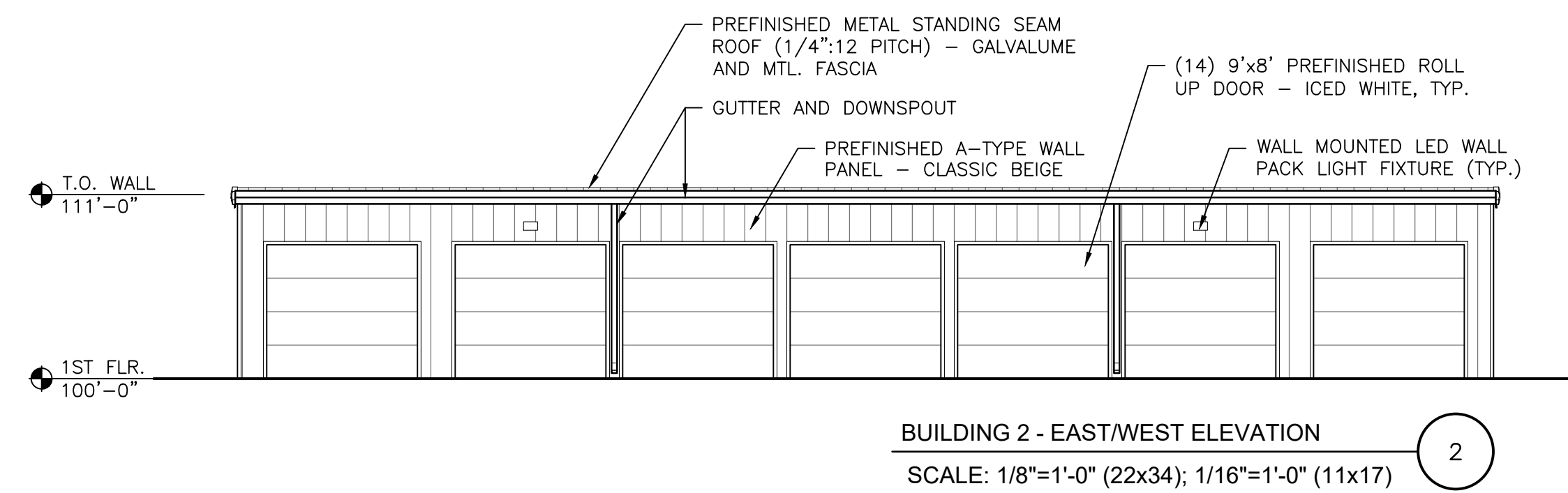
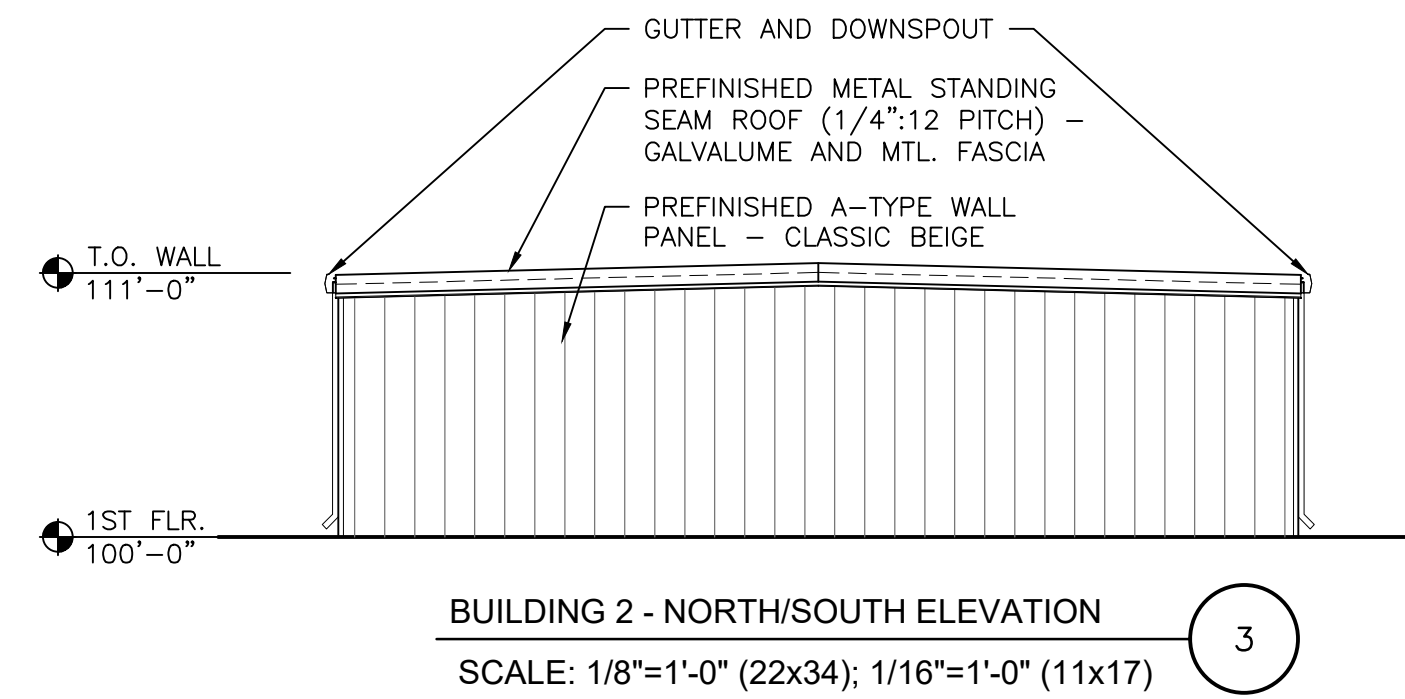
NOT FOR CONSTRUCTION

