



PLAN COMMISSION AGENDA

January 13, 2022 – 7:00 pm

Village Hall
235 Hickory Street, Pewaukee, WI 53072

1. Call to Order and Roll Call
2. Public Hearings.
 - a. On proposed updates to the Village of Pewaukee Comprehensive Plan - 2035.
 - b. On Conditional Use Grant request to locate/operate an automobile service facility (i.e. StreetWorks Exotics) in the existing building/site located at 600 Hickory Street. The applicant is Matt Backhaus d/b/a StreetWorks Exotics. The property owner is Road Runner Venture LLC in c/o Matthew Quest. The property is zoned B-5 Light Industrial District.
3. Citizen Comments – *This is an opportunity for citizens to share their opinions with Board Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Board is not able to answer questions or respond to your comments. All comments should be directed to the Board. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*
4. Approval of the Minutes:
 - a. Regular Plan Commission Meeting – December 9, 2021
5. Old Business.
 - a. Review, discussion and possible action/recommendation to the Village Board on the Conditional Use Grant request to construct a multi-family building/use (i.e. a duplex) at 203 E. Wisconsin Avenue. The property owners/applicants are Joanne Koehler and Dwight Zoellner. The property is zoned B-2 Downtown Business District.
 - b. Review and possible recommendation to Village Board on updates to the Village of Pewaukee Comprehensive Plan – 2035.
6. New Business.
 - a. Review, discussion and possible action on the Conditional Use Grant request to locate/operate an automobile service facility (i.e. StreetWorks Exotics) in the existing building/site located at 600 Hickory Street. The applicant is Matt Backhaus d/b/a StreetWorks Exotics. The property owner is Road Runner Venture LLC in c/o Matthew Quest. The property is zoned B-5 Light Industrial District.
 - b. Review, discussion and possible recommendation to the Village Board for approval of a certified survey map dividing the building and related site improvements at 227 Sussex Street onto a 1.868-acre lot of its own and leaving a remnant (principally vacant) 15.8209-acre parcel. The applicant is Wellspring Construction Group LLC in c/o Tim Knepprath. The property owner is 230 Sussex Street LLC. The property is zoned B-5 Light Industrial District and FC Floodplain Conservancy District.
 - c. Review, discussion and possible recommendation to the Village Board for Planned Unit Development (PUD) Overlay District rezoning (including the underlying building architecture/materials/colors, site layout, exterior lighting, landscaping, fencing, and similar related plans) for a proposed 336 +/- unit personal storage development in eight buildings proposed to be located immediately north and west of (and adjacent to) 227 Sussex Street. The applicant is Wellspring Construction Group LLC in c/o Tim Knepprath. The property owner is 230 Sussex Street LLC. The 15.8209-acre property is zoned B-5 Light Industrial District and Floodplain Conservancy.

d. Review, discussion and consultative feedback regarding the side and rear yard offset requirements for attached building features such as decks/porches/seasonal rooms in the Residential Infill-Redevelopment Overlay (RIRO) zoning district. This matter is Village initiated.

7. Citizen Comments. – *This is an opportunity for citizens to share their opinions with Board Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Board is not able to answer questions or respond to your comments. All comments should be directed to the Board. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*

8. Adjournment

Note: It is possible that members and/or possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; action will not be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in the notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. To request such assistance, contact the Village Clerk at 262-691-5660.

Dated: January 7, 2022



PLAN COMMISSION MINUTES

December 9, 2021 – 7:00 pm

DRAFT - DRAFT - DRAFT - DRAFT - DRAFT - DRAFT - DRAFT - DRAFT - DRAFT

1. Call to Order and Roll Call

President Knutson called the meeting to order at approximately 7:00 p.m.

Plan Commission members present: Comm. Theresa Hoff, Comm. Cheryl Mantz, Comm. Ryan Lange, Comm. Brian Belt, Trustee Craig Roberts and President Jeff Knutson. Comm. Jim Grabowski was excused.

Also present: Village Planner Mary Censky, Village Contract Engineer Tim Barbeau, Village Attorney Matt Gralinski, Village Administrator Scott Gosse, and Deputy Clerk-Treasurer Jackie Schuh.

2. Public Hearings

a. Request for Conditional Use Grant approval to construct a multi-family building/use (i.e. a duplex) at 203 E. Wisconsin Avenue. The property owners/applicants are Joanne Koehler and Dwight Zoellner. The property is zoned B-2 Downtown Business District.

Jason Szymanowski at 304 E. Wisconsin Ave. - Mr. Szymanowski raised questions regarding building plans, who the property owner is, where the entrance will be and whether it will require an easement. He also raised concerns regarding traffic and parking at that location.

3. Citizen Comments - None.

4. Approval of the Minutes:

a. Regular Plan Commission Meeting – November 11, 2021

Comm. Grabowski motioned, seconded by Comm. Mantz to approve the minutes of the November 11, 2021, Regular Plan Commission meeting as Presented.

Motion carried 4-2-0, with Comm. Belt and Comm. Hoff abstaining.

5. Old Business – None

6. New Business

a. Review, discussion and possible action on the Conditional Use Grant request to construct a multi-family building/use (i.e. a duplex) at 203 E. Wisconsin Avenue. The property owners/applicants are Joanne Koehler and Dwight Zoellner. The property is zoned B-2 Downtown Business District.

Planner Censky explained that conditional uses such as the proposed multi-family building are included in the B-2 Downtown Business District but are subject to approval by both the Plan Commission and the Village Board to ensure the development will not be detrimental to the surrounding area or have an adverse impact upon the public health, safety and welfare. This development was brought before the commission in September 2020 and has returned with a plan for a two-dwelling, side-by-side, three-story development. Both units face E. Wisconsin Ave. and

have garage units in the lowest level of the building which are accessible only via an easement/accessway that enters from Clark St. and runs behind its property. Per Censky, the setback and offsets meet necessary distance requirements but she was unsure as to the open space requirements. She suggested that the pavement be removed in front of the units to meet the open-space requirements and to discourage parking there. Consult Engineer Tim Barbeau indicated that traffic would not likely be an issue but also suggested that the hard surface in front of the building be removed. Per Barbeau, no stormwater management will be required but suggested the impervious area to the rear of the building be removed and replaced with topsoil and seed to allow some run-off infiltration. Data was limited and in some cases inconsistent so a site grading and drainage plan with Village Engineer approval will be needed. He also suggested all underground work for laterals be done prior to the road reconstruction project. Discussion followed regarding the need to close the curb cut so there is no question as to parking in front of the building, depicting access/easements on plans, clarification as to the number of parking spaces per unit, whether an HOA is necessary with this type of development, green-space requirements and the need for the applicant to secure an amendment to the Comprehensive Plan Land Use Plan Map to change the category of land use for this site from existing single-family residential to proposed general commercial.

Trustee Roberts motioned, seconded by Comm. Belt to table item 6(a) for the Conditional Use Grant to construct a multi-family building/use (i.e. a duplex) at 203 E. Wisconsin Avenue until more information is available from the applicant. Motion carried unanimously.

b. Review, discussion and consultative feedback to the applicant, Wellspring Construction Group LLC (in/c/o Tim Knepprath), on a potential Planned Unit Development (“PUD”) plan including a “mini warehousing” use in the B-5 Zoning District. The prospective development project would encompass the presently vacant lands located immediately north and west of, and adjacent to, the existing uses/building located at 227 Sussex Street. The property is Zoned B-5 Light Industrial.

Planner Censky indicated that the proposed self-storage would include approximately 284-10ft.x20 ft. leasable units throughout nine buildings which will be constructed of masonry/brick materials with metal roofs. The lighting plan and fixtures appear to be fully compliant but the landscape plan is not. A six-foot-tall woven metal fence is proposed with a gated, lockbox accessway for tenants, and there is no water or sanitary sewer proposed. The greenspace well exceeds the 35% minimum for the property although the buildable area of the project appears to be 99% impervious. Censky raised concerns regarding access for fire department vehicles, the need for a PUD as this use is not expressly permitted in the Zoning Code and the need for a CSM to create the underlying lot. Engineer Barbeau noted that no computations were provided for the size of the stormwater ponds which may require alteration of size and number of buildings on the lot, that there is no water or sewer being requested and that the plan of operation indicates one access point while the plans indicate two. Discussion followed regarding the building layout on the property, fire access, lighting plans and security issues. The Commission responded generally favorable and indicated areas to be addressed to the applicant.

7. Citizen Comments

Jason Szymanowski at 304 E. Wisconsin Ave. - Mr. Szymanowski stated that condos would typically be owner-occupied as compared to a duplex and that busses turn in front of the property at 203 E. Wisconsin Ave. and it creates issues and congestion.

8. Adjournment

Trustee Roberts motioned, seconded by Comm. Hoff to adjourn the December 9, 2021, Regular Plan Commission meeting at approximately 8:04 p.m. Motion carried unanimously.

Respectfully submitted,

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: January 13, 2022

General Information:

Agenda Item: **5.a.**

Applicant/Property Owner:

Joanne Koehler and Dwight Zoellner

Requested Action:

Recommendation to Village Board for approval of Conditional Use Grant to develop a duplex on B-2 Downtown Business District zoned site.

Existing Zoning:

B-2 Downtown Business District

Surrounding Zoning/Land Use:

North: Pewaukee River & R-5 Single-Family Residential District
South: Institutional & Public Service District
East: B-2 Downtown Business District
West: R-5 Single-Family Residential District

Existing Master Plan Classification:

Single-Family Residential

Proposed Master Plan Classification:

Community Commercial

Location:

203 E. Wisconsin Avenue

Lot Size:

.3081 +/- acres

Update:

This matter was the subject of a public hearing and discussion at the Planning Commission meeting on December 9, 2021. It was tabled by the Commission at that time pending follow-up information to be received from the applicant in support of this request. The applicant was unable to attend the December 9, 2021 meeting but does indicate that they will attend the meeting on January 13, 2022 with responses to the various questions as listed in the minutes of the last meeting.

Following is the Planners Report as presented to the Commission on December 9, 2021.

Discussion:

Conditional Uses listed in the B-2 Downtown Business district include “Multi-family residential development subject to approval not only by the Planning Commission, but also by the Village Board upon finding that the proposed development will not be detrimental to the surrounding area and/or generate adverse impacts upon the public health, safety and welfare”.

Back in September, 2020, The applicant received generally favorable feedback from the Planning Commission on the idea of possible plex type residential redevelopment of this site given its limitations (such as street access, slope,...) for other, more typical commercial type uses permitted in the B-2 District.

The plan presented provides two-dwelling units, side-by-side in a 3-story building. Each unit faces E. Wisconsin Avenue with a sidewalk from front door to sidewalk. The garage units in in the lowest level and accessible only via an easement/accessway that enters from Clark Street and runs in behind this property. The building has a two-story appearance from the front.

Recommendation:

The Planner has no specific objection to this plan as presented but encourages the Planning Commission and Village Board consider attaching the following conditions to any approval as may be granted:

- 1) Prior to recording of the Conditional Use Grant, the applicant must provide to Village Staff the calculations confirming the minimum open space standard of 5% is met within the developed lot;
- 2) Prior to recording of the Conditional Use Grant, the applicant must provide evidence, satisfactory to the Village Attorney, that enduring access for a duplex use on this lot with two double-stall-garages entering from the rear of the site is indeed available to this site;
- 3) The applicant to secure an amendment to the Comprehensive Plan Land Use Plan Map Element changing the category of Land Use for this site from existing Single-Family Residential to proposed General Commercial prior to issuance of a building permit for the new duplex.

Village of Pewaukee Plan Commission
Engineer's Report for January 9, 2022

Koehler/Zoellner Duplex
203 E. Wisconsin Avenue

Report

General comments related to the proposed development:

- Existing grades are shown on the site plan; however, no proposed grades and contours are shown. The current drainage pattern is from the front to the rear. The rear exposure makes use of the drop in elevation from front to back.
- Based on the current building and impervious surface on the lot, no stormwater management will be required. I would recommend that the impervious area to the rear of the building that is not needed for vehicle maneuvering to get into the lower level garage, be removed and replaced with topsoil and seed to allow some runoff infiltration.
- If the intent of the owner is to provide separate sewer and water laterals to each unit, the work should be performed prior to the E. Wisconsin Avenue reconstruction project scheduled for spring/summer of 2022.

Recommendation

Should the Plan Commission move this request forward, any action should be conditioned on the following:

1. Submittal of a site grading, drainage and erosion control plan and subsequent Village Engineer approval of the plan prior to receiving a building permit.
2. Completion of all underground work (sewer, water, electric, gas, etc.) that may affect E. Wisconsin Avenue prior to May 1, 2022 or the date on which the E. Wisconsin Avenue road work is started whichever is earlier.

Tim Barbeau, Village Consulting Engineer
January 5, 2022

ORIGINAL

VOL 527 PAGE 560

DRIVEWAY AGREEMENT

between

ALFRED DUSOLD and MARGARET DUBOLD
his wife, parties of the first
part,

and

ELMER LEX and NORA LEX, his wife,
parties of the second part.

REGISTRY'S OFFICE

Waukesha Co., Wis.

SS. 342238
No.

AUGUST 31 1950 DAY

A. D., 19 50 AT 10:20

10 O'CLOCK A. M. AND RECORDED IN VOL 527

OF DEEDS ON PAGE 567

Mary J. Peterson REGISTER

Edmund Peterson
100 Pewaukee Wis

THIS INDENTURE, Made and entered into at Pewaukee, Wisconsin, this 28th day of August, 1950, by and between ALFRED DUSOLD and MARGARET DUSOLD, his wife, parties of the first part, and ELMER LEX and NORA LEX, his wife, parties of the second part,

WITNESSETH:

WHEREAS, the parties of the first part are owners of the following described premises in the Village of Pewaukee, County of Waukesha, State of Wisconsin, to-wit:

Part of that tract of land in the S. W. $\frac{1}{4}$ of Section 9, T. 7 N., R. 19 E., recorded in Volume 346 of Deeds at page 491 in the Office of the Register of Deeds for Waukesha County and described as follows, to-wit:

Beginning at a point in the center line of East Wisconsin Ave. (Formerly Milwaukee Ave.) N. 69 degrees 30 minutes W., 307 feet and S. 25 degrees W., 30 feet from the S. W. corner of Block "B" of Griffings Addition to the Village of Pewaukee; running thence N. 69 degrees 30 minutes W. along the center line of said street, 309.78 feet to a point; thence N. 21 degrees 24 minutes E. on a line parallel to the Westerly face of the garage building and 4 feet distant therefrom, 108.65 feet to the beginning of the parcel hereinafter described; thence continuing on said line N. 21 degrees 24 minutes E., 15 feet to a point; thence S. 68 degrees 29 minutes E. on a line parallel to the most Northerly face of said building and 40 feet distant therefrom, 142.68 feet to a point; thence S. 20 degrees 54 minutes W. on a line parallel to the Easterly face of said building, 15 feet to a point; thence N. 68 degrees 29 minutes W., 142.68 feet to the place of beginning.

WHEREAS, the parties of the second part are the owners of the following described premises in the Village, County and State aforesaid, to-wit:

Part of that tract of land in the S. W. $\frac{1}{4}$ of Section 9, T. 7 N., R. 19 E., in the County of Waukesha, State of Wisconsin, recorded in Volume 346 of Deeds at page 491 in the Office of the Register of Deeds for Waukesha County and described as follows, to-wit:

Beginning at a point in the center line of East Wisconsin Ave. (Formerly Milwaukee Ave.) N. 69 degrees 30 minutes W., 616.78 feet and S. 25 degrees W., 30 feet from the S. W. corner of Block "B" of Griffings Addition to the Village of Pewaukee; running thence

N. 69 degrees 30 minutes W. along the center line of said street 78.72 feet to a point; thence N. 22 degrees 30 minutes E. along the east line of that parcel of land recorded in the Office of the Register of Deeds on May 29, 1912, in Volume 135 of Deeds on Page 132 a distance of 205 feet to Murphy's lot; thence N. 64 degrees E. along Murphy's line 110.44 feet, more or less, to the west line extended of that parcel of land recorded in the Office of the Register of Deeds on October 5, 1946 in Volume 421 of Deeds on page 429; thence S. 21 degrees 24 minutes W. along said line and its extension 285.04 feet, more or less, to the place of beginning.

WHEREAS, the parties of the second part are desirous of obtaining and are in need of a right of way and easement of passage for driveway purposes to their above described premises across and over the said premises of the parties of the first part, which right of way and easement has been consented to and granted by the parties of the second part;

NOW, THEREFORE, in consideration of the sum of one (\$1.00) Dollar, and other good and valuable consideration, receipt whereof is hereby acknowledged, the parties of the first part grant to the parties of the second part, their heirs and assigns, a full and free right of way and easement for driveway purposes over and upon the above described premises of the parties of the first part.

TO HAVE AND TO HOLD said right of way and easement for driveway purposes unto the parties of the second part, their heirs and assigns forever, as appurtenant to all or any part of the premises of the parties of the second part above described.

IN WITNESS WHEREOF, the parties hereto have caused this instrument to be executed at the time and place first above written.

In the presence of

Charlotte M. Lex
 CHARLOTTE M. LEX

Alfred Dusold (Seal)
 Alfred Dusold

Clarence P. Potrykus
Clarence P. Potrykus

Margaret Dusold (Seal)
Margaret Dusold

Elmer Lex (Seal)
Elmer Lex

Nora Lex (Seal)
Nora Lex

STATE OF WISCONSIN }
County of Waukesha } SS.

Personally came before me this 28th day of August, 1950,
the above named ALFRED DUSOLD and MARGARET DUSOLD, his wife, and
ELMER LEX and Nora LEX, his wife, to me known to be the persons who
executed the within instrument and acknowledged the same.

Clarence P. Potrykus
Clarence P. Potrykus

Notary Public, Waukesha County, Wisc.
My Commission expires Nov. 16, 1952.



STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: January 13, 2022

General Information:

Agenda Item: **5.b.**

Applicant:

N/A

Status of Applicant:

Village initiated item

Requested Action:

Review, discussion, and possible recommendation to the Village Board regarding an update to the Village of Pewaukee Comprehensive Plan – 2035.

Discussion:

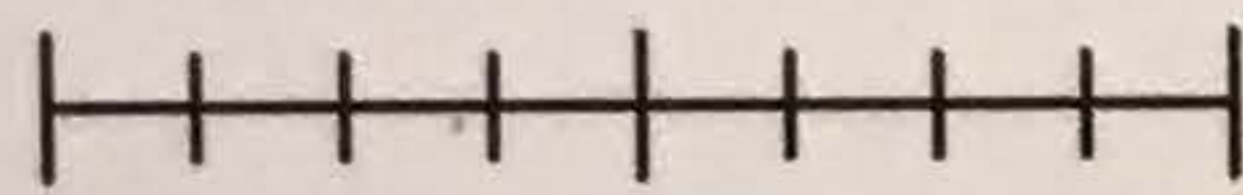
The Planning Commission will conduct it's public hearing on this matter, have discussion as to the completeness of changes proposed (based on previous many months review), and consider making a recommendation to the Village Board as to adopting this update.