BUILDING 2 - PLAN AND ELEVATIONS

Drawn by	Checked by
AMP	---

Revisions

No.	Date	Description
	11.11.21	Preliminary



NOT FOR CONSTRUCTION

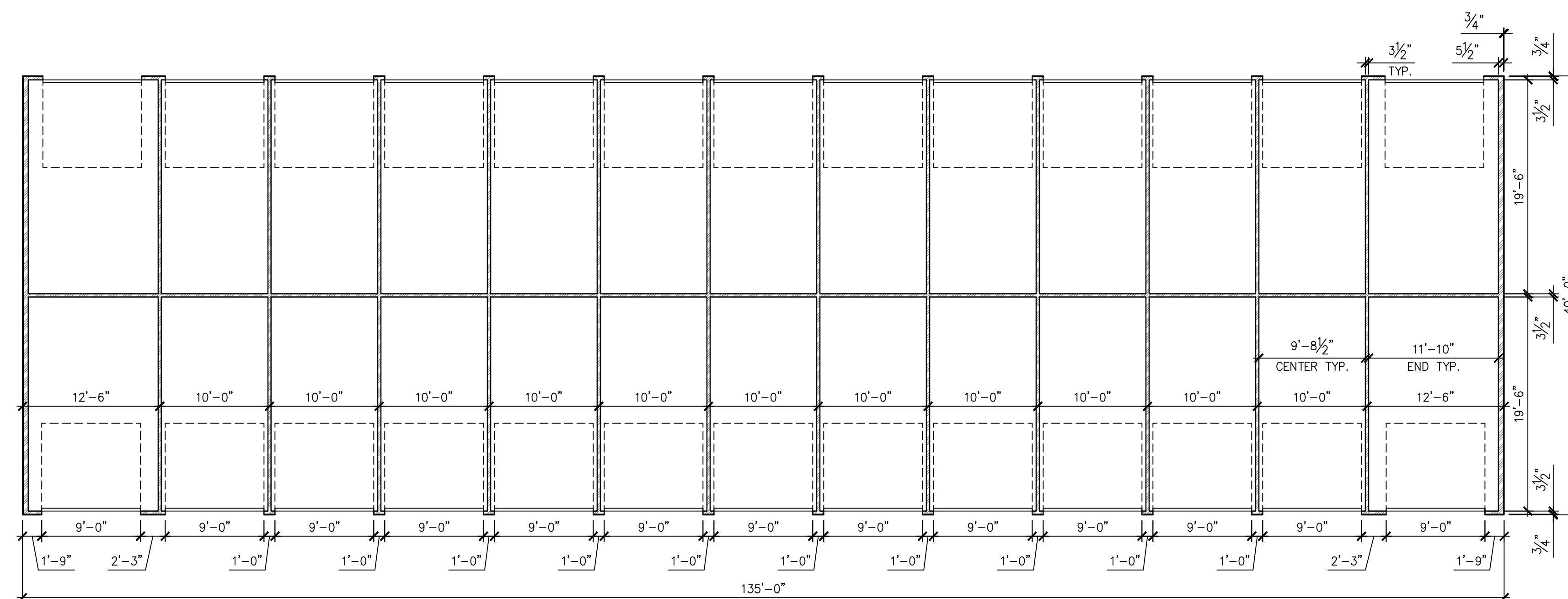
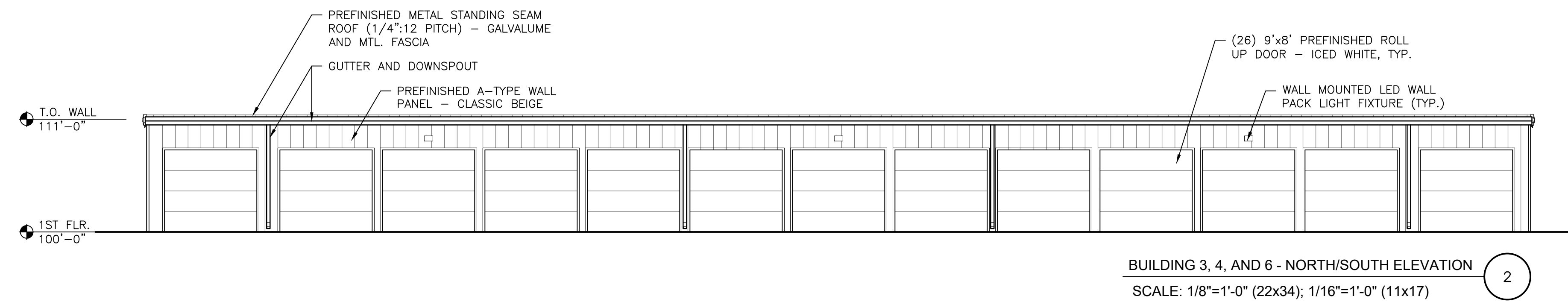