PLEASE SEE THE VILLAGE HALL TO REVIEW A HARD COPY OF THE DRAFT OF THE UPDATE TO THE VILLAGE OF PEWAUKEE COMPREHENSIVE PLAN - 2035

VILLAGE OF PEWAUKEE

LAND USE PLAN MAP


0 250 500 1,000





1 inch = 500 feet





LEGEND


 SINGLE-FAMILY RESIDENTIAL
(4 UNITS/ACRE MAX. DENSITY)


 SINGLE-FAMILY RESIDENTIAL
(1 UNIT/ACRE MAX. DENSITY)


 PLEX RESIDENTIAL
(2-4 UNITS/BUILDING)

 MULTI-FAMILY RESIDENTIAL
(5+ UNITS/BUILDING)

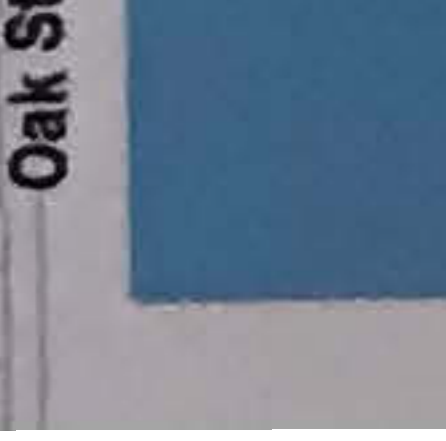
 COMMUNITY COMMERCIAL

 PARK/OPEN SPACE

 ENVIRONMENTAL

 INDUSTRIAL-BUSINESS PARK

 INSTITUTIONAL

 OFFICE

515.50 AC (3.31 is Mobile Ho

210.5 AC

57.93 AC

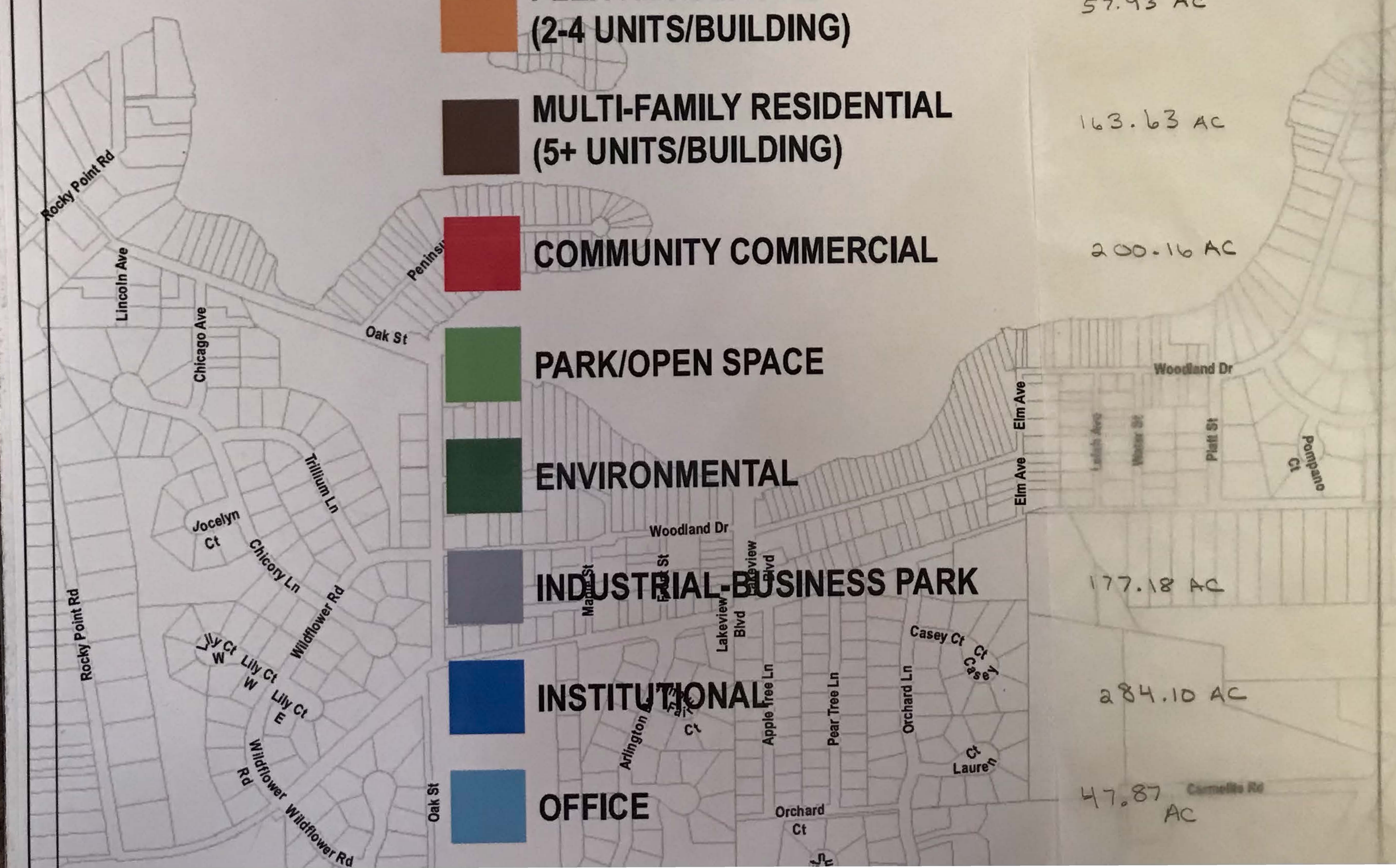
163.63 AC

200.16 AC

177.18 AC

284.10 AC

47.87 AC
Carmelle Rd



VILLAGE OF PEWAUKEE LAND USE PLAN MAP

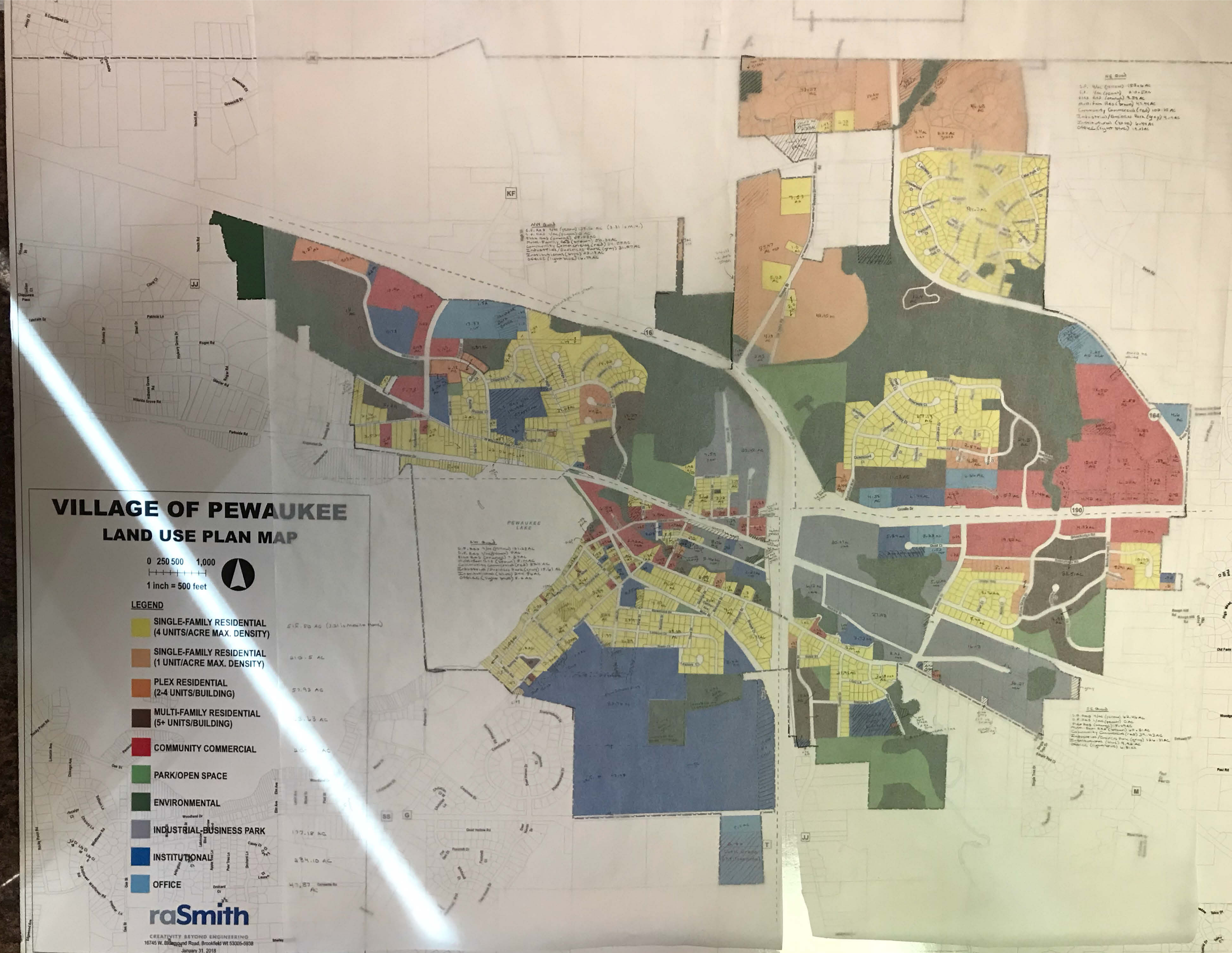


LEGEND

- SINGLE-FAMILY RESIDENTIAL
(4 UNITS/ACRE MAX. DENSITY)
- SINGLE-FAMILY RESIDENTIAL
(1 UNIT/ACRE MAX. DENSITY)
- PLEX RESIDENTIAL
(2-4 UNITS/BUILDING)
- MULTI-FAMILY RESIDENTIAL
(5+ UNITS/BUILDING)
- COMMUNITY COMMERCIAL
- PARK/OPEN SPACE
- ENVIRONMENTAL
- INDUSTRIAL-BUSINESS PARK
- INSTITUTIONAL
- OFFICE

raSmith

CREATIVITY BEYOND ENGINEERING
16745 W. Bluff Road, Brookfield WI 53005-5938
January 31, 2018



STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: January 13, 2022

General Information:

Agenda Item: 6.a.

Applicant/Property Owner:

Matt Backhaus d/b/a StreetWorks Exotics with consent of underlying property owner Road Runner Venture LLC in c/o Matthew Quest

Requested Action:

Approval of Conditional Use Grant to conduct the use “automobile service” (i.e. restoration and preservation of classic vehicles including related manufacturing, assembly, and fabrication thereof.

Existing Zoning:

B-5 Light Industrial District

Proposed Zoning:

Same

Surrounding Zoning/Land Use:

North: Railroad tracks
South: B-5 Light Industrial use and zoning
East: B-5 Light Industrial use and zoning
West: WEPCO transformer substation

Existing Master Plan Classification:

Industrial-Business Park

Proposed Master Plan Classification:

Same

Location:

600 Hickory Street

Lot Size:

1.88 acres

Update:

Automobile Service is listed as a prospective Conditional Use that can be considered for approval in the B-5 Light Industrial Zoning District. Section 40.108 of the Village Code defines “Automobile repair facility” as a “service establishment where engine repairs, replacement of parts or body work and general maintenance are performed”.

The applicant describes their use of this site for restoration and preservation of classic vehicles including related manufacturing, assembly, and fabrication thereof.

The applicant has also submitted to the Village Staff an application for a Wisconsin Motor Vehicle Dealers License (see copy attached). No details are provided as to the intended nature and scope of auto sales which the applicant may be contemplating. In Wisconsin, the local municipality must sign off on a Motor Vehicle Dealers License Application – confirming that the use is permitted and approved in the

specified location. The Village Code does not provide for new or used vehicle sales in any of the existing zoning districts.

Recommendation:

Subject to the terms and conditions outlined in the attached DRAFT Conditional Use Grant, the Planner has no specific objection to this automobile service use as presented but encourages the Planning Commission to consider attaching the following conditions to any approval as may be granted:

- 1) No new or used automobile sales are permitted at this site as a part of this approval;
- 2) Recording of the Conditional Use Grant prior to the start of occupancy at this site;
- 3) Applicant to secure all necessary building and/or occupancy permits prior to start of any interior or exterior building modifications at this site.

The Planner recommends against Village signatures on the Wisconsin Motor Vehicle Dealers License (see copy attached) until such time as new and/or used automobile sales use is expressly added to the Village Code for the B-5 Light Industrial Zoning District and then approved by the Planning Commission for this specific site.

Village of Pewaukee Plan Commission
Engineer's Report for January 9, 2022

Street Works Exotics
600 Hickory Street

Report

Site Grading

From what I could tell by a site visit, the general drainage pattern of the site has not changed. No grading plan was submitted for review since no substantial grade changes took place. No new hard surfaces were created (although the drive to the westerly building which was overgrown with grass was improved for access with stone) so storm water management facilities were not required by the code.

Sanitary Sewer and Water Main

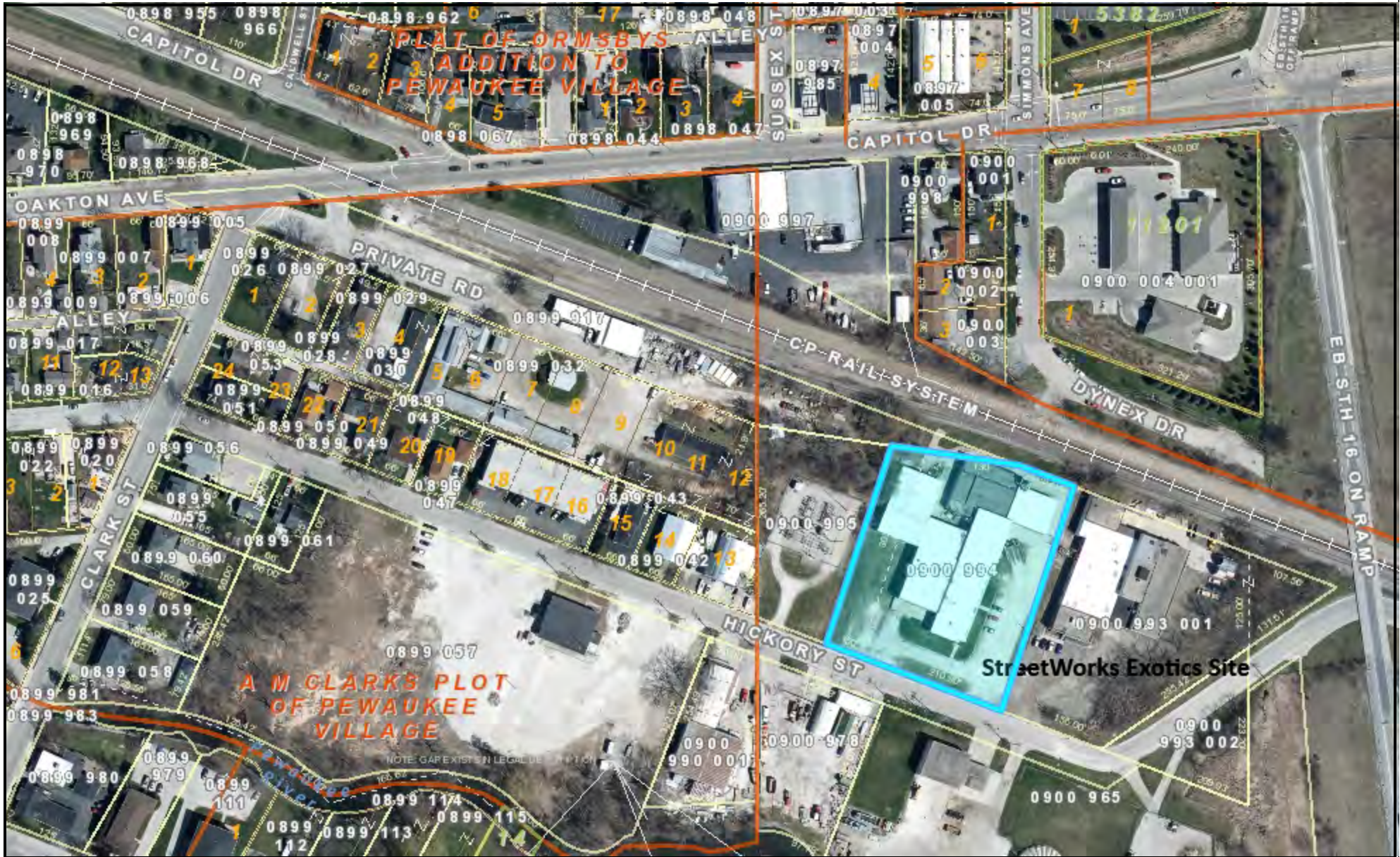
- No changes to the sewer or water systems for this project.

Recommendation

I have no issues with the work that has been done on the site, subject to any comments at the public hearing. Therefore, I recommend approval.

Tim Barbeau, Village Consulting Engineer
January 5, 2022

StreetWorks Exotics Site



0 188.45 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Notes:

Printed: 1/7/2022



Rec 109318



Conditional Use Grant Application Form

Address/Parcel No. of Property Involved: 600 Hickory Street

Zoning of Property: B5

Current Owner of Property: Road Runner Venture

Applicant - Name: Street Works Exotics

Address: 153 Park Ave, Pewaukee

Phone: 414-640-6288

Fax: Ø

Email: REQUEST@CAPITAL-CRE.COM

Nature of Request (If Requesting Approval for a New Business, Please Attach a Business Summary):

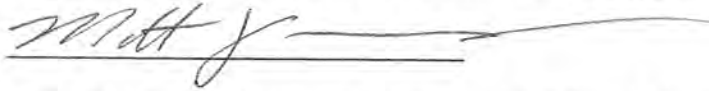
See Attached

Provide detailed information with your application that addresses the following:

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate the suitability of architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, drainage, exterior lighting, control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & general compatibility of the proposed use with the area in which it is located.

2. It is the responsibility of the applicant/owner to ensure that the proposed project meets the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted Land Use Plan.

Signature of Property Owner as listed on this Application:

A handwritten signature in black ink, appearing to be 'M. H. J.', written over a horizontal line.

Application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

Signature of Applicant (if different than Owner):

A handwritten signature in black ink, appearing to be 'M. H. J.', written over a horizontal line.

Please return Completed Application Forms along with required attachments and the \$100 Application Fee to Pewaukee Village Hall, 235 Hickory Street, Pewaukee, WI 53072. If you have any questions, please call Village Hall at (262) 691-5660.

****Please submit eleven sets of any applicable attachments as well as a digital copy of any attachments submitted.**



PROFESSIONAL SERVICES REIMBURSEMENT NOTICE

Pursuant to the Village of Pewaukee Code of Ordinances, the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

I, the undersigned, have been advised that, pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.

The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.

RESPONSIBLE PARTY & MAILING ADDRESS

Road Runner Venture LLC
Name of Company and/or Individual

153 Park Ave, Suite 201 Pewaukee WI 53072
Street City State Zip

Phone: 414-640-6200 Fax: E-Mail: MQUEST@CAPITAL-CRE.COM

Signature of Applicant & Date



Signature of Property Owner & Date

Village Official Accepting Form & Date

**SEND ALL PROFESSIONAL
SERVICES INVOICES TO:
(Check One)**

Property Owner

Applicant

BUSINESS SUMMARY

Tenants	StreetWorks Exotics
Operation	StreetWorks delivers exceptional automobile restoration! We are dedicated to the preservation of classic vehicles. Specializing in Post-War vehicles, we have the expertise required to make sure everything from Sports and GTs to Vintage Racecars and even Muscle Cars and Hot Rods are revived and returned in amazing condition.

OWNERSHIP/IMPROVEMENTS

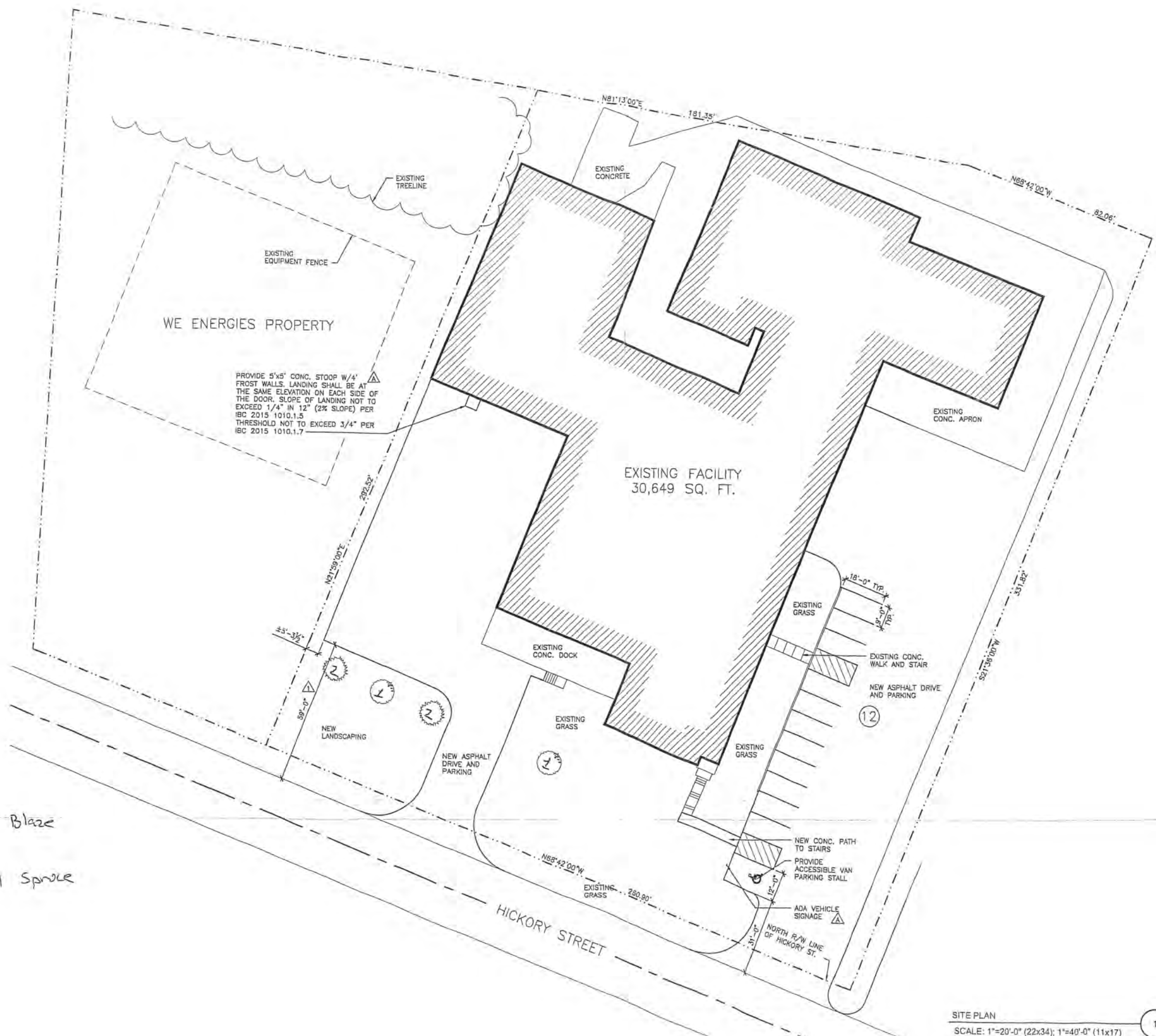
Owner	Road Runner Venture LLC Matthew J. Quest, Manager/Owner
Development Description	The property at 600 Hickory was purchased by Road Runner Venture LLC for investment purposes. The owner has been a Pewaukee resident and business owner for more than 20 years and owns additional commercial properties within the Village of Pewaukee. The goal for this property is to improve its appearance so that it is more desirable for business owners as well as an improvement to the community. Road Runner Venture has improved the existing property and landscaping. Below is a list of the improvements that have already taken place.
Improvements	Existing Building has been tuckpointed and painted New doors and windows installed and repaired Fascia and soffits have been replaced and painted Exterior lighting has been updated Old asphalt replaced with new asphalt Interior Lighting and Mechanicals have been replaced New landscaping & trees have been planted with additional plantings in the spring 2022 Pictures Included "Before & After"

SITE PLAN

Drawn by	Checked by
AMP	JDB

Revisions		
No.	Date	Description
	10.28.21	Permit Set
△	11.15.21	Revised Permit Set
△	12.07.21	Revised Permit Set
△	12.09.21	Bulletin #1

2021-12-09 BULLETIN #1



1 - Autumn Blaze
8'-10'

2 - Black Hill Spire
8'-10'



HELP CENTER

ACCOUNT ▾

Q FIND A PLANT



PRE-ORDER FOR SPRING - All orders made now will be delivered in Spring 2022 - [LEARN MORE](#)

[Home](#) > [Autumn Blaze® Maple](#)

Autumn Blaze® Maple

Acer x freemanii 'Jeffsred'

SKU #00128

☆☆☆☆☆ Write a review

An improved hybrid with brilliant, long lasting, orange-red fall color, an upright, uniform branching habit and a rapid growth rate. Thrives in warm climates extending well into the deep south and west; will tolerate wet soils with good drainage. An excellent lawn, park or street tree. Deciduous.

USDA Zone [?](#) 3-7

Your climate might be too cold for this plant: [Change](#)

Light Needs Full sun

Water Needs Water regularly - weekly, or more often in extreme heat.

[Set Zip to See Prices](#)

[♥ Add To Wishlist](#) [📄 Add to Compare](#)



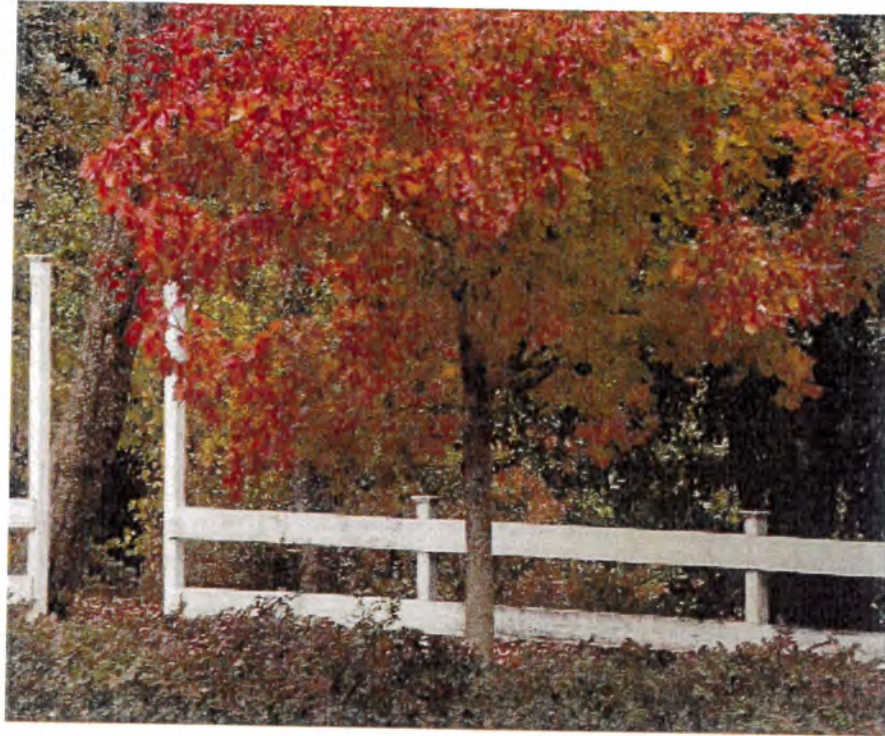


Image: Doreen Wynja



DETAIL

Botanical Pronunciation AY-ser free-MAN-ee-eye

Lore Acer x freemannii is a hybrid from Acer rubrum and Acer saccharinum parentage. Although natural hybridization does occur between these two species, Oliver Freeman pioneered their controlled breeding in the first half of the 20th of the century.

Average Size at Maturity Fast growing; reaches 50 to 60 ft. tall, 40 ft. wide.

Bloom Time Inconspicuous; prized for foliage.

Deciduous/ Evergreen Deciduous

Flower Color Green

Foliage Color Green

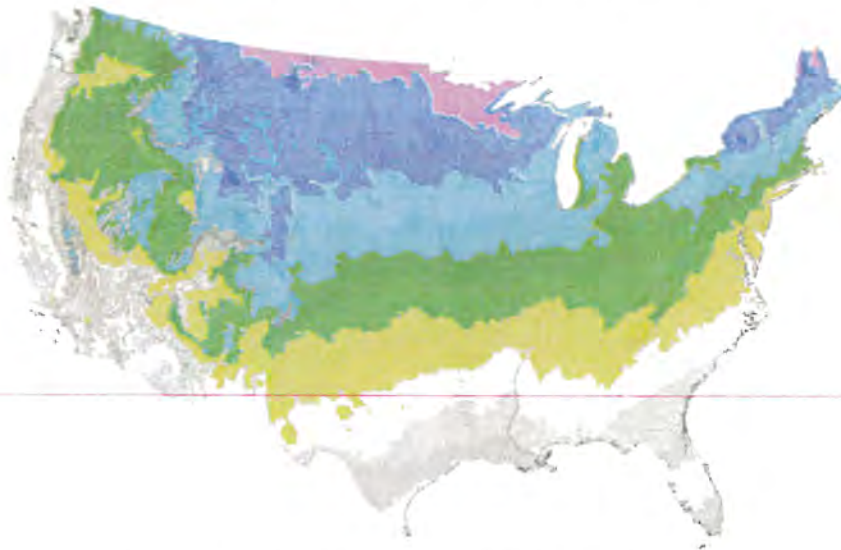
Garden Style Cottage, Rustic

Growth Habit Erect

Growth Rate	Fast
Landscape Use	Firescaping/Firewise , Specimen , Very Wet Areas , Woodland Garden , Urban Garden
Light Needs	Full sun
Soil Needs	Tree & Shrub Food
Special Feature	Easy Care , Extreme Cold Hardiness , Fall Color , North American Native Selection , Tolerates Wet Soils , Waterwise , Fast Growing
Water Needs	Moderate
Watering Needs	Water regularly - weekly, or more often in extreme heat.
Companion Plants	Weigela (Weigela) ; Potentilla (Potentilla) ; Spirea (Spiraea) ; Daylily (Hemerocallis) ; Switch Grass (Panicum)

CARE

This Plant's Growing Zones: 3-7



Your USDA Cold Hardiness Zone:

Your climate may be too cold for this plant

[Change Zip Code](#)



PRE-ORDER FOR SPRING - All orders made now will be delivered in Spring 2022 - [LEARN MORE](#)

[Home](#) > [Black Hills Spruce](#)


Black Hills Spruce

Picea glauca 'Densata'

SKU #06465

★★★★★ 1 Review

A highly desirable, naturally symmetrical cone-shape with a denser, more compact habit than the white spruce, making it very resistant to winter injury. New bright green foliage matures to blue-green. Provides winter cover, nesting sites and forage for wildlife. Fantastic as a landscape accent, or in groupings as a windbreak or screen. Evergreen.


USDA Zone  2-8

Your climate might be too cold for this plant: [Change](#)

Light Needs Full sun, Partial sun

Water Needs Water regularly - weekly, or more often in extreme heat.

[Set Zip to See Prices](#)

 [Add To Wishlist](#)


 [Add to Compare](#)





Image: Doreen Wynja



DETAIL

Botanical Pronunciation	PY-see-uh GLAW-kuh den-SAY-tuh
Lore	Plains Indians used the inner bark and shoots of the Black Hills Spruce for food and the hardened sap for gum. The trunks were used for tipi poles. The small tan cones that arrive in summer and persist into early winter produce seed that is a valuable food source for songbirds and small mammals, while the bark is palatable to porcupines and the foliage is occasionally browsed on by deer.
Average Size at Maturity	Grows 25 ft. tall, 15 ft. wide; 50 ft. tall, 25 ft. wide in ideal conditions.
Bloom Time	Conifer; prized for foliage.
Design Ideas	This is a useful mid-sized blue-colored spruce that works perfectly in the suburban landscape. Use as background foliage for colorful seasonal plantings. A great candidate for naturalistic woodlands needing a reliable conifer that won't spread out too much. Consider it as a single specimen for semi-formal schemes or exploit its columnar form by planting matched pairs in symmetrical landscapes. Dense and rugged enough for small windbreaks at backyard scale or to flesh out larger Midwestern shelterbelts.

Deciduous/ Evergreen	Evergreen
Foliage Color	Green
Garden Style	Asian/Zen, Contemporary, Rustic
Growth Habit	4
Growth Rate	Slow
Landscape Use	<u>Privacy Screen</u> , <u>Specimen</u> , <u>Windbreak</u> , <u>Wildlife Garden</u>
Light Needs	Full sun, Partial sun
Soil Needs	All-Purpose Plant Food
Special Feature	<u>Dense Habit</u> , <u>Easy Care</u> , <u>Extreme Cold Hardiness</u> , <u>North American Native Selection</u> , <u>Tolerates Poor Soils</u> , <u>Year-round Interest</u> , <u>Fast Growing</u> , <u>Bird Friendly</u> , <u>Compact Form</u> , <u>Tolerates Road Salt</u>
Water Needs	Moderate
Watering Needs	Water regularly - weekly, or more often in extreme heat.
Companion Plants	<u>Fountain Grass (Pennisetum)</u> ; <u>Smoke Tree (Cotinus)</u> ; <u>Potentilla (Potentilla)</u> ; <u>Dwarf Ninebark (Physocarpus)</u> ; <u>Salvia (Salvia)</u>

CARE

This Plant's Growing Zones: 2-8





CONDITIONAL USE GRANT

To permit the use “automobile service”
(i.e. StreetWorks Exotics restoration and preservation of classic vehicles including related manufacturing, assembly, and fabrication thereof)

Before the Planning Commission of the Village of Pewaukee, Waukesha County, Wisconsin, in regard To Premises located at 600 Hickory Street in the Village of Pewaukee, Waukesha County, State of Wisconsin, and further defined as follows:

PWV 0900994

PT SE1/4 SEC 9 T7N R19E; COM CTR SEC; S00°30'W 379.60 FT; S00°30'W 265.20 FT; S68°42'E 153.00 FT THE BGN; N21°59'E 303.65 FT; S81°13'E 130 FT; S68°42'E 82.06 FT; S21°36'W 331.82 FT; N68°42'W 210.90 FT TO BGN :: ALSO COM NLY LI HICKORY ST 153 FT S68°42'E OF W SEC LI; N68°42'W 50 FT; N21°59'E TO A PT IN SLY LI RR R/W; S81°13'E TO A PT 303.65 FT N21°59'E FROM BGN; S21°59'W 303.65 FT TO BGN

WHEREAS, the Zoning Code and Zoning District Map of the Village of Pewaukee, pursuant to State Statutes, provide that the premises may not be used of right for purpose hereinafter described but that, upon petition, such use may be approved by the municipality as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinances; and

Petition therefore having been made, and public hearing held thereon, and the Planning Commission of the Village of Pewaukee having determined that by reason of the particular nature, character, and circumstances of the proposed use, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance.

Now, therefore, IT IS GRANTED, subject to compliance with the terms and conditions hereinafter stated, that the Premises may be used for the purpose of “automobile service” (i.e. StreetWorks Exotics restoration and preservation of classic vehicles including related manufacturing, assembly, and fabrication thereof).

GRANTED by action of the Planning Commission of The Village of Pewaukee this __ day of _____, 2022.

Village Planning Commission Secretary
Cassie Smith, Village Clerk

Planning Commission Chairperson
Jeffrey Knutson, Village President

Original filed at the Pewaukee Village Hall.

The **CONDITIONS** of this Grant are:

- a. This grant shall become effective upon the execution and recording by the owners of the Premises of an acceptance hereof in such form as to constitute an effective covenant that shall run with the land subject to the provisions contained herein.
- b. This grant shall be void unless, pursuant to the building and Zoning Codes of the Village, the approved use is commenced or the building permit is obtained within twelve (12) months of the date of the Planning Commission approval noted above.
- c. This grant is subject to amendment and termination in accordance with the provision of the Zoning Code of the Village.
- d. Construction and operation of the use granted shall be in strict conformity to the approved site, building, and operations plans filed in connection with the Petition for this Grant, and exhibited hereto.
- e. Any of the conditions of this Grant which would normally be the responsibility of tenants of the premises shall be made a part of their lease by the Owner, which lease shall contain provisions for posting of the pertinent conditions to notify employees thereof.
- f. This Grant shall automatically be null and void if this use is discontinued for a period of twelve (12) months.
- g. Failure to allow reasonable and routine inspections of the property constitutes grounds for revocation of the Conditional Use Grant.
- h. Conditions on the Operations:**
 1. Hours of operation shall be limited to Monday through Friday 8 a.m. – 5 p.m. or less;
 2. No permitted 'automobile service' work shall be conducted outdoors at the premises at any time.
 3. At no time, whether with doors open or closed, shall noise/sound emanating from this space/use become a nuisance upon the surrounding neighbors... also note the related provisions as set forth in Section k.1. below.
- i. Conditions on the Structures:**
 1. The existing structure, including as to the existing colors, materials and architectural details, shall remain "per existing conditions" as photo-documented by the Village Staff on _____, 2022 and attached hereto as Exhibit "A".
 2. No further exterior building modifications are approved as a part of this conditional use grant;
 3. This is a single tenant occupancy for StreetWorks Exotics. The floor plan, as approved by Village Staff, is attached hereto and made a part hereof by reference as Exhibit "B".
- j. Conditions on the Site:**
 1. Exterior lighting at this site/building is to be made Code compliant with respect to the type/location of fixtures, hours of operation and intensity/directional cast of illumination continues without causing nuisance impacts on the surrounding neighborhood. The related plans, as reviewed and approved by Village Staff, are attached hereto and made a part hereof by reference as Exhibit "C";
 2. The existing site details, as photo-documented by the Village Staff on _____, 2022 and attached hereto as Exhibit "D" shall remain "per existing conditions" in all other respects;
 3. Employee and visitor parking shall be permitted in the paved, striped parking stalls depicted along the east side of the building only. No other parking, display or storage

of vehicles, materials, equipment or supplies is permitted in the public or surrounding view on this site;

4. If a dumpster or similar trash, oil or other refuse container is required to serve this site it shall be located out of the public and surrounding view. If this requires the construction of an enclosure or landscaping to effectuate the screening, such a plan shall be reviewed and approved by Village Staff and implemented by the applicant before the container is placed at the site;
5. HVAC devices (whether building or site mounted) shall be screened from the public and surrounding view by implementing a plan that has first been reviewed and approved by Village Staff;
6. If any signage is proposed to be placed at this site, a sign permit issued in accordance with Chapter 70 of the Village Code, is first required.

k. **Other:**

1. Any substantiated, material, adverse impacts arising with respect to such things as, (but not necessarily limited to) noise, odor, smoke, light, vibration, litter, loitering, glare, health, public safety, and similar... arising as result of this use/operation shall be the responsibility of the property owner and/or business operator to correct timely upon notice from the Village and failure to correct any such problem in a timely manner may result in action to initiate partial or complete revocation or modification of this grant to the extent permitted in accordance with Section 40.154(e) of the Land Development Code.
2. Applicant to secure all necessary building and/or occupancy permits prior to start of any interior or exterior building modifications and/or occupancy.
3. Recording of this Conditional Use Grant prior to start of occupancy for this approved use.