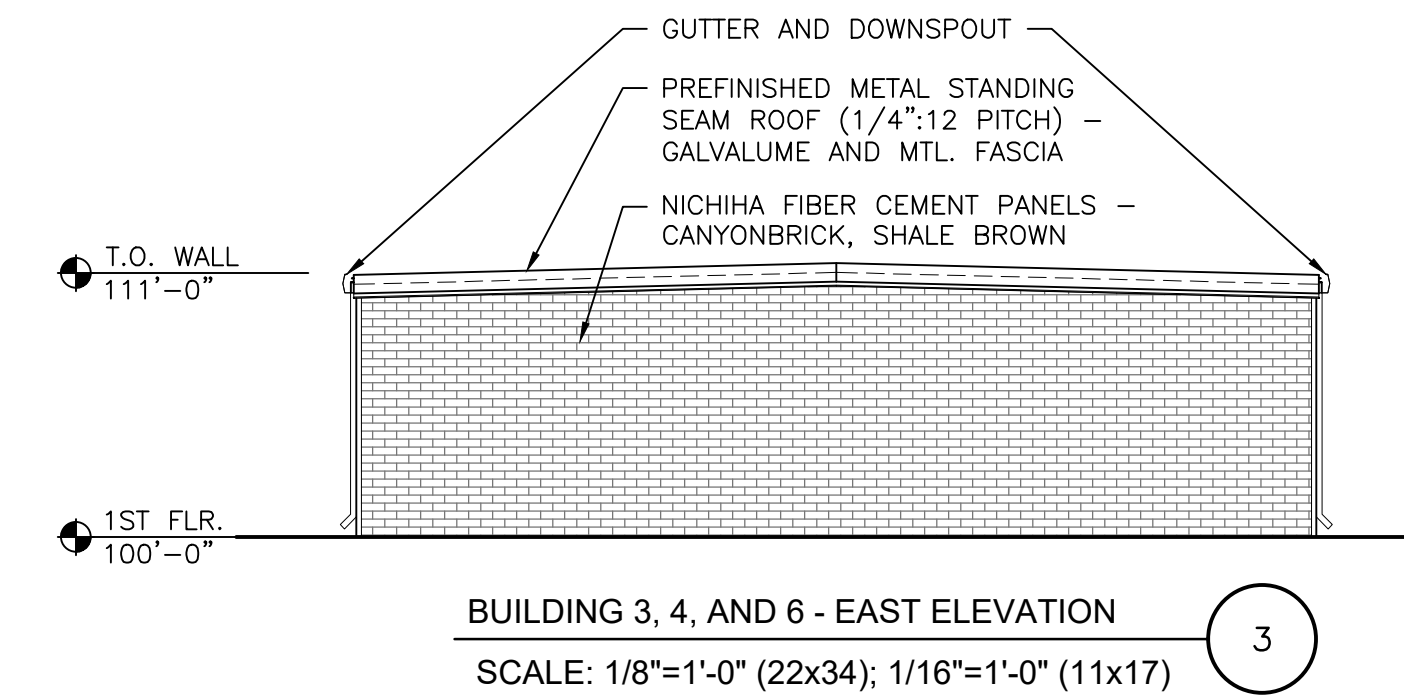
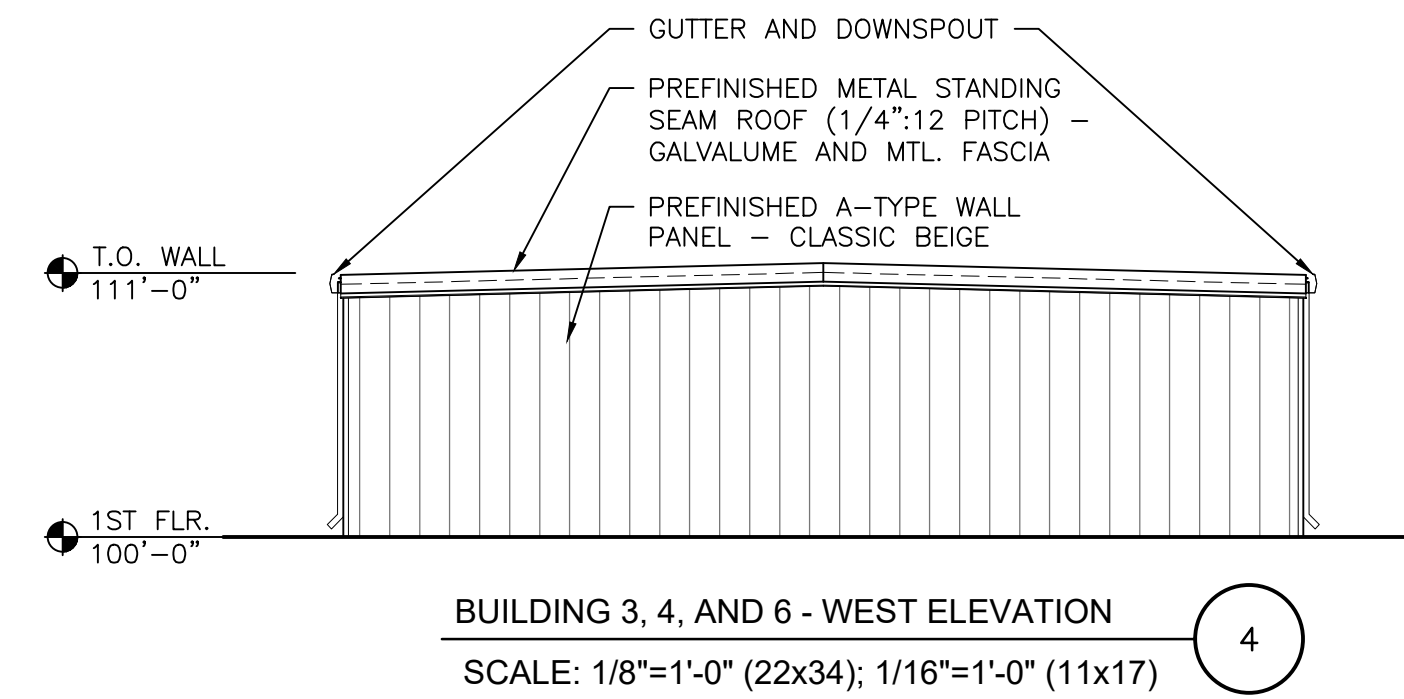