MOTOR VEHICLE DEALER TWO YEAR LICENSE APPLICATION (continued)

Wisconsin Department of Transportation MV2188

First time dealer applicant or application for amended license because of business relocation or ownership change. Proper local officials must sign below, BEFORE submitting this application. All applicants complete Section A. If business is located in a township, complete both Sections A and B.

Attention Zoning Authorities: The requirements for a retail motor vehicle dealer are as follows:

1. A permanent building, not a residence, tent, or temporary stand.
2. An office within the building.
3. A minimum 12 x 20 foot area accessible for automobile display, repair and preparation within the building.
4. A repair shop on the premise or a service agreement with a nearby repair shop.
5. An outdoor vehicle display lot for at least one vehicle adjacent to the building or all vehicles kept indoors.
6. An exterior sign with business name as it will appear on the license certificate and any other name used to do business under. The lettering of the sign must be a minimum of 4 inches high, unless smaller dimensions are required by local zoning or sign ordinances.
7. A sign posted on or adjacent to the entrance door describing business hours.

SECTION A				
Legal Business Name <u>Streetworks LLC</u>				
Business Address <u>600 Hickory St</u> PO Box _____ City <u>Pewaukee</u> State <u>WI</u> ZIP Code <u>53072</u>				
1. Operation of this dealer business at the location(s) stated above is in accordance with local zoning, building code and permit requirements.				
Print Name _____		Municipality _____		
X (Signature) _____		_____ (Official Title)		_____ (Date - m/d/yyyy)
2. Check only ONE and sign below: <input type="checkbox"/> A local permit or license is required and has been issued. <input type="checkbox"/> A local permit or license is not required.				
Print Name _____		Municipality _____		
X (Signature) _____		_____ (Official Title)		_____ (Date - m/d/yyyy)
SECTION B				
Legal Business Name _____				
Business Address _____ PO Box _____ City _____ State _____ ZIP Code _____				
County Zoning Approval - Required only if business is located in a township. Operation of this dealer business at the location(s) stated above is in accordance with local zoning regulation.				
Print Name _____		County _____		
X (Signature) _____		_____ (Official Title)		_____ (Date - m/d/yyyy)
If business address above does not include a specific street number, furnish directions to your business location, including highway number or letters and distances.				

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: January 13, 2022

General Information:

Agenda Item: **6.b.**

Applicant:

Wellspring Construction Group LLC in c/o Tim Knepprath with consent of underlying property owner 230 Sussex Street LLC

Requested Action:

Certified survey map approval to divide the existing building and related site improvements onto a 1.868-acre lot of its own and leaving a remnant (principally vacant) 15.8209-acre parcel.

Existing Zoning:

B-5 Light Industrial District and FC Floodplain Conservancy District

Proposed Zoning:

Same

Surrounding Zoning/Land Use:

North: Vacant (Floodplain & Environmental Conservancy);
South: R-5 Single-Family Detached Residential
East: B-5 Light Industrial District
West: Residential use with Land Use designation of Single Family Residential and zoning of B-5 Light Industrial District.

Existing Master Plan Classification:

Industrial-Business Park

Lot Size:

Currently = Approximately 17.69 acres
Proposed = 1.868 acres and 15.8209 acres

Location:

227 Sussex Street

Discussion:

Both lots in the CSM are compliant as to minimum required lot area and width in the B-5 Light Industrial District (i.e. 1 acre and 100 feet respectively). The proposed new lot line location results in a compliant sideyard offset to the north of the existing building (i.e. minimum 20 feet required/21.2 feet proposed). While it would appear at an eyeballs glance that the resulting greenspace and floor area ratio on each lot will also be Code compliant (i.e. minimum 35% and maximum 30% respectively) the actual calculations are not yet provided.

There is an accessory building(s) on Lot 1 of the CSM. Accessory building(s) are not allowed until there is a permitted principal use/building on the lot. The (main) accessory building on Lot 1 is labeled as a barn and noted as "to be razed".

Recommendation:

If the Commission is inclined toward recommending approval of this request as submitted and further described above, the Planner would recommend that the Commission consider the following conditions for attachment thereto:

- 1) Final Village approval, execution and recording of the Certified Survey Map;
- 2) Any/all existing building(s) located on Lot 1 of the CSM shall be razed and removed from the site not later than six months following recording of the CSM;
- 3) Applicant to provide, for Village Staff review and approval prior to attaching Village signatures on the map, computations confirming that Lot 2 of the CSM will have Code compliant minimum 35% greenspace and maximum 30% floor area ratio;
- 4) Village Engineer review and approval of the CSM as to technical accuracy and closure in the legal description.

Village of Pewaukee Plan Commission Engineer's Report for January 9, 2022

Sussex Street Self Storage **230 Sussex Street**

Report

Certified Survey Map (CSM)

- The applicant submitted a CSM that splits off a 1.87 acre parcel for the Wellenstein & Sons building. I have provided the surveyor a list of technical items that must be addressed on the CSM in order for it to meet the Village and State code requirements. One outstanding item is whether an additional 10.5 feet of land should be dedicated along Maiden Lane. At present, Maiden Lane is 49.5 feet wide. The Village's right-of-way standard is a minimum of 60 feet. This would be the opportunity to acquire the additional 10.5 feet via a dedication. DPW Naze indicated a desire to have a 60 foot right-of-way, but was concerned about inheriting numerous dead trees along the roadway that would require substantial maintenance. At this time, I have reached out to Wellspring to determine if their intent was to remove the trees as part of the development.

Site Plan

- The site plan is substantially complete, with the incorporation of minor details. I have requested that the engineer provide a drawing showing that a fire truck can maneuver through the site and make the necessary turns.

Site Grading

- Grading plan indicates the general flow pattern for Phase 1 to be from south to north to a stormwater pond. Flow is comprised of sheet flow within the aisles (no storm sewer system). The buildings are set at grades to have a 1% slope to the north to match the grade of the aisles. Runoff from Phase 2 will be to a stormwater facility located north of the Phase 2 buildings. We have reviewed the stormwater management plan and identified some issues with the functionality of the Phase 2 stormwater facility. The design engineer is considering an option to turn the pond into a bio-retention basin. At the time of this report, we are not able to confirm that the site meets the stormwater management requirements of the Village code. If the stormwater management requirements cannot be met with the layout proposed, a building 5 may need to be reduced in size to provide adequate room for the stormwater facilities. No grading will take place in the delineated wetlands. The grading for the site will extend to the limits of the floodplain (flood fringe). The general flow pattern for the site is acceptable.

Sanitary Sewer and Water Main

- No sewer or water is being requested for this site.

Traffic/Access

- Based on verbal information provided at the December meeting regarding the number of visits by each user, substantial traffic or traffic congestion is not anticipated at this facility

(Per ITE TRIP Generation data, daily trips will vary between 35 and 100). Sussex Street is adequate to accommodate the anticipated traffic without roadway improvements.

Recommendation

I recommend approval of the Certified Survey Map, subject to the surveyor addressing all technical comments provided to him in my letter dated January 3, 2022 and resolution of the right-of-way dedication matter.

I recommend approval of the site plan, grading plan and stormwater management plans subject to staff approval of the following prior to the issuance of a permit to begin any land disturbance or building work at the site:

1. Show adequate fire department access to all portions of the site to the satisfaction of the fire department
2. Submission and approval of an erosion control plan
3. Submission and approval of a storm water management plan that meets all Village ordinance requirements.

Tim Barbeau, Village Consulting Engineer
January 5, 2022

Application is due 3 weeks prior to the Meeting Date.



**Village of Pewaukee – Planning Commission
Miscellaneous Approval Application Form – *Return Completed Form along
with 11 copies of all materials to be reviewed.***

Address/Parcel No. of Property Involved: _____

Zoning of Property: _____

Current Owner of Property: _____

Applicant – Name: _____

Address: _____

Phone: _____

Fax: _____

Type of Request: Check All That Apply

Sign Plan Approval:

Prelim. Plat Approval:

Final Plat Approval:

Developer's Agreement:

Certified Survey Map:

Other (Describe Below):

Signature of Property Owner as listed on this Application:

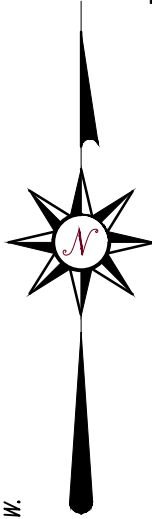
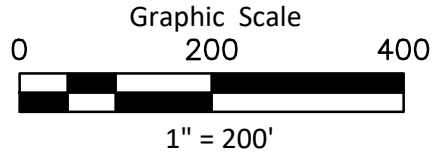
Application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Application as it pertains to my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this Application.

Signature of Applicant (if different than Owner):

PRELIMINARY CERTIFIED SURVEY MAP

Part of the Southeast 1/4 of the Northwest 1/4 and the Northeast 1/4 of the Northwest 1/4 of Section 9, Township 7 North, Range 19 East, in the Village of Pewaukee, Waukesha County, Wisconsin.

Owner : 230 Sussex Street LLC
227 SUSSEX ST.
PEWAUKEE, WI 53072-2520



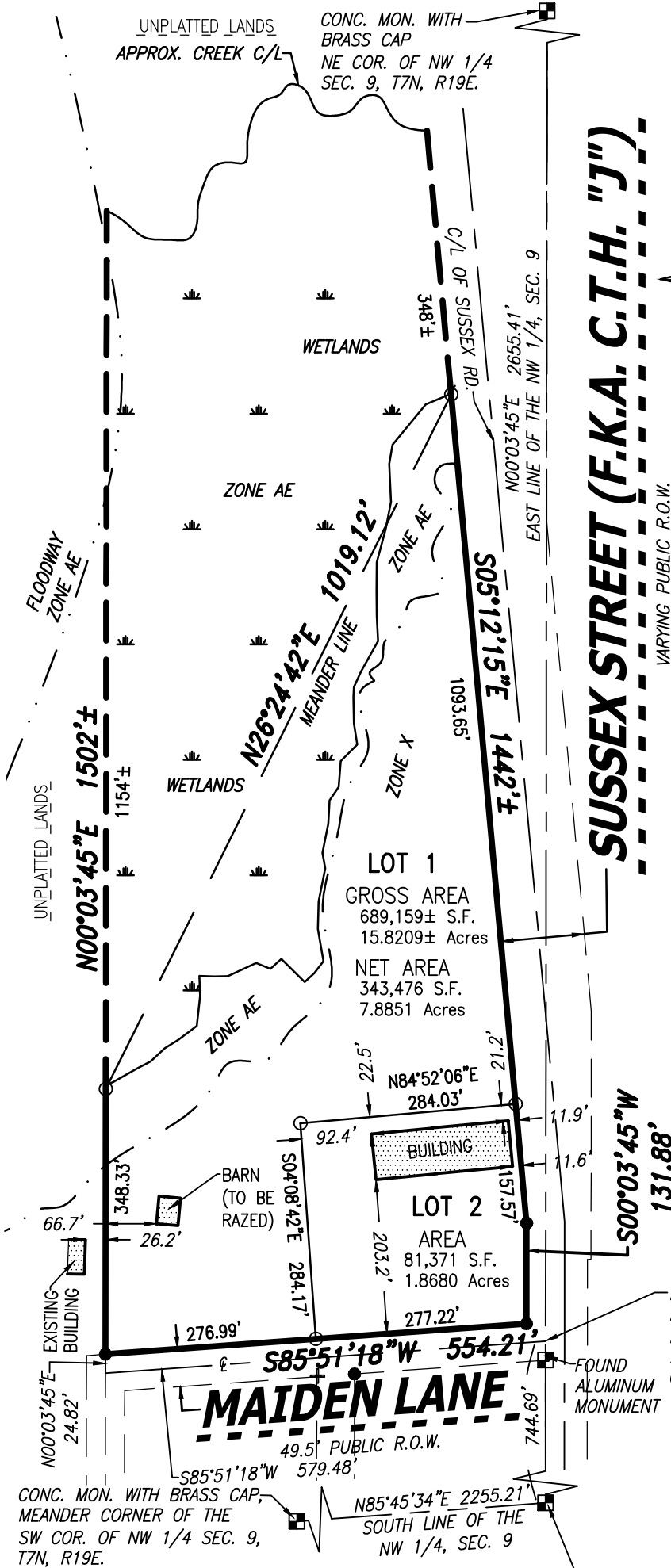
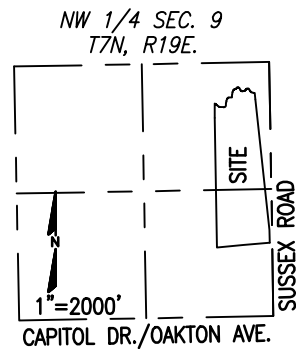
All bearings are referenced to the Wisconsin State Plane Coordinate System (South zone) dated Dec., 2013 in which the East line of the NW 1/4, Sec. 9 bears N00°03'45"E.

LEGEND

- Indicates found 1" iron pipe.
- ⊕ Indicates found chiseled cross
- Indicates set 1" iron pipe, 1.13lbs per lineal feet

ZONING: FC (Floodplain Conservancy)
B-5(Light Industrial)
FFO Overlay

VICINITY MAP



CHAPUT
LAND SURVEYS

234 W. Florida Street
Milwaukee, WI 53204

414-224-8068
www.chaputlandsurveys.com

This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

December 17, 2021
Drawing No. 3620-dmb
SHEET 1 OF 4 SHEETS

PRELIMINARY CERTIFIED SURVEY MAP

Part of the Southeast 1/4 of the Northwest 1/4 and the Northeast 1/4 of the Northwest 1/4 of Section 9, Township 7 North, Range 19 East, in the Village of Pewaukee, Waukesha County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE

230 Sussex Street LLC, a Wisconsin limited liability company, duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, hereby certifies that said limited liability company caused the land described on this Certified Survey Map to be surveyed, divided and mapped as represented on this map in accordance with the requirements of the City of Waukesha.

230 Sussex Street LLC, as owner, does further certify that this map is required by S.236.20 or 236.12 to be submitted to the following for approval or objection: City of Waukesha.

IN WITNESS WHEREOF, 230 Sussex Street LLC, has caused these presents to be signed by the hand of JOHN B. KUHN, Member, on this _____ day of _____, 2021

In the presence of: 230 Sussex Street LLC

Tim Kneprath, Member

STATE OF WISCONSIN}
 :SS
WAUKESHA COUNTY}

Personally came before me this ___ day of _____, 2021, JOHN B. KUHN, Member of 230 Sussex Street LLC, to me known as the person who executed the foregoing instrument and acknowledged that he executed the foregoing instrument as such officer as the deed of said limited liability company, by its authority.

Notary Public
State of Wisconsin
My commission expires. _____
My commission is permanent.

CONSENT OF CORPORATE MORTGAGEE

Tri City National Bank, a Wisconsin banking association, mortgagee of the above described land, does hereby consent to the surveying, dividing and mapping the land described on this map and does hereby consent to the above certificate of 230 Sussex Street LLC, OWNER.

By _____ Its
Name: _____
Title: _____

STATE OF WISCONSIN}
 :SS
_____ COUNTY}

Personally came before me this ___ day of _____, 2021, _____, of PARK BANK, to me known as the person who executed the foregoing instrument and acknowledged that he executed the foregoing instrument as such officer as the deed of said corporation, by its authority.

Notary Public
State of Wisconsin
My commission expires. _____
My commission is permanent.



PRELIMINARY CERTIFIED SURVEY MAP

Part of the Southeast 1/4 of the Northwest 1/4 and the Northeast 1/4 of the Northwest 1/4 of Section 9, Township 7 North, Range 19 East, in the Village of Pewaukee, Waukesha County, Wisconsin.

PLANNING COMMISSION CERTIFICATE OF APPROVAL

APPROVED by the Planning Commission of the Village of Pewaukee on this ___ day of _____, 2021.

Jeff Knutson, President

Cassie Smith, Village Clerk

VILLAGE BOARD APPROVAL

THIS Certified Survey Map has been submitted to and approved by the Village of Pewaukee this ___ day of _____, 2021.

Jeff Knutson, President

Cassie Smith, Village Clerk

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: January 13, 2022

General Information:

Agenda Item: **6.C.**

Applicant:

Wellspring Construction Group LLC in c/o
Tim Knepprath with consent of underlying
property owner 230 Sussex Street LLC

Requested Action:

Recommendation to the Village Board for
Planned Unit Development (PUD) Overlay
District rezoning (including the underlying
building architecture/materials/colors, site
layout, exterior lighting, landscaping,
fencing, and similar related plans).

Existing Zoning:

B-5 Light Industrial District and FC
Floodplain Conservancy District

Proposed Zoning:

Same

Surrounding Zoning/Land Use:

North: Vacant (Floodplain &
Environmental Conservancy);
South: R-5 Single-Family Detached
Residential
East: B-5 Light Industrial District
West: Residential use with Land Use
designation of Single Family Residential
and zoning of B-5 Light Industrial District.

Existing Master Plan Classification:

Industrial-Business Park

Lot Size:

Currently = Approximately 17.69 acres
Proposed = 15.8209 acres

Location:

227 Sussex Street

Discussion:

Personal storage as cold/dry storage building units for lease, is not a use presently listed in the Village Code. As a part of consultative discussions about this prospective use, it was determined by the Village Planning Commission that unique circumstances related to this particular site, and in its unique setting, such a use might reasonably be considered as an appropriate use. This use, in this specific location and on the specific terms as set forth in the attached building architecture/materials/colors, site layout, exterior lighting, landscaping, fencing, and similar related plans, could be effectuated using the Planned Unit Development Overlay zoning process.