**BUILDING 3, 4,
 AND 6 - PLAN AND
 ELEVATIONS**

Drawn by	Checked by
AMP	---

Revisions

No.	Date	Description
1	11.11.21	Preliminary



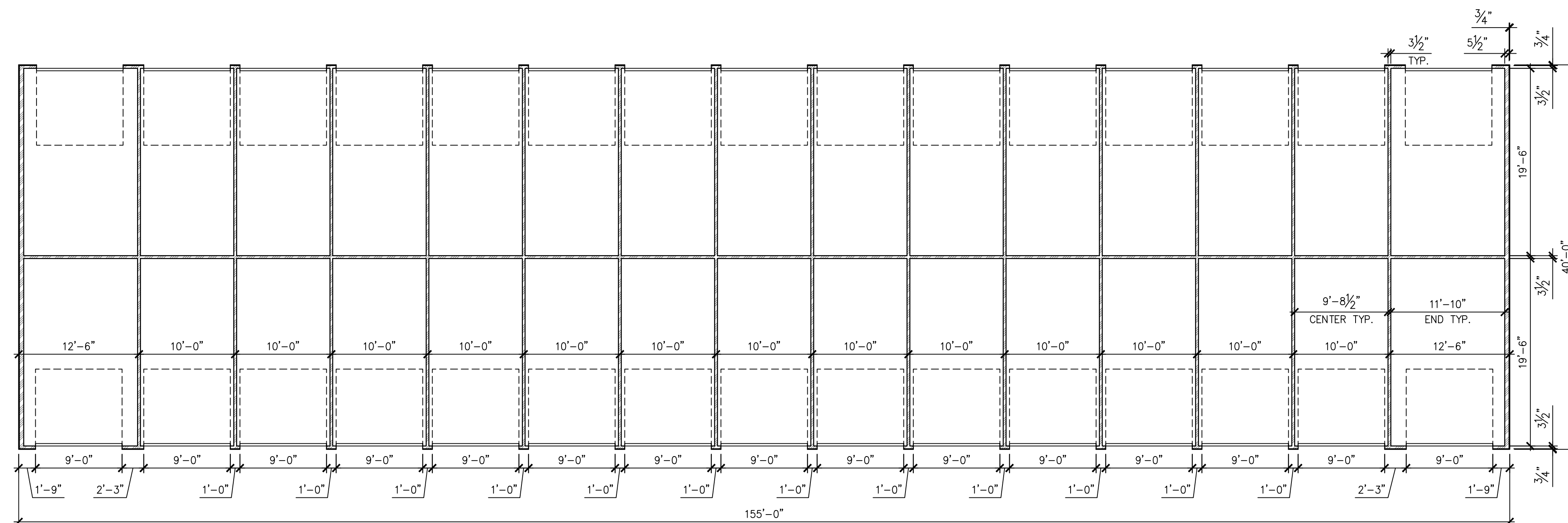
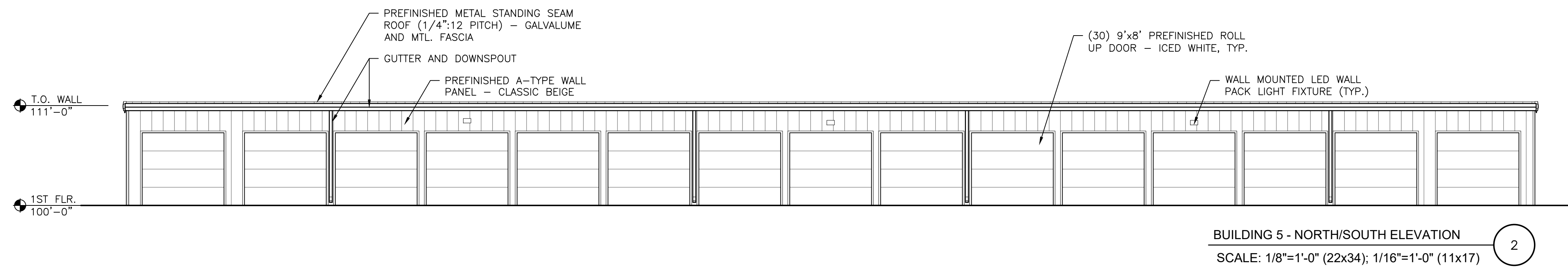
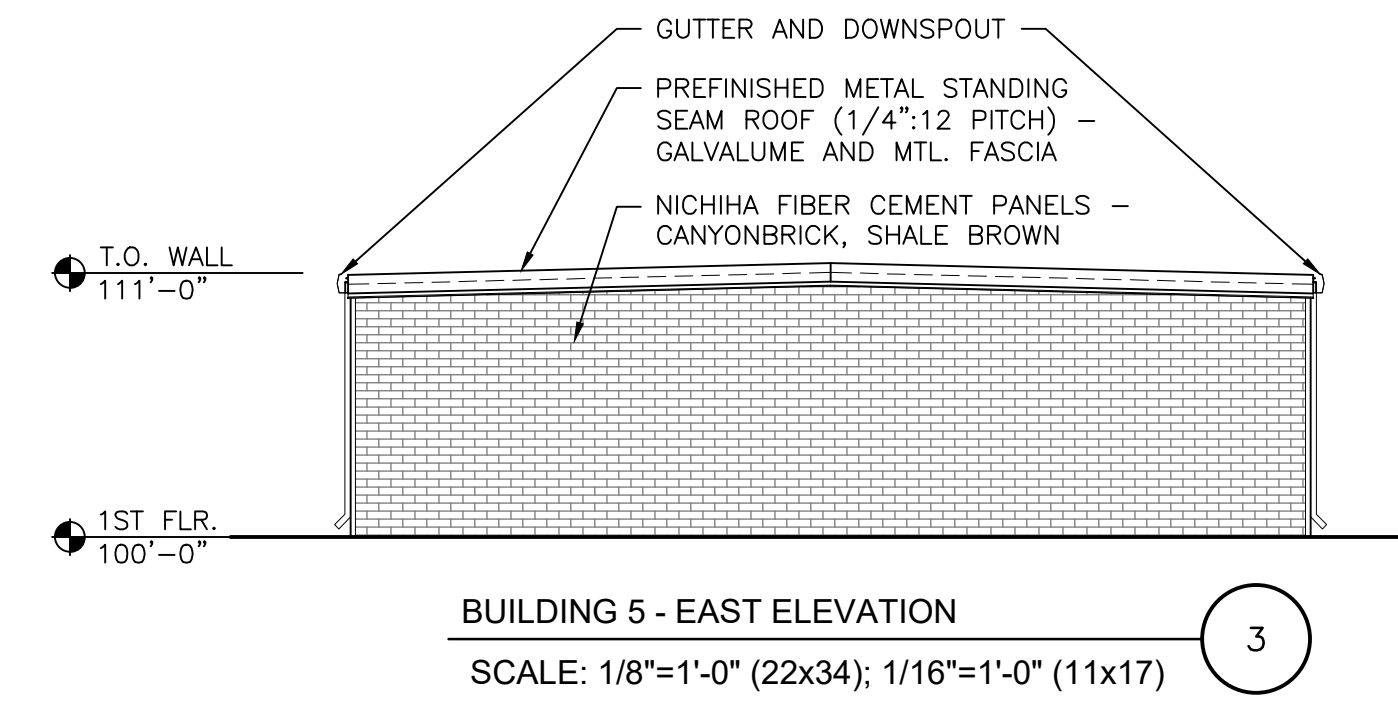
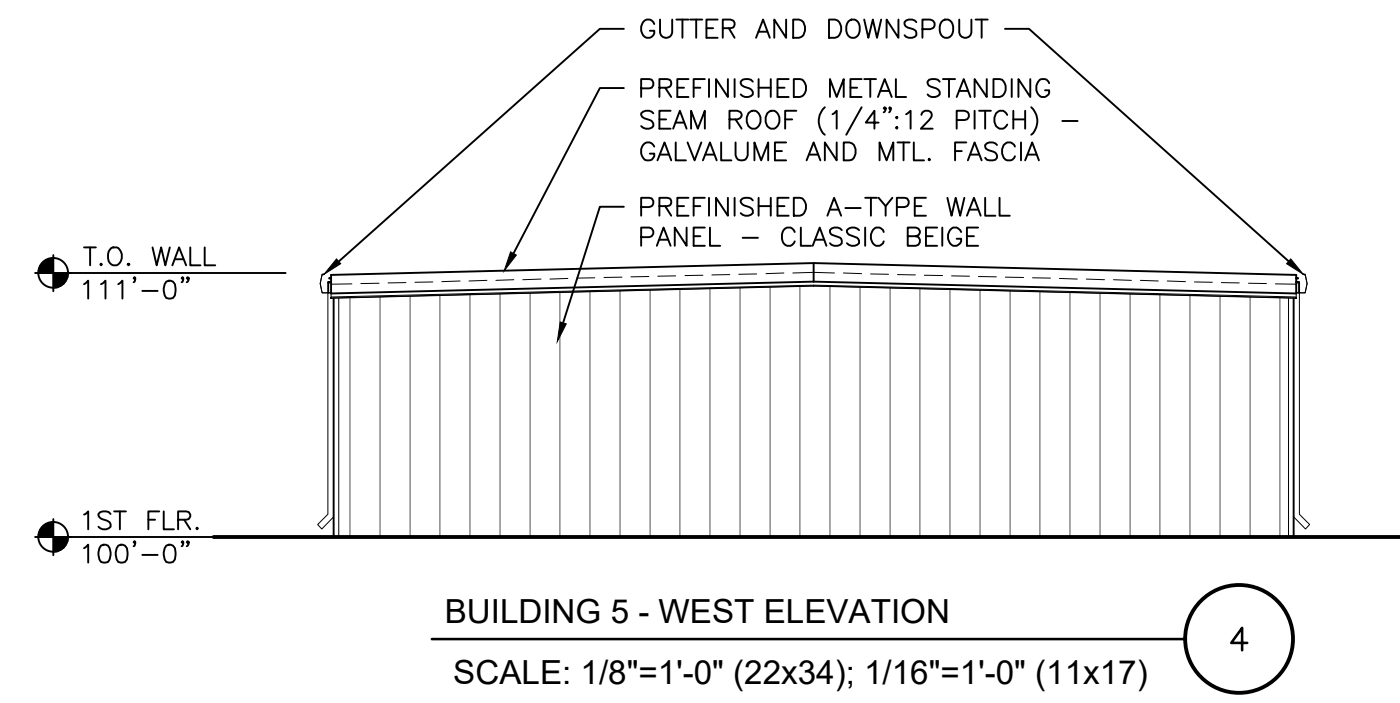
NOT FOR CONSTRUCTION