- **Architecture/materials/colors.**

The proposed construction is all metal (roofing, siding and overhead doors) with brick siding imposed on just the street facing sides of Buildings # 1, 2, 6, 7, & 8. Actual building materials and colors are to be presented by the applicant for the Planning Commissioners in-person viewing and approval.

The shed-style roofs are nearly flat at approximately ¼” rise to 12’ run pitch.

Building heights are approximately 11.17 feet.

Overhead doors on buildings #'s 1 & 2 do directly front on and face the public street.

A 6’6” tall woven metal fence is proposed to surround the project on it’s three (east, west and south) sides. No fencing is proposed where the development touches back to floodplain and conservancy designated lands.

- **Site plan.**

The site calculations confirm compliance with the basic spatial requirements such as minimum greenspace and maximum floor area ratio. The lot size used in the calculations doesn’t comport with the lot size based on the CSM – this should be corrected.

The paved aisle widths throughout the plan and including the drive access point along Sussex Street (and Maiden Lane as a one way) meet or exceed the minimum 22-foot minimum width requirement of the Code. The plan depicts no specific parking area(s) but the aisle widths, being somewhat oversized, are intended to support the short-term parking needs of tenants accessing their units.

The buildings meet/exceed the required 50-foot minimum setback from Sussex Street and Maiden Lane. They meet/exceed the 20-foot required minimum offset to the side and rear lot lines. The parking/paving meets the required 25-foot setback from the edge of right-of-way along both Sussex Street and Maiden Lane. It also meets the 20 foot sideyard offset to the west lot line however, it does not meet the 20 foot setback along the common lot lines with the new lot at 227 Sussex Street. Section 40.325 of the Code provides that this parking/paving sideyard offset can be “...specifically waived by the planning commission”.

Section 40.422 of the Code provides as follows regarding fencing:

- *Any such structure in excess of 4½ feet in height may be permitted provided it conforms to the open area, height, setback and offset requirements of the zoning district in which it is located.*
- *Any such structure in excess of 4½ feet, but not more than six feet in height, may be permitted to within five feet of a street right-of-way provided the side facing the street line is attractively landscaped and subject to approval by the building inspector. The proposed fence in this plan is 6.5-feet tall.*
- *Any such structure in excess of 4½ feet in height may be permitted closer than required offset from an adjoining lot line, other than a street line, with the written consent of the adjoining property owner. Such structure shall not project forward of the building*

setback line. The proposed fence in this plan does project forward of the building setback line along both Sussex Street and Maiden Lane.

- **Landscaping**

The applicant claims the existing vegetation to be retained throughout the floodplain and conservancy areas of the lot to satisfy their minimum required number of tree/shrub plantings (i.e. minimum 1 tree and 2 shrubs per 1000 sq.ft. of greenspace). They do propose to plant 39 Norway Spruce pine trees, spread out along (and outside of) the perimeter of the fence, for screening purposes. These balled and burlapped trees will be at least six feet tall at planting.

- **Exterior Lighting**

The exterior lighting plan is code compliant as to fixture type (i.e. cutoff required), proposed fixture locations and the dispersion plan (i.e. .5 or < footcandles on the ground at the lot line).

Section 40.357(a) of the Code provides as follows with respect to flexibility in design as to Planned Unit Developments: “The PUD planned unit development overlay district under this division will allow for flexibility of overall development design with benefits from such design flexibility intended to be derived by both the developer and the community, while at the same time maintaining insofar as possible the land use density and other standards or use requirements as set forth in the underlying base zoning district”.

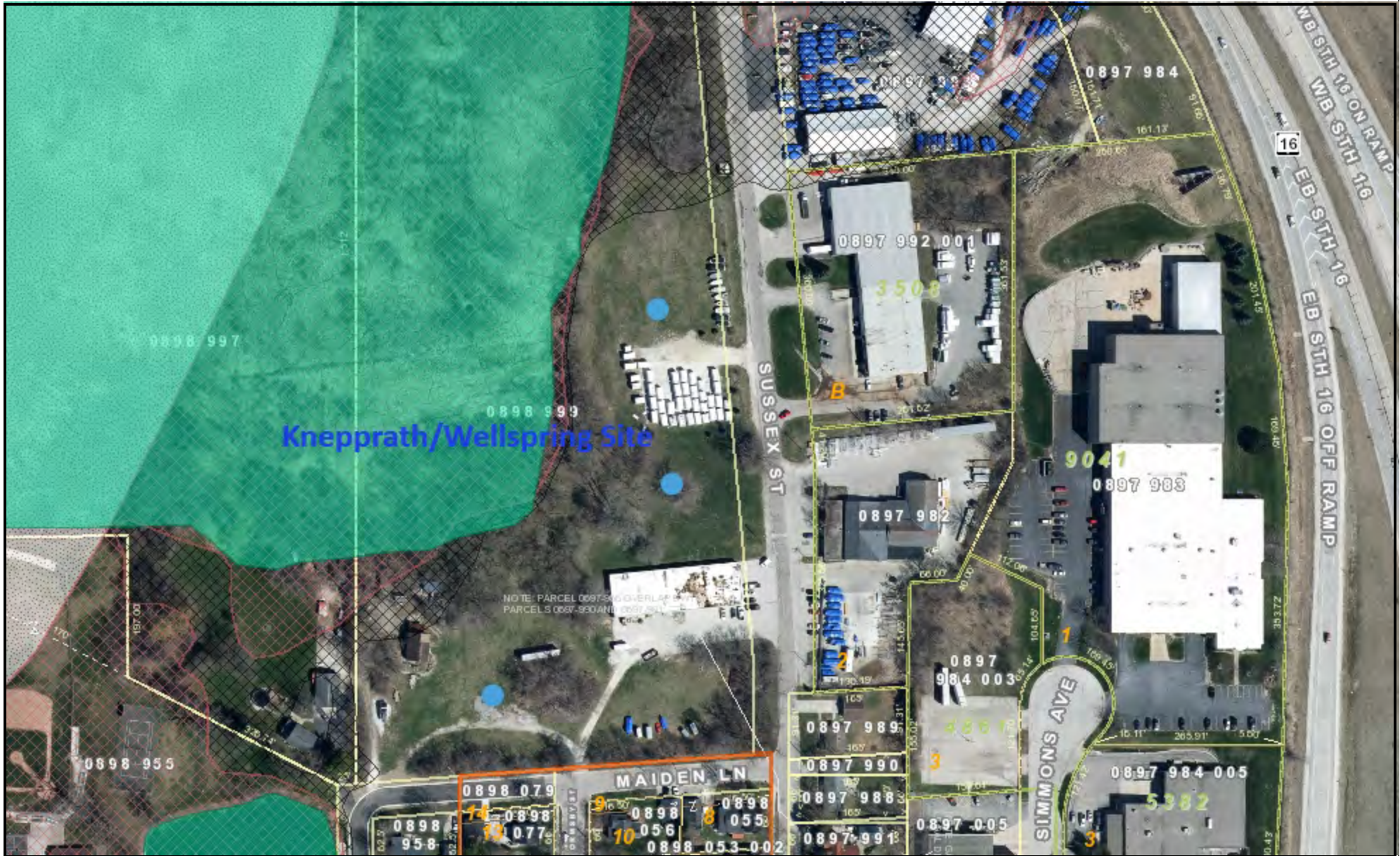
Recommendation:

If the Commission is inclined toward recommending approval of this request as submitted and further described above, the Planner would recommend that the Commission consider the following conditions for attachment thereto:

- 1) Village Attorney and Village Staff to work, together with the applicant, to draft a PUD document capturing all of the specific terms of any recommendation the Planning Commission may make for approval, including operating plans, building architecture/materials/colors plans, site layouts, exterior lighting plans, landscaping plans, fencing plans, and similar related plans. This document shall be returned to the Planning Commission for their final review and approval (recommendation) as to form and content before being advanced to the Village Board for their final decision on this request for PUD Overlay rezoning;
- 2) Recording of the final, approved PUD document prior to the start of any earthwork, utilities, and/or building construction at this site;
- 3) A certified survey map splitting this underlying development lot off as a vacant lot unto itself and 15.8209 acres in size, must first be recorded in the Waukesha County Register of Deeds office;
- 4) Applicant to provide for Village Staff review and approval, a cutsheet image of the wall pack light fixture as specified on the plans;
- 5) No unit occupancy in either of the two proposed phases of this development shall be permitted until all of the required improvements for the respective phases have been completed and installation of all fencing/gates and all landscaping is complete;
- 6) Village Engineer review and approval of all grading, drainage, erosion control, stormwater management, utility and similar plans ... prior to recording the PUD document;

- 7) Actual building materials and colors (including for the proposed fence and access control keypad[s]) are to be presented by the applicant for the Planning Commissioners in-person viewing and approval prior to advancing this matter to the Village Board;
- 8) Both the monument sign (as noted along Sussex Street) and any access control keypad(s) must be setback at least 10 feet and 20 feet, respectively, from the edge of public road right-of-way;
- 9) The lot size used in the general site calculations doesn't comport with the lot size based on the CSM – this must be corrected by the applicant for review and approval by Village Staff.
- 10) Up to one unit in Building #1, not to exceed 10' x 20' in area, may be used for office purposes directly related to this personal dry, cold storage use onsite. It is the only unit in the development that may be heated, cooled and/or serviced with water or sanitary sewer. This office may be staffed and accessible by tenants up to 24/7/365;
- 11) Fire Department review and approval of this site plan as to satisfactory circulation/accessibility throughout and adequacy of water supply provisions;
- 12) Tenant access to all leased storage units shall be 24/7/365;
- 13) There shall be no outdoor storage of materials, equipment or supplies of any sort permitted on this site;
- 14) No vehicle of any sort (including but not limited to RV's, boats, trailers, ATV's, construction equipment, trucks, and similar for instance) are permitted to be parked outdoors on this site at any time. The personal vehicle of a tenant who is actively accessing their unit or the office unit may be parked outdoors during the period of time they are actively accessing their/the office unit;
- 15) No signs may be installed at this site unless a sign permit is first issued;
- 16) The overhead access doors for all units must remain closed and locked at all times except when the units are being actively accessed;
- 17) There shall be no refuse containers stored outdoors on this property at any time;
- 18) Prior to issuance of a building permit in support of this project, all POD storage containers and all existing building(s) on this property shall be razed/removed and any other unenclosed vehicles, materials, equipment or supplies presently stored or lying around outdoors on this property shall be removed from the site;
- 19) Upon recording of the PUD document, the existing Conditional Use Grant for PODs storage use on this site shall simultaneously terminate and become void;
- 20) The gate proposed along Sussex Street shall be kept closed at all times and open only on key/fob/pin access for tenant and property owner ingress and egress purposes. The gate along Maiden Lane is for public safety/emergency ingress/egress only. It shall be kept closed at all other times. Public safety access key/fob/pin for both gates shall be provided to designated Village officials for public safety access purposes;
- 21) Any substantiated, material, adverse impacts with respect to such things as, (but not necessarily limited to) noise, odor, smoke, light, vibration, litter, loitering, glare, traffic, parking, health, public safety, and similar... arising as a result of this use/operation shall be the responsibility of the property owner to correct timely upon notice from the Village and failure to correct any such problem in a timely manner may result in action toward modification or revocation of this planned unit development zoning to the extent permitted in accordance with Section 40.366 of the Land Development Code;
- 22) Applicant to provide, for Village Staff review and approval prior to attaching Village signatures on the map, computations confirming that Lot 2 of the CSM will have Code compliant minimum 35% greenspace and maximum 30% floor area ratio;
- 23) Village Engineer review and approval of the CSM as to technical accuracy and closure in the legal description.

Knepprath/Wellspring Site



0 188.45 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Notes: 227 Sussex Street

Printed: 12/2/2021





Petition for Rezoning Form

Return Completed Form along with 11 copies of all materials to be reviewed and the \$100 Application Fee as well as a digital copy of any attachments submitted.

_____ hereby petitions the Village of Pewaukee for a change in zoning of the following property:

Address/Parcel No. of Property Involved: _____
(Please include an exact legal description of the property with your submittal. In the case of a request that involves only a portion of parcel(s), be sure to include a legal description that denotes exactly which portion of the affected parcel(s) is to be considered for rezoning).

Present Use/Zoning of Property: _____

Proposed Use/Zoning of Property: _____

Current Owner of Property (Print Name): _____

Applicant – Name (Please Print): _____

Address: _____

Phone: _____

Fax: _____

Email: _____

Signature of Property Owner as listed on this Application:

Petition will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Rezoning Petition for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this Petition.

Signature of Applicant (if different than Owner):

*** Application must be submitted at least 3 weeks prior to the meeting date**

**Sussex Street Self Storage
Plan of Operations
1-13-2021**

Address of premises	227 Sussex St
Name of business	Pewaukee Self Storage
Type of business	Self Storage rental facility
Detailed description of the proposed operation <i>This description should explain, in detail, how the proposed use will be operated. The description should state what activities are to occur on site.</i>	<p>A storage facility comprised of multiple buildings. Each building will be divided into small individual storage units. The majority of the rental units will range from 5'w x 10'l to 10'w x 30'l. The site will be unoccupied. The site will be secured with a 6' tall chain link fence and security cameras.</p> <p>One controlled access point will be provided on Sussex St. This access will include a keypad access for customers.</p> <p>No toilet or refuse facilities will be provided on site.</p>
Hours and days of operation	Site will be accessible to clients 24 hours a day
Number of employees	No on site employees - Site management will be completed off site
Does your location provide on-site parking? a. If yes, how many parking spaces are available to customers and employees? b. Where is the on-site parking located?	<div style="border: 1px solid black; padding: 2px; margin-bottom: 5px;">n/a</div> <div style="border: 1px solid black; padding: 2px; margin-bottom: 5px;">n/a</div> <div style="border: 1px solid black; padding: 2px;">n/a</div>
Will you receive at your location vehicles that make deliveries or pick-ups? a. How many deliveries and/or pick-ups do you anticipate each day? b. Where will deliveries, pick-ups, loading and unloading activities occur?	<div style="border: 1px solid black; padding: 2px; margin-bottom: 5px;">No</div> <div style="border: 1px solid black; padding: 2px; margin-bottom: 5px;">n/a</div> <div style="border: 1px solid black; padding: 2px;">n/a</div>

<p>Describe the land uses next to the property and on the same block.</p> <p><i>This description should explain what businesses and/or uses are located in the area around your proposed location.</i></p>	<p>North - Hwy 16 South - Business (Wellenstein and Sons) and Residential (Maiden Lane) West - Wetlands and One Residence East - Sussex Street Businesses</p>
<p>Describe who your business will serve.</p> <p>a. For churches, please provide the number of members</p> <p><i>This description should explain who your business will serve and where your customers, clients, or congregants come from.</i></p>	<p>The general public from the surrounding community</p>

SUSSEX SELF STORAGE - NEW CONSTRUCTION

227 SUSSEX STREET | PEWAUKEE, WI 53072

THRIVE ARCHITECTS
 Architect
 259 South Street, Suite A
 Waukesha, WI 53186
 p: 833-380-6180
 e: jdb@thrive-architects.com

wellspring CONSTRUCTION GROUP
 Contractor
 227 Sussex Street
 Pewaukee, WI 53072
 p: 262-696-4492
 e: tim@wellspringcg.com

Project Info. — 21112
PEWAUKEE SELF STORAGE
 NEW CONSTRUCTION
 227 Sussex Street
 Pewaukee, WI 53072

Sheet Title
TITLE AND CODE SHEET

Drawn by	Checked by
AMP	---

Revisions		
No.	Date	Description
	12.21.21	PC Resubmittal

Sheet No. **T1.0**

SHEET INDEX	
SHEET	DESCRIPTION
T1.0	TITLE AND CODE SHEET
CIVIL	
LANDSCAPE	
ARCHITECTURAL	
SP1.0	SITE PLAN AND SITE DETAILS
A1.0	BUILDING 1 - PLAN AND ELEVATIONS
A1.1	BUILDING 2 - PLAN AND ELEVATIONS
A1.2	BUILDING 3 - PLAN AND ELEVATIONS
A1.3	BUILDING 4 - PLAN AND ELEVATIONS
A1.4	BUILDING 5 - PLAN AND ELEVATIONS
A1.5	BUILDING 6 - PLAN AND ELEVATIONS
A1.6	BUILDING 7 - PLAN AND ELEVATIONS
A1.7	BUILDING 8 - PLAN AND ELEVATIONS
A9.0	CONCEPTUAL RENDERINGS
STRUCTURAL	
PLUMBING, MECHANICAL AND ELECTRICAL PLANS TO BE A DEFERRED REVIEW AND SUBMITTAL BY DESIGN-BUILD CONTRACTOR	
PROJECT NOTES	

- ELECTRICAL NOTES:**
 1) ALL WORK TO BE BY DESIGN-BUILD ELECTRICAL CONTRACTOR.
- HVAC NOTES:**
 1) ALL WORK TO BE BY DESIGN-BUILD HVAC CONTRACTOR.
- PLUMBING NOTES:**
 1) ALL WORK TO BE BY DESIGN-BUILD PLUMBING CONTRACTOR.

BUILDING CODE SUMMARY	
BASED ON THE	WISCONSIN COMMERCIAL BUILDING CODE (2015 INTERNATIONAL BUILDING CODE w/ WI AMENDMENTS) 2015 INTERNATIONAL EXISTING BUILDING CODE 2009 ANSI A117.1 ACCESSIBILITY CODE
	ALL OTHER CODES AND ORDINANCES AS REFERENCED BY THE ABOVE CODES
BUILDING AREA:	NEW CONSTRUCTION BUILDING AREA PHASE 1 BUILDING 1: 9,600 GSF BUILDING 2: 8,000 GSF BUILDING 3: 9,600 GSF BUILDING 4: 3,200 GSF BUILDING 5: 4,800 GSF PHASE 2 BUILDING 6: 8,400 GSF BUILDING 7: 8,000 GSF BUILDING 8: 7,200 GSF TOTAL AREA 58,800 GSF OF NEW CONSTRUCTION
FIRE ALARM:	NOT REQUIRED
OCCUPANCY	S-1 STORAGE
OCCUPANCY SEPARATION	NOT REQUIRED
CONSTRUCTION TYPE	VB WOOD FRAME UNPROTECTED
SPRINKLER SYSTEM	NOT REQUIRED
NUMBER OF FLOOR LEVELS	1 STORY
ALTERATION LEVEL	N/A NEW CONSTRUCTION
FLAME SPREAD & SMOKE INDEX	CLASS C
CODE EXCEPTION	BOTTLED WATER PROVIDED IN LIEU OF DRINKING FOUNTAIN

PROJECT CONTACT INFO		
OWNER: WELLENSTEIN & SONS INC 227 SUSSEX STREET PEWAUKEE, WI 53072 262-696-3580	CONTRACTOR: WELLSRING CONSTRUCTION GROUP 227 SUSSEX STREET PEWAUKEE, WI 53072 P: 262-696-4492	LANDSCAPE DESIGN: INSITE LANDSCAPE DESIGN, INC. 11525 W NORTH AVENUE WAUWATOSA, WI 53226 P: 414-476-1204
CIVIL: CJ ENGINEERING 9205 W CENTER STREET, SUITE 214 MILWAUKEE, WI 53222 P: 414-443-1312	ARCHITECT: THRIVE ARCHITECTS 259 SOUTH STREET, SUITE A WAUKESHA, WI 53186 P: 833-380-6180 ATTN: JEREMY BARTLETT, ARCHITECT OF RECORD	STRUCTURAL ENGINEER: TO BE DETERMINED

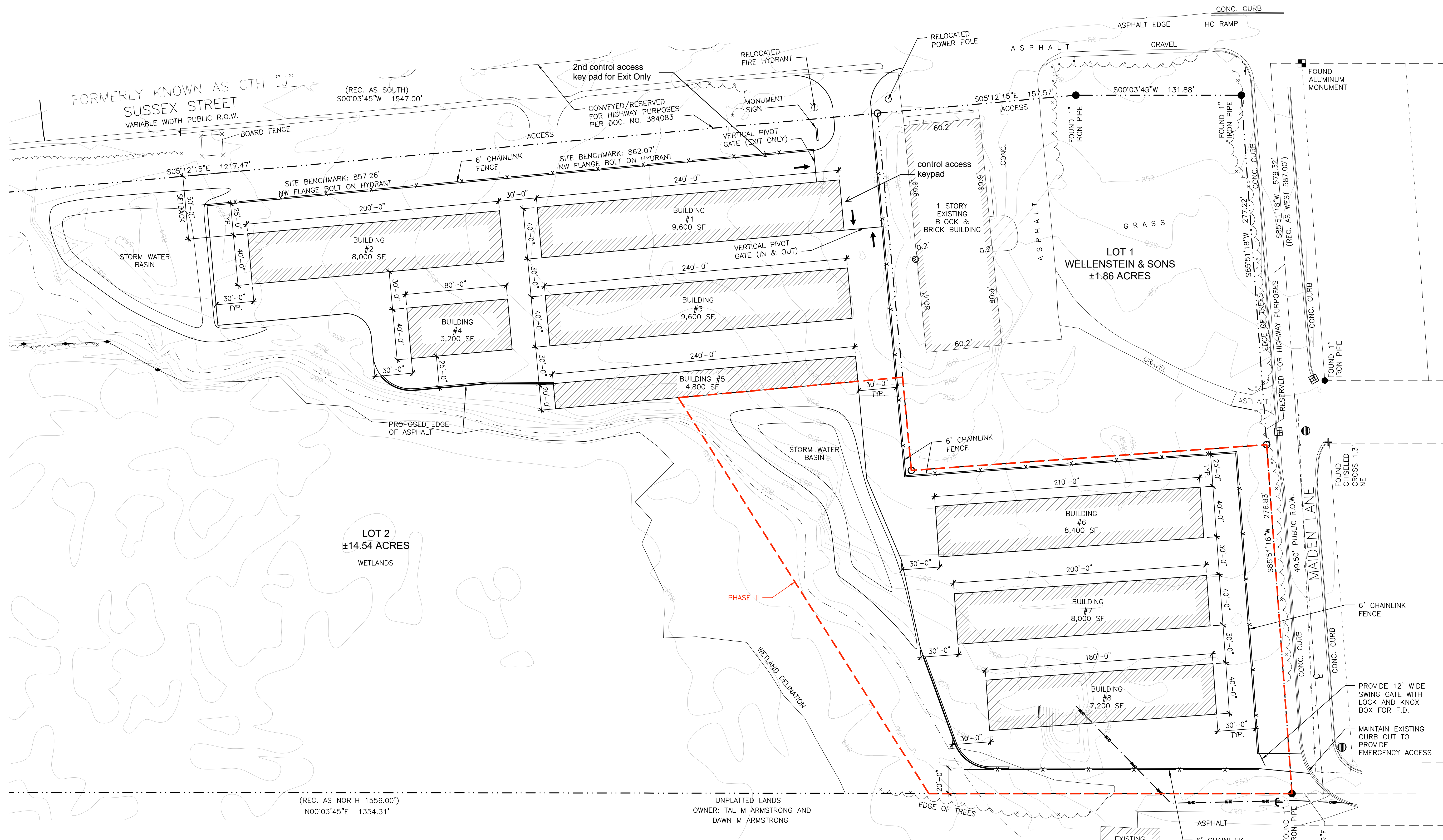
GENERAL NOTES	
1.	CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, & SUPERVISING ALL SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THIS PROJECT.
2.	ARCHITECT/DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY COST, SCHEDULE OR CONSTRUCTION ISSUES ARISING DUE TO GC/OWNERS FAILURE TO DISTRIBUTE ALL DOCS, SUBCONTRACTORS & SUPPLIERS SHOULD ENDEAVOR TO REVIEW A COMPLETE SET OF DOCS BEFORE BIDDING, FABRICATING & INSTALL.
3.	GC, SUBCONTRACTORS, MATERIAL SUPPLIERS, OWNER, ETC. MUST NOTIFY ARCHITECT OF ANY ERRORS, OMISSIONS, OR DEFECTS IN THE CONSTRUCTION DOCUMENTS PRIOR TO BIDDING, FABRICATING OR INSTALLING WORK.
4.	SITE DIMENSIONS ARE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY. THE ARCHITECT/DESIGNER SHALL BE NOTIFIED OF ANY VARIANCES BEFORE CONTRACTOR BEGINS OR PROCEEDS WORK.
5.	MECH, ELEC, PLUMB & FIRE PROTECTION ARE TO BE DESIGN BUILT, COMPLYING WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS, WHICH WILL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR; THE ARCHITECT ASSUMES NO LIABILITY.
6.	ALL MECH, ELEC, PLUMB & FIRE PROTECTION SYSTEMS/EQUIP. SHALL BE MAINTAINED ACCORDING TO MANUFACTURER'S STANDARDS. BLDG. OWNER SHALL ASSUME FULL RESPONSIBILITY FOR MAINTANANCE/OPERATION UPON OCCUPANCY.
7.	THE INSTALLATION AND EXECUTION OF ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS AND SPECIFICATIONS. ALL MEANS & METHODS OF CONSTRUCTION TO BE THE SOLE RESPONSIBILITY OF THE GC.
8.	PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN OCCUPANCIES AND LOCATIONS AS REQUIRED BY THE INTERNATIONAL FIRE CODE. INSTALLATION LOCATIONS SHALL HAVE A MAXIMUM TRAVEL DISTANCE OF 75' TO ANY EXTINGUISHER. EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE, TYPICALLY ALONG PATHS OF TRAVEL. EXTINGUISHERS SHALL NOT BE OBSTRUCTED FROM VIEW; IF VISUAL OBSTRUCTION CAN NOT BE AVOIDED ANOTHER MEANS SHALL BE PROVIDED TO INDICATE THE EXTINGUISHER LOCATIONS. EXTINGUISHERS NOT EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 5'-0" ABOVE THE FLOOR, EXTINGUISHERS EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 3'-6" ABOVE THE FLOOR. THE CLEARANCE BETWEEN THE FLOOR AND BOTTOM OF HAND HELD UNITS SHALL NOT BE LESS THAN 4". VERIFY EXTINGUISHER LOCATIONS W/ LOCAL FIRE DEPT. & OWNER PRIOR TO INSTALLATION.
9.	ALL CONCRETE FLAT WORK MUST BE WET CURED PER ACI REQUIREMENTS AND/OR CURED USING A CURING COMPOUND. REFER TO STRUCTURAL NOTES FOR CURING COMPOUND SPECS. CONTRACTOR IS RESPONSIBLE FOR APPLYING CURING COMPOUNDS PER THE MANUFACTURER'S REQUIREMENTS.

TYPICAL ABBREVIATIONS									
ABV: Above	B/O: By Others	DW: Dishwasher	FT: Footing	LB: Pound	NO, #: Number	REFR: Ref	TEMP: Tempared		
ACOUS: Acoustical	BC: Bottom Of	DN: Division	FND: Foundation	LAM: Laminate(d)	O: Non-Operable Window	REG: Register	TK: Tight Knot		
ADDL: Additional	BR: Bedroom	DR: Door	FRM: Fram(d), (mg)	LAV: Lavatory	OL: Left Hand	RE: Reinforced	T&G: Tongue and Groove		
ADH: Adhesive	CAB: Cabinet	DH: Double Hung	FBO: Furnished by Others	LH: Left Hand	OP: Operable Window	REQD: Required	T/O: Top of		
ADJ: Adjustable	CALC: Calculation	DT: Downspout	FUR: Furred	L: Length	OC: On Center	RA: Return Air	TCC: Top of Concrete		
AFF: Above Finish Floor	CAN: Cabinet	DRWR: Drawer		LOA: Length Overall	OPQ: On Point	REV: Revision	TOW: Top of Wall		
AGG: Aggregate	CD: Cabinet Door	DT: Drain Tile		LT: Light	OR: Opening	R: Rider	TB: Towel Bar		
AHL: Authority Having Jurisdiction	CC: Corner Guard	DWG: Drawing		LL: Live Load	OSB: Oriented Strand Board	RD: Rod	T: Tread		
A/C: Air Conditioning	CIP: Cast-in-Place	D: Nail Size		LVL: Laminated Veneer Lumber	R&S: Rod and Shelf	RFS: Roofing	TS: Tubular Steel		
ALT: Alternate	CL: Centerline	EW: Each Way		MFR: Manufacturer	RO: Rough Opening	RM: Room	Typ: Typical		
ALUM: Aluminum	CO: Clean Out	E: East		MFO: Masonry Opening	SCH: Schedule	UL: Underwriters Laboratory			
ANC: Anchor	CONTR: Contract (or)	EL: Elevation		MGR: Member	SCN: Screen	UNF: Unfinished			
ANOD: Anodized	COORD: Coordinate	ELEV: Elevation		MKB: Maximum	SECT: Section	UNO: Unless Noted Otherwise			
APK: Approximate	CRPT: Carpet	EQ: Equipment		MAS: Masonry	SGD: Sliding Glass Door	VB: Vapor Barrier			
APT: Apartment	CIP: Cast-in-place	EXC: Excavate		MECH: Mechanic(al)	SH: Sheathing	VAR: Varnish			
ARCH: Architect	CLK: Caulking	EXH: Exhaust		MC: Medicine Cabinet	SHT: Sheet	VER: Verify in Field			
(Architectural)	CAS: Casement	EXT: Existing		MED: Medium	SH: Shelf, Shelving	VEN: Veneer			
ASPH: Asphalt	CB: Catch Basin	EXT: Exterior		MDF: Medium Density Fiberboard	SM: Similar	VERT: Vertical			
AUTO: Automatic	CL: Ceramic Tile	FOC: Face of Concrete		MDB: Medium Density Overlay	SKL: Skylight	VG: Vertical Grain			
AVE: Avenue	COR: Circle	FOF: Face of Finish		MDB: Member	SLB: Slab	VIN: Vinyl Sheet			
AVR: Average	CLR: Clear	FOM: Face of Masonry		MNB: Membrane	S: South	WL: Wall			
AWN: Awning	COL: Column	FOS: Face of Studs		MTL: Metal	SLD: Slider(ng)	WC: Water Closet			
	CONC: Concrete	FW: Face of Wall		MWK: Millwork	SPEC: Specification	WH: Water Heater			
BSMT: Basement	CMU: Concrete Masonry Unit	FBD: Fiberglass Board		MIR: Mirror	SQ: Square	WP: Water Proofing			
BM: Beam	CONSTR: CONSTRUCTION	FCE: Fiber Cement Board		MNS: Minimum	STD: Standard	WR: Weather Resistant			
BOL: Bolt	CONT: Continuous	FGL: Fiberglass		MISC: Miscellaneous	STV: Stove	WRB: Weather Resistant Barrier			
BLK: Block	CJT: Control Joint	FHE: Finished Floor Elevation		MCD: Module	STR: Structural	WVF: Welded Wire Fabric			
BLKG: Blocking	CORR: Corrugated	FA: Fire Alarm		MLD: Moulding	SA: Supply Air	WWM: Welded Wire Mesh			
BLW: Below	CUFF: Cubic Foot	FE: Fire Extinguisher		MLB: Micro Laminated Beam	SC: Solid Core	W: West			
BLVD: Boulevard	CUYD: Cubic Yard	FPL: Fireplace		NOM: Nominal	SW: Shear Wall	WIN: Window			
BTW: Between		FLSH: Flashing		FLR: Floor	SS: Stainless Steel	W/O: Without			
BD: Board	DP: Dampproofing	FLR: Fluorescent		FLR: Floor	SYS: System	W/ With			
BDT: Bottom	DTL: Detail	FT: Foot, Feet		FLR: Floor		W/ With			
BLDG: Building	DIK: Diameter			FLR: Floor		W/ With			
BUR: Built Up Roofing	DIM: Dimension			FLR: Floor		W/ With			



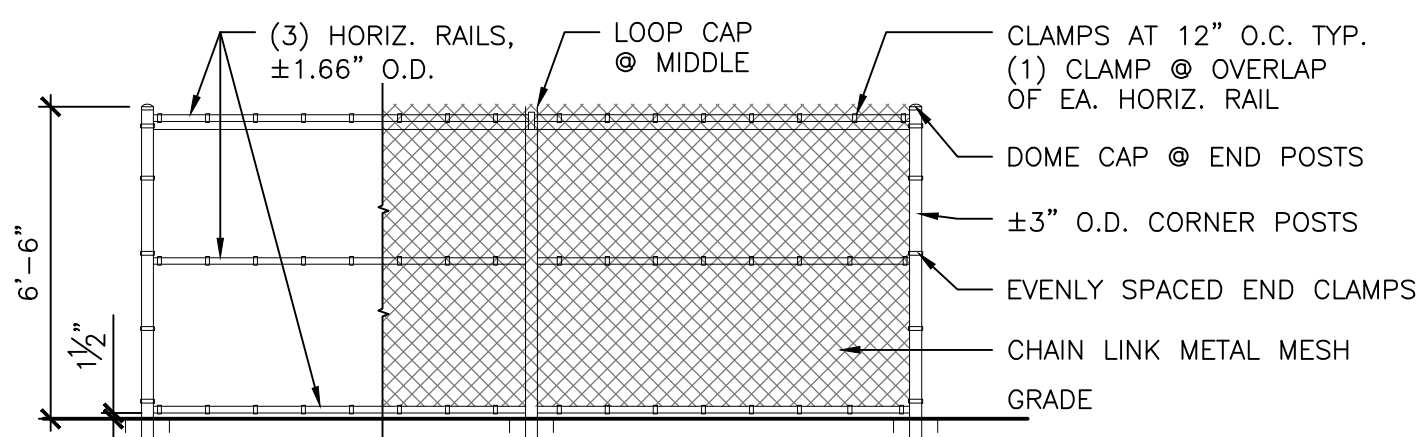
VICINITY MAP
 SCALE: N.T.S.

NOT FOR CONSTRUCTION

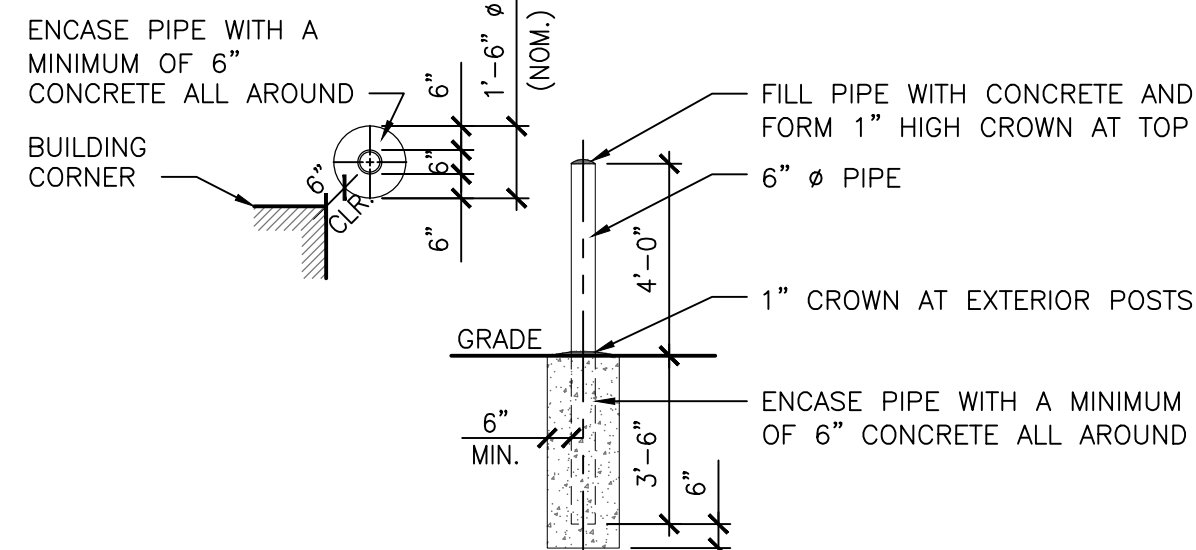


PROJECT INFORMATION - LOT #2 (PHASE I & II)

OWNER ADDRESS	230 SUSSEX STREET LLC 227 SUSSEX ST. PEWAUKEE, WI 53072-2520		
ZONING	B-5 LIGHT INDUSTRIAL		
CONDITIONAL USE	WAREHOUSING/ACCESSORY STORAGE YARD		
LOT SIZE	CURRENT	DEVELOPED	CHANGE
BUILDINGS (GSF)	14.54 ACRES	14.54	NONE
	1,038.6	58,800	57,761.4 S.F.
BUILDING HEIGHT	PROPOSED	CODE REQUIREMENT	
FAR	<12	<30%	
LOT SIZE	14.54 ACRES	>1 ACRE	
IMPERVIOUS	23.72% AVG.	65% MAX.	150259
GREEN SPACE	76.28% AVG.	35% MIN.	
ACCESS HOURS:	24 HOURS PER DAY, 7 DAYS PER WEEK		
	SECURE SITE WITH ACCESS CONTROL		
EMPLOYEES:	NO FULL TIME EMPLOYEES ON SITE		
PARKING:	UNOCCUPIED BUILDINGS.		