BUILDING 5 - PLAN AND ELEVATIONS

Drawn by	Checked by
AMP	---

Revisions

No.	Date	Description
1	11.11.21	Preliminary



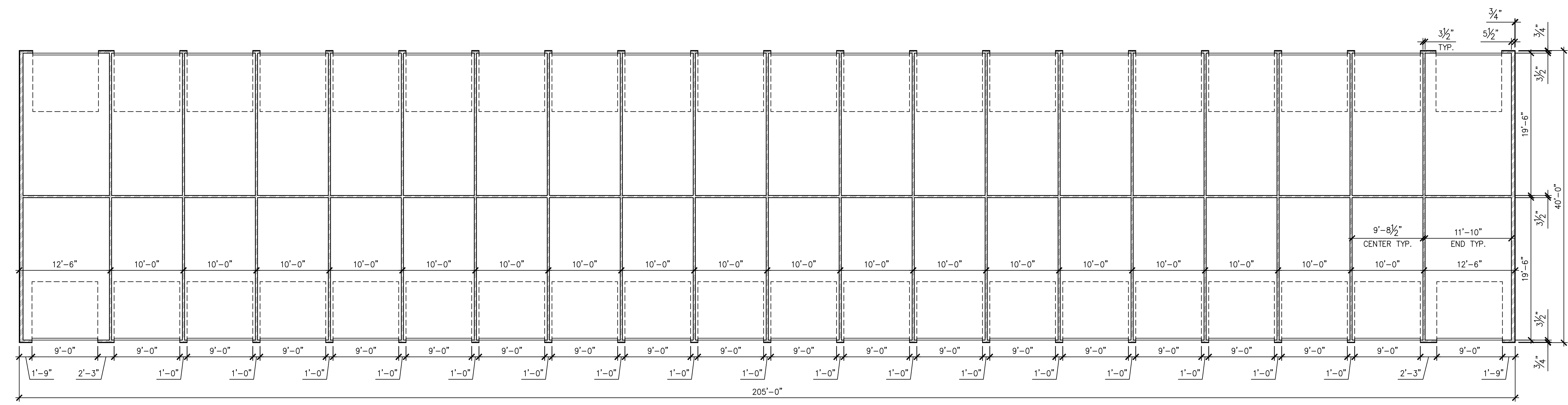
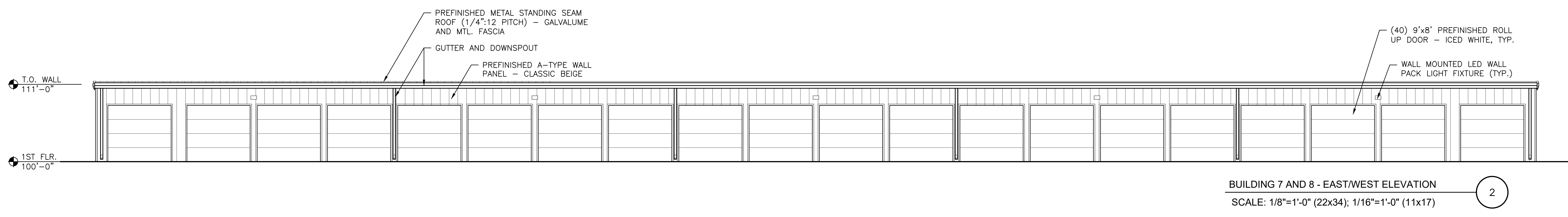
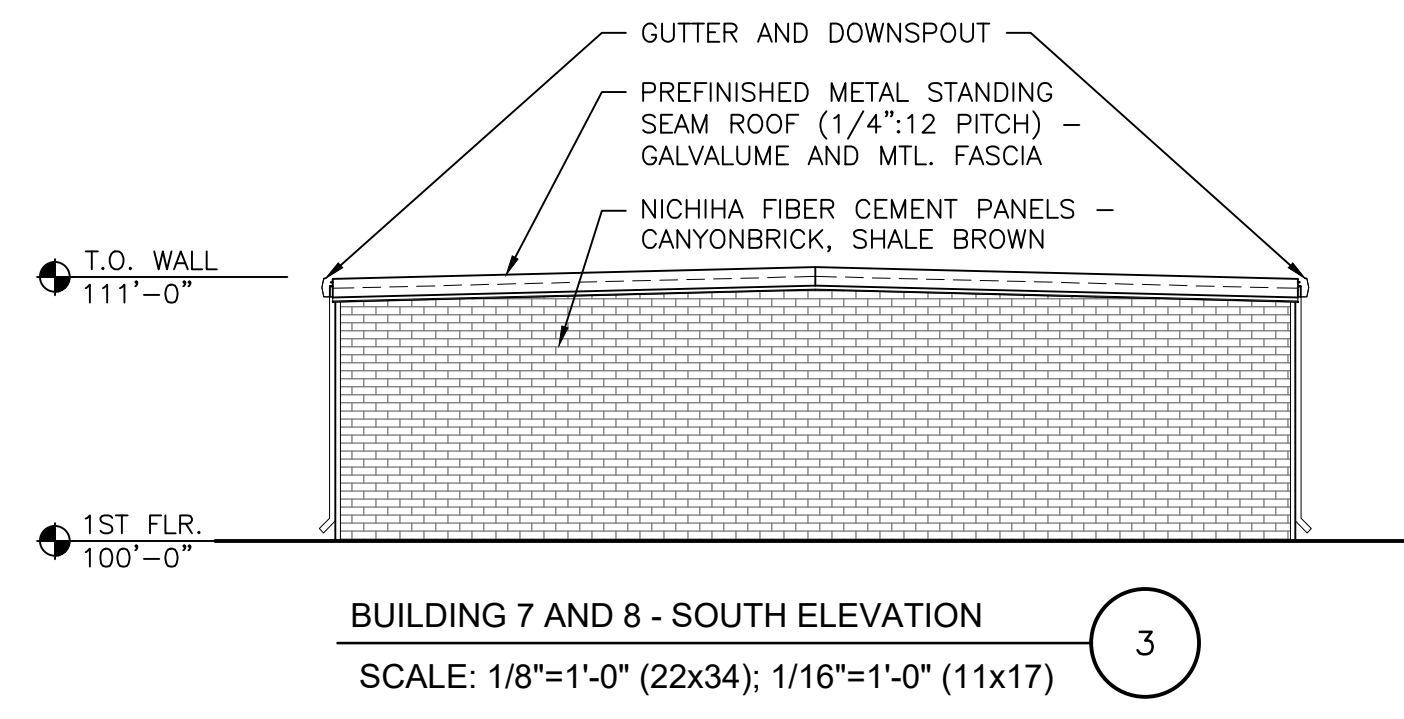
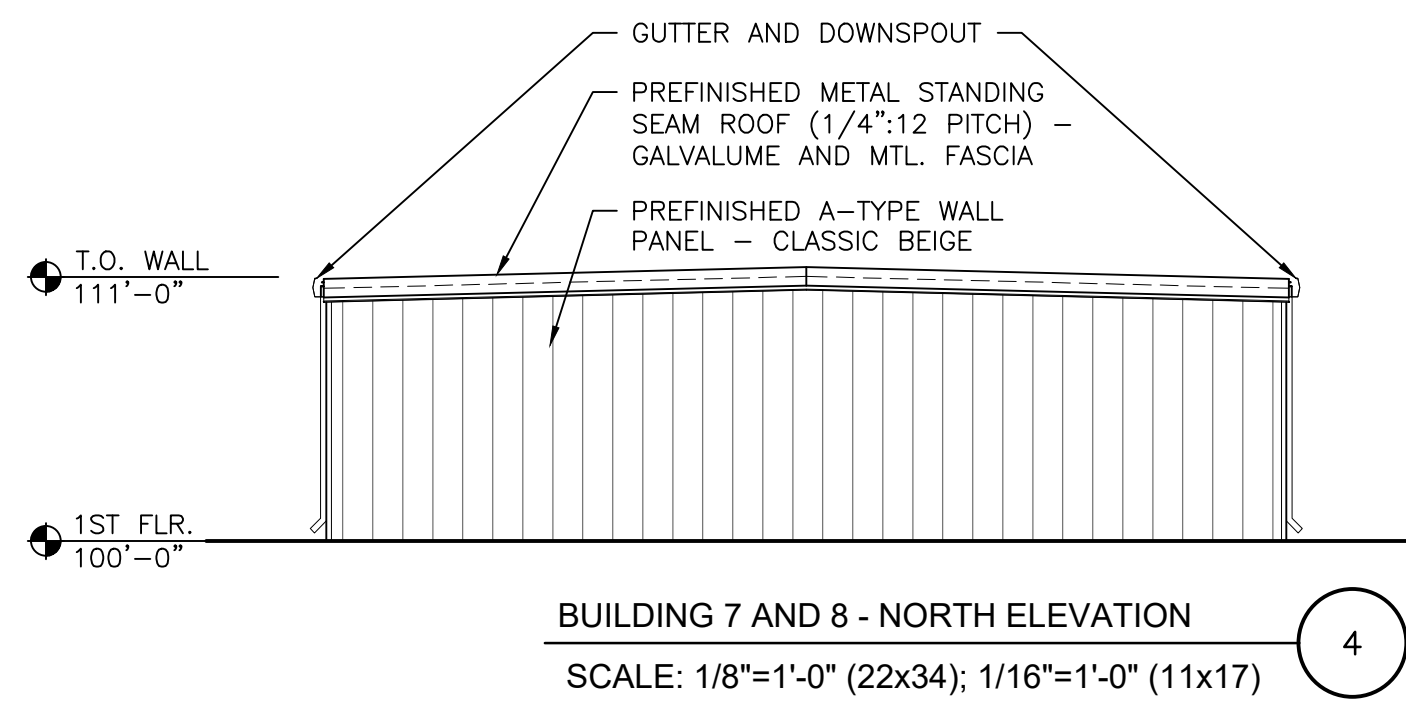
NOT FOR CONSTRUCTION

BUILDING 7 AND 8 - PLAN AND ELEVATIONS

Drawn by	Checked by
AMP	---

Revisions

No.	Date	Description
1	11.11.21	Preliminary



NOT FOR CONSTRUCTION

BUILDING 9 - PLAN AND ELEVATIONS

Drawn by	Checked by
AMP	---

Revisions

No.	Date	Description
1	11.11.21	Preliminary

NOT FOR CONSTRUCTION