TYPICAL FENCE DETAIL
SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17)



TYPICAL BOLLARD DETAIL
SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17)

SITE PLAN

SCALE: 1"=40'-0" (22x34); 1"=80'-0" (11x17)

1



NOT FOR CONSTRUCTION

THRIVE ARCHITECTS
 Architect
 259 South Street, Suite A
 Waukesha, WI 53186
 p: 833-380-6180
 e: jdb@thrive-architects.com

wellspring CONSTRUCTION GROUP
 Contractor
 227 Sussex Street
 Pewaukee, WI 53072
 p: 262-696-4492
 e: tim@wellspringcg.com

Project Info. — 21112
PEWAUKEE SELF STORAGE
 NEW CONSTRUCTION
 227 Sussex Street
 Pewaukee, WI 53072

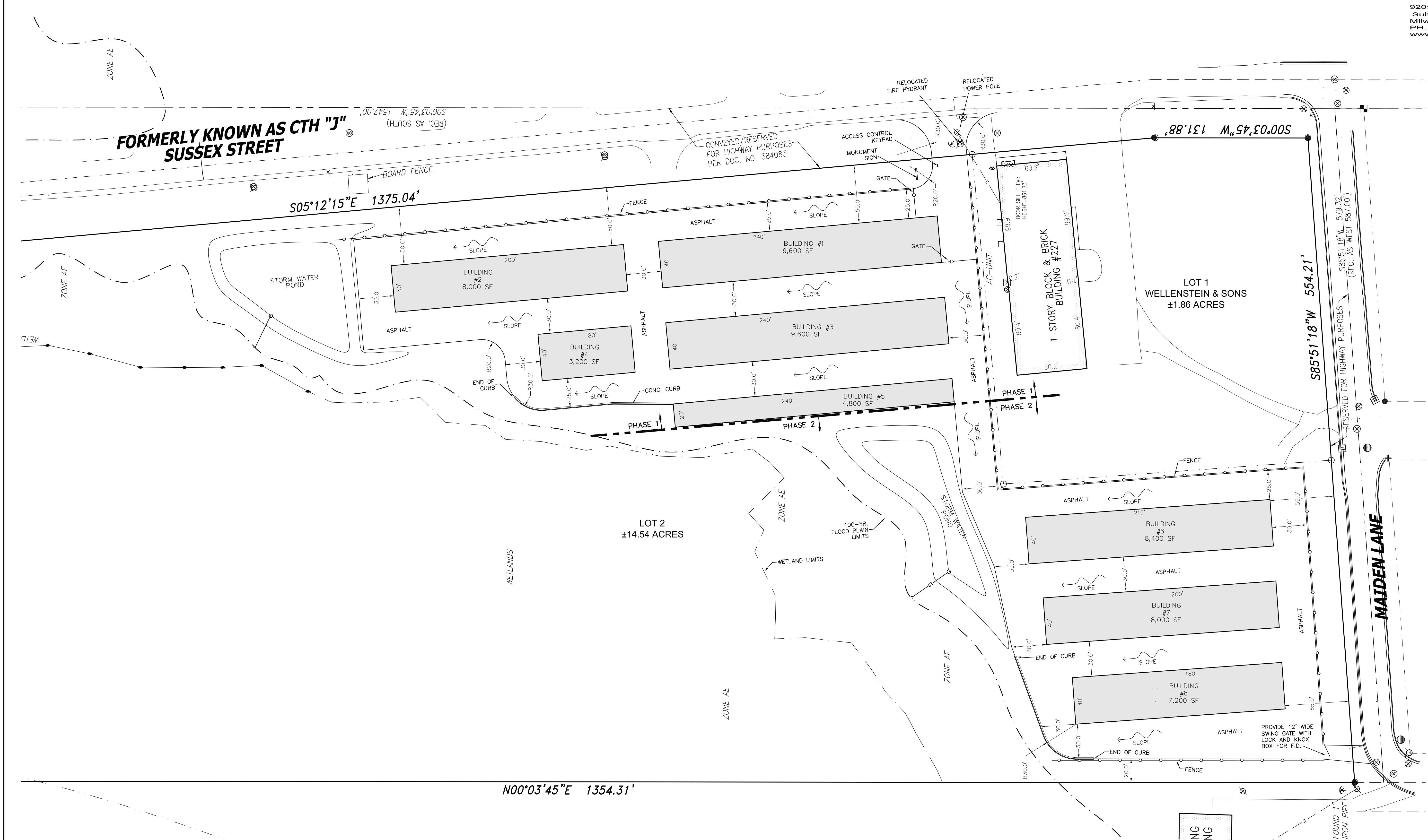
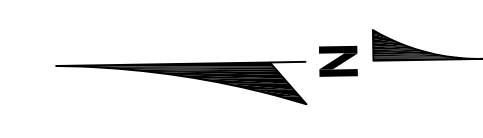
Sheet Title
SITE PLAN

Drawn by	Checked by
AMP	---

Revisions

No.	Date	Description
	12.21.21	PC Resubmittal

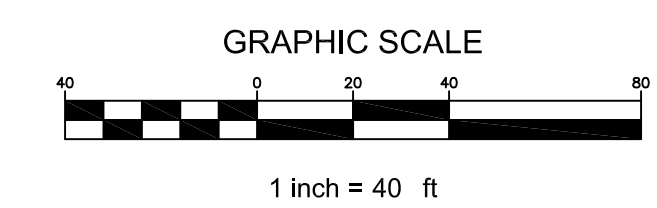
Sheet No.
SP1.0



**FORMERLY KNOWN AS CTH "J"
 SUSSEX STREET**

SUSSEX ST SELF-STORAGE
 VILLAGE OF PEWAUKEE, WISCONSIN

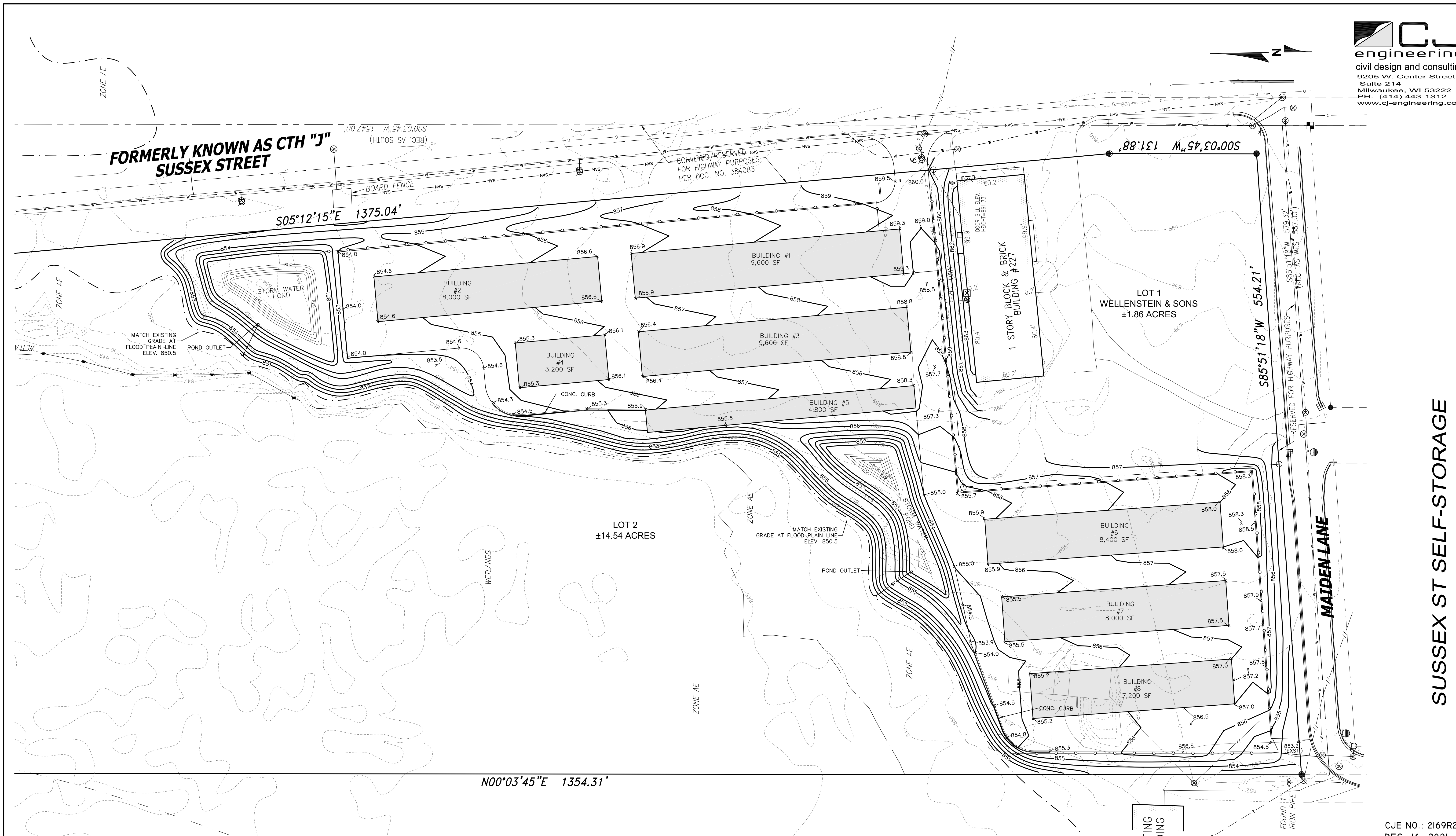
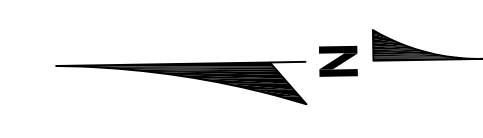
$N00^{\circ}03'45''E$ 1354.31'



- NOTES:**
- EXISTING CONDITIONS PER SURVEY BY CHAPUT LAND SURVEYS, DATED 10-12-2020.
 - WETLAND LOCATION PER FIELD DELINEATION BY HEARTLAND ECOLOGICAL GROUP, INC. 09-17-2020.
 - ALL BUILDING ROOF RUNOFF SHALL SPILL TO GRADE.
 - DISTURBED AREA: 240,300 S.F. (5.52 ACRES)

CJE NO.: 2169R2
 DEC. 16, 2021

SITE PLAN C1.0

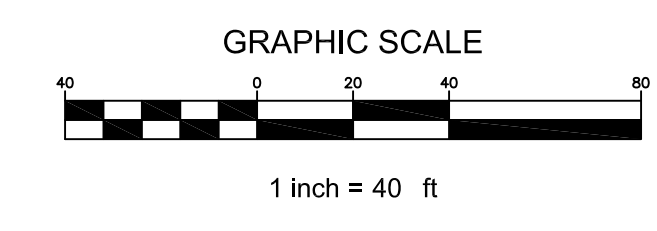


FORMERLY KNOWN AS CTH "J" SUSSEX STREET

SUSSEX ST SELF-STORAGE
 VILLAGE OF PEWAUKEE, WISCONSIN

LEGEND	
--- 852 ---	EXISTING CONTOUR
--- 857 ---	PROPOSED CONTOUR
x 856.5	PROPOSED ELEVATION
--- ST ---	EXISTING STORM SEWER
--- ST ---	PROPOSED STORM SEWER
--- SAN ---	EXISTING SANITARY SEWER
--- W ---	EXISTING WATER MAIN
--- G ---	UNDERGROUND GAS MAIN
--- TEL ---	UNDERGROUND TELEPHONE
--- E ---	UNDERGROUND ELECTRIC

DIGGERS HOTLINE
 CALL DIGGERS HOTLINE
 811 or 1-800-242-8511 / MILW. AREA
 259-1181
 WIS STATUTE 182.0175(1974) REQUIRES MIN.
 3 WORK DAYS NOTICE BEFORE YOU
 EXCAVATE



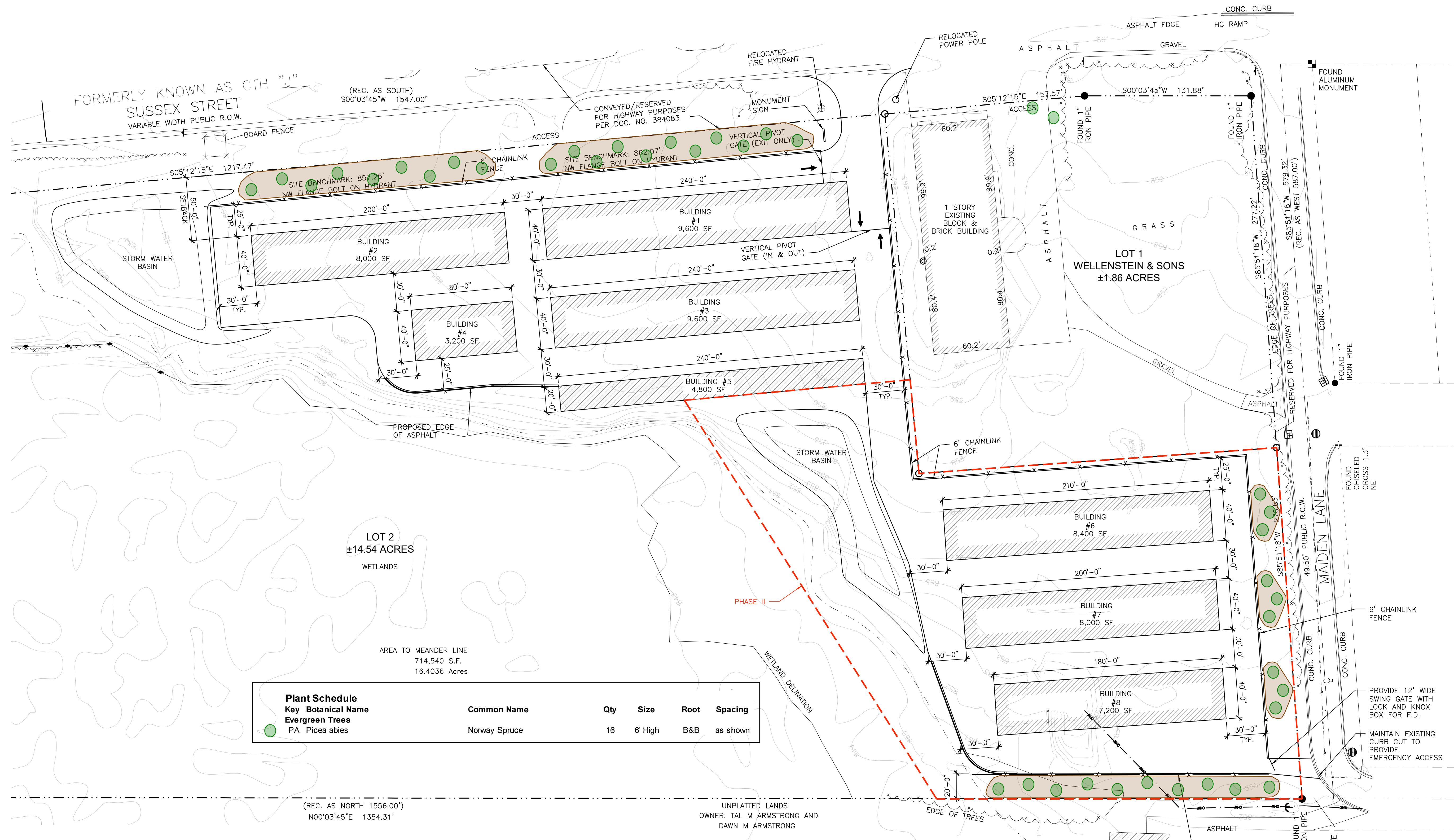
- NOTES:
- EXISTING CONDITIONS PER SURVEY BY CHAPUT LAND SURVEYS, DATED 10-12-2020.
 - WETLAND LOCATION PER FIELD DELINEATION BY HEARTLAND ECOLOGICAL GROUP, INC. 09-17-2020.
 - ALL PROPOSED SPOT GRADES ALONG THE CURB AND AT THE FLANGE LINE.
 - ALL BUILDING ROOF RUNOFF SHALL SPILL TO GRADE.
 - DISTURBED AREA: 240,300 S.F. (5.52 ACRES)

SITE GRADING PLAN C2.0

CJE NO.: 2169R2
 DEC. 16, 2021

Drawn by	Checked by
AMP	---

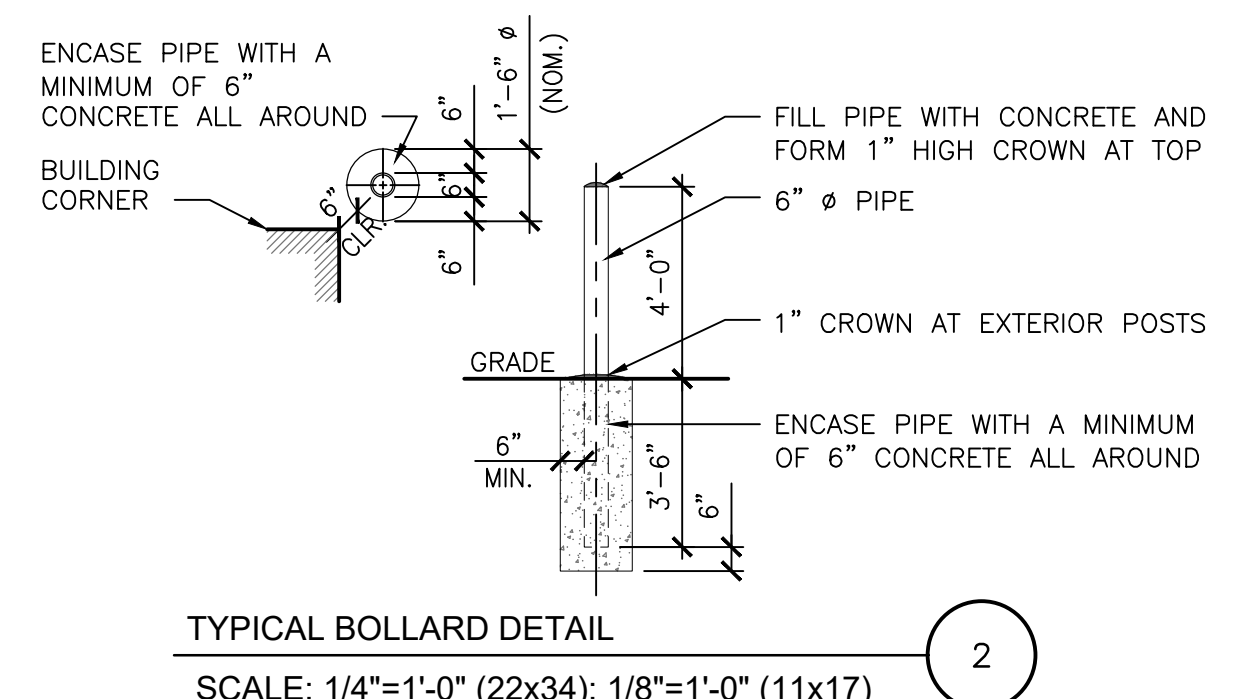
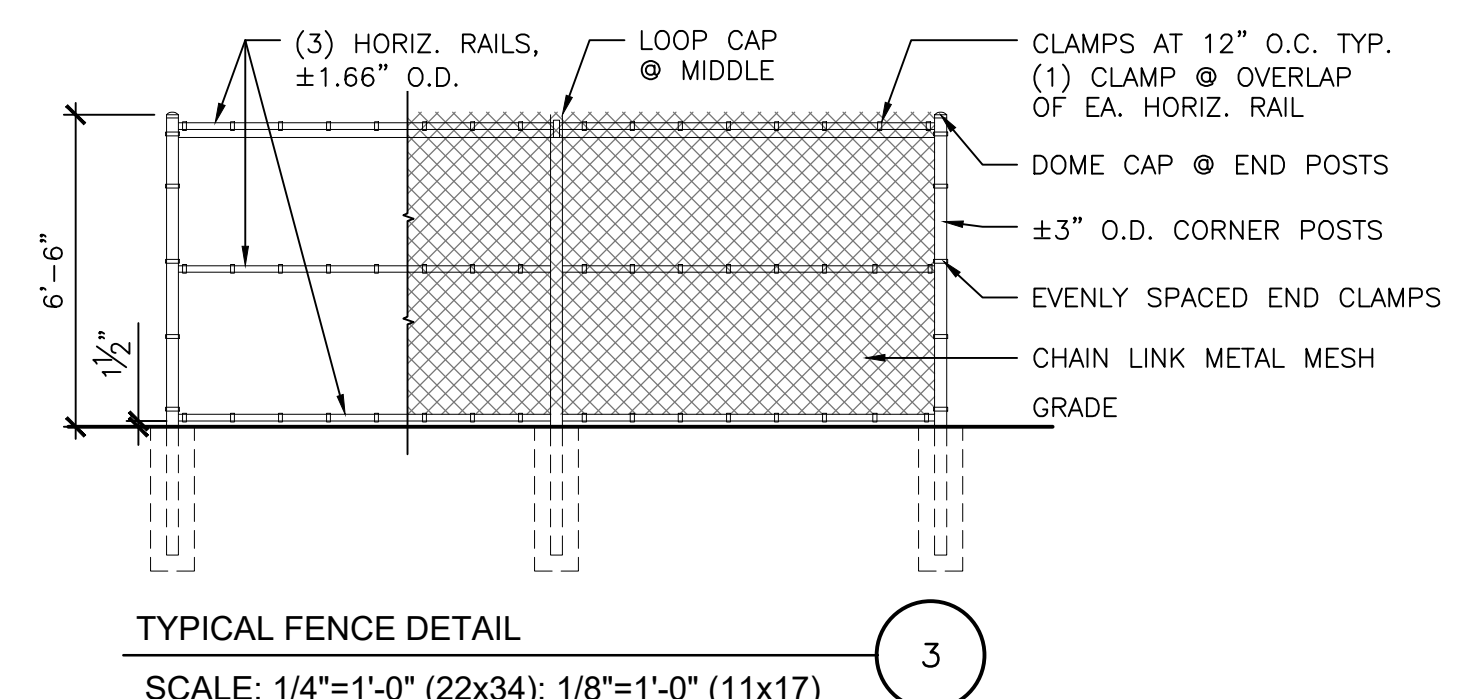
Revisions		
No.	Date	Description
	12.21.21	PC Resubmittal



Plant Schedule					
Key Botanical Name	Common Name	Qty	Size	Root	Spacing
Evergreen Trees					
PA Picea abies	Norway Spruce	16	6' High	B&B	as shown

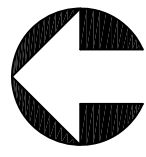
PROJECT INFORMATION - LOT #2 (PHASE I & II)

OWNER ADDRESS	230 SUSSEX STREET LLC 227 SUSSEX ST. PEWAUKEE, WI 53072-2520		
ZONING	B-5 LIGHT INDUSTRIAL		
CONDITIONAL USE	WAREHOUSING/ACCESSORY STORAGE YARD		
LOT SIZE	CURRENT	DEVELOPED	CHANGE
BUILDINGS (GSF)	14.54 ACRES	14.54	NONE
	1,038.6	58,800	57,761.4 S.F.
BUILDING HEIGHT	PROPOSED	CODE REQUIREMENT	
FAR	<12	<50'	
LOT SIZE	14.54 ACRES	>1 ACRE	
IMPERVIOUS	23.72% AVG.	65% MAX.	150259
GREEN SPACE	76.28% AVG.	35% MIN.	
ACCESS HOURS:	24 HOURS PER DAY, 7 DAYS PER WEEK		
	SECURE SITE WITH ACCESS CONTROL		
EMPLOYEES:	NO FULL TIME EMPLOYEES ON SITE		
PARKING:	UNOCCUPIED BUILDINGS.		



SITE PLAN
 SCALE: 1"=40'-0" (22x34); 1"=80'-0" (11x17)

NOT FOR CONSTRUCTION



wellspring
CONSTRUCTION GROUP

227 Sussex Street
Pewaukee, WI 53072
262.806.4482

Imagination | Experience | Results
www.wellspringcg.com

PROJECT INFORMATION

Sussex Street Self Storage

227 Sussex St.
Pewaukee, WI 53072

ISSUANCE AND REVISIONS

Issued for
Review

REVISIONS

#	Description	Date

SHEET INFORMATION

OWNERSHIP AND USE OF DOCUMENTS

The drawings, specifications and other documents furnished by the Design/Builder are instruments of service and shall not become the property of the Owner whether or not the Project for which they are made is completed. Drawings, specifications and other documents furnished by the Design/Builder shall not be used by the Owner on other projects, for additions to this project or for completion to use, liability and compensation. Submission or distribution of documents to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of the Design/Builder's or the Architect's common law copyrights or other reserved rights. The Owner shall own neither the documents nor the copyrights.

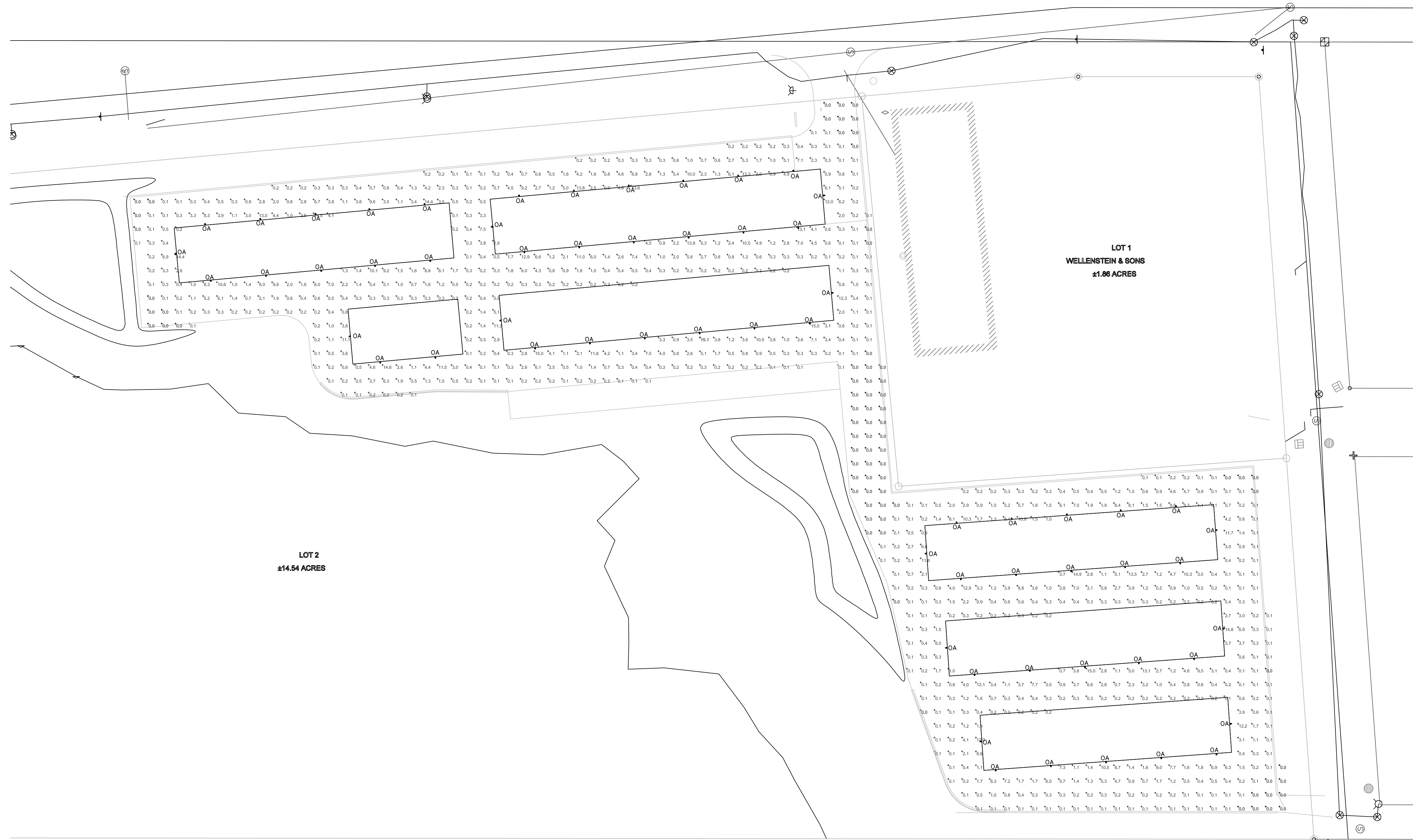
PROJECT NUMBER	00337
DATE	12.20.2021
DRAWN BY	JDP

Site Lighting Plan

SL100

Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
	OA	62	GUARD PACK WPGP-28-40-T3S	WALLPACK BUILDING MOUNTED 9.5' AFG	4000K LED	1	3604	1	28.1

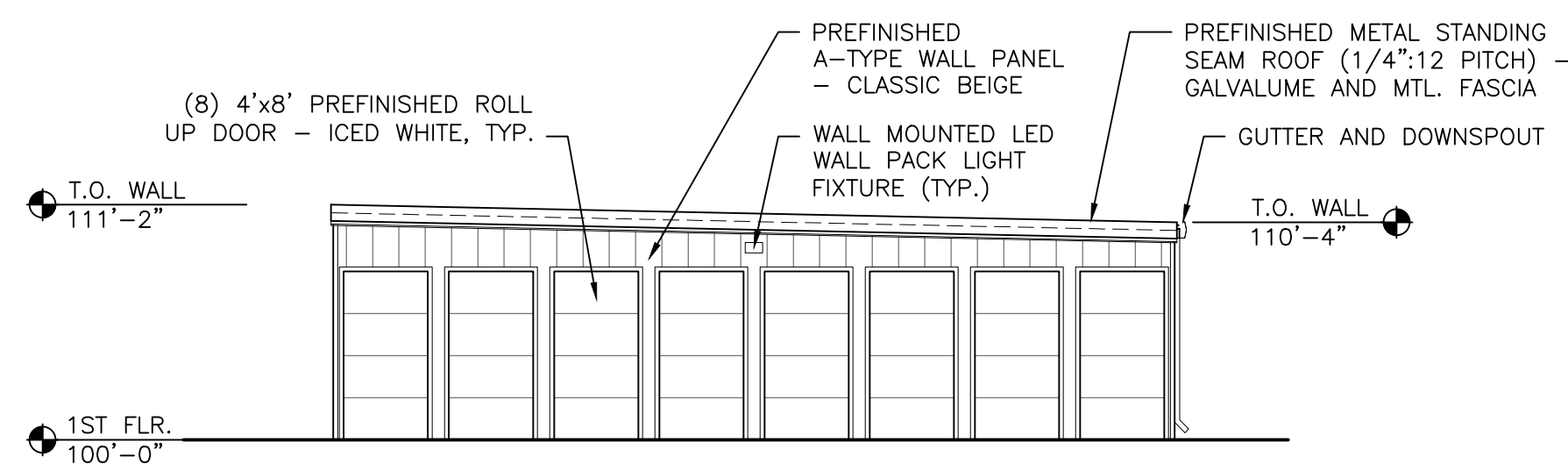
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE PHOTOMETRICS	+	1.9 fc	15.1 fc	0.0 fc	N/A	N/A



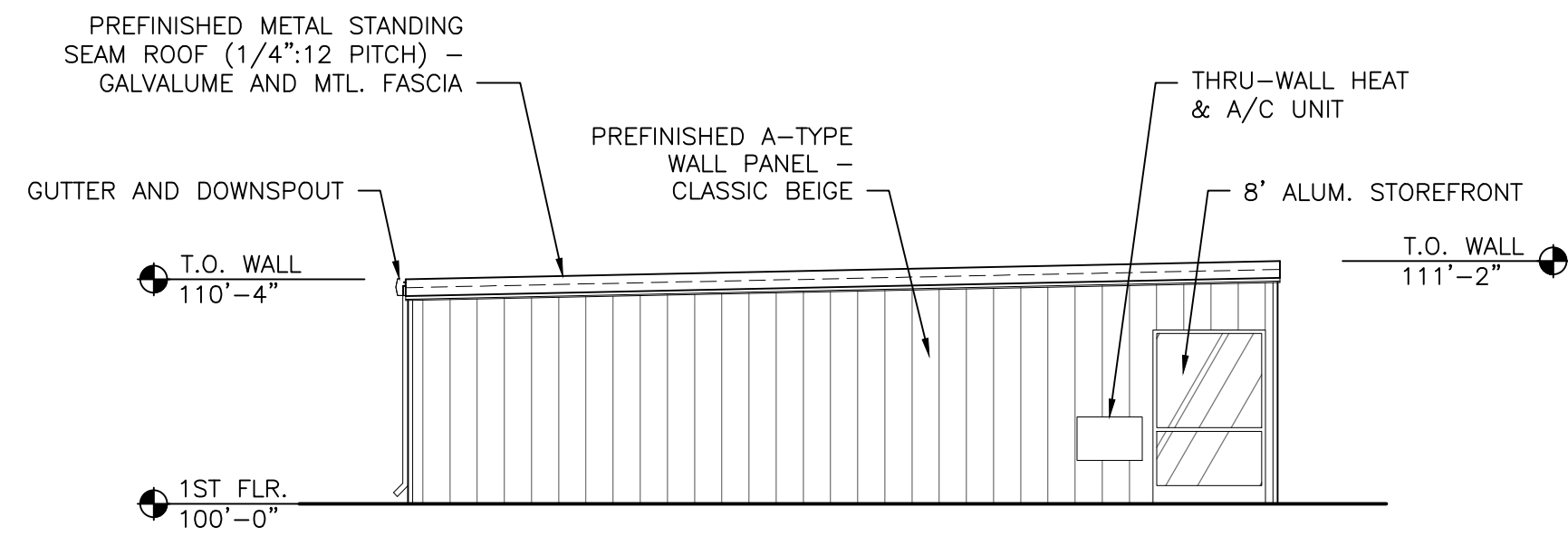
site photometric lighting plan
1" = 40'-0"

JDP Electrical Design, LLC
Electrical Design & Consulting

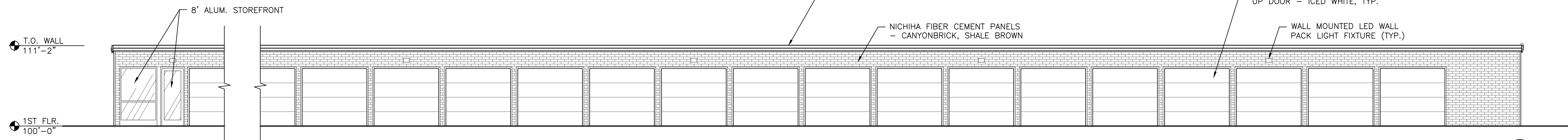
563 S16367 College Ave.
Muskego, WI 53150
jdp@electricaldesign.com
(414) 750-2006



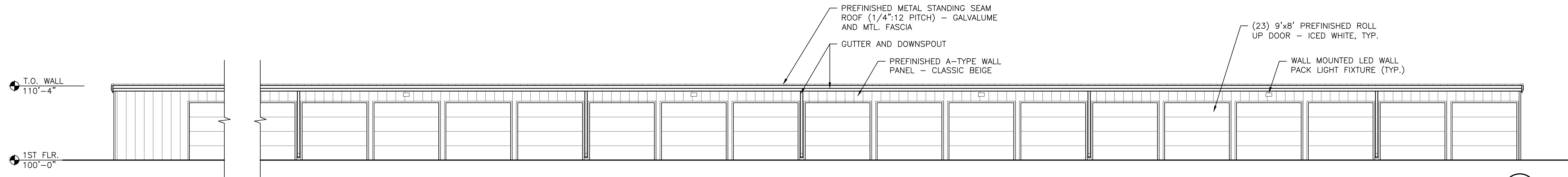
BUILDING 1 - NORTH ELEVATION
SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17) 5



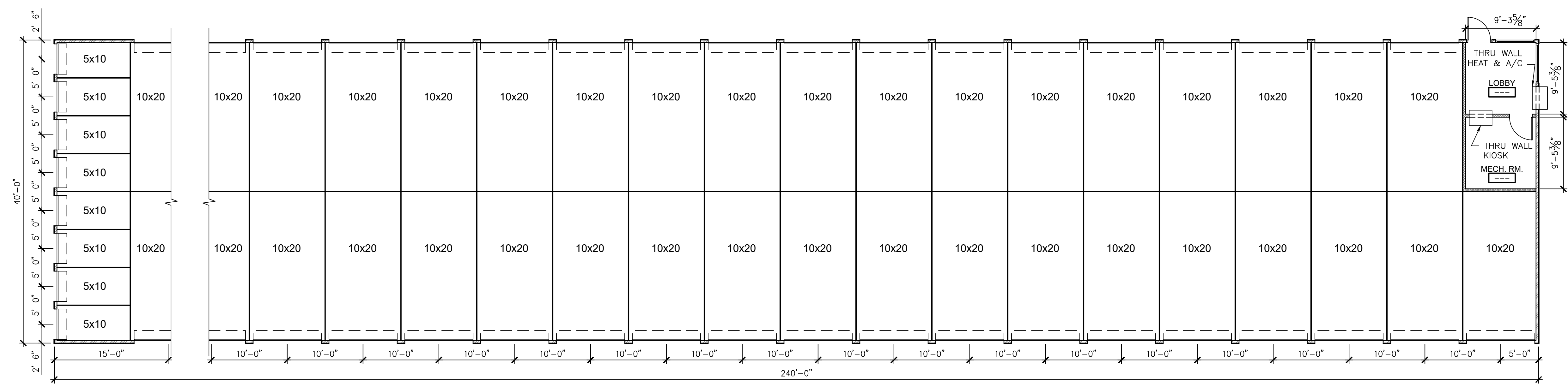
BUILDING 1 - SOUTH ELEVATION
SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17) 4



BUILDING 1 - EAST ELEVATION
SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17) 3



BUILDING 1 - WEST ELEVATION
SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17) 2



BUILDING 1 - PLAN
SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17) 1

THRIVE ARCHITECTS
Architect
259 South Street, Suite A
Waukesha, WI 53186
p: 833-380-6180
e: jdb@thrive-architects.com

wellspring CONSTRUCTION GROUP
Contractor
227 Sussex Street
Pewaukee, WI 53072
p: 262-696-4492
e: tim@wellspringcg.com

Project Info. — 21112
PEWAUKEE SELF STORAGE
NEW CONSTRUCTION
227 Sussex Street
Pewaukee, WI 53072

Sheet Title
BUILDING 1 - PLAN AND ELEVATIONS

Drawn by	Checked by
AMP	---

Revisions

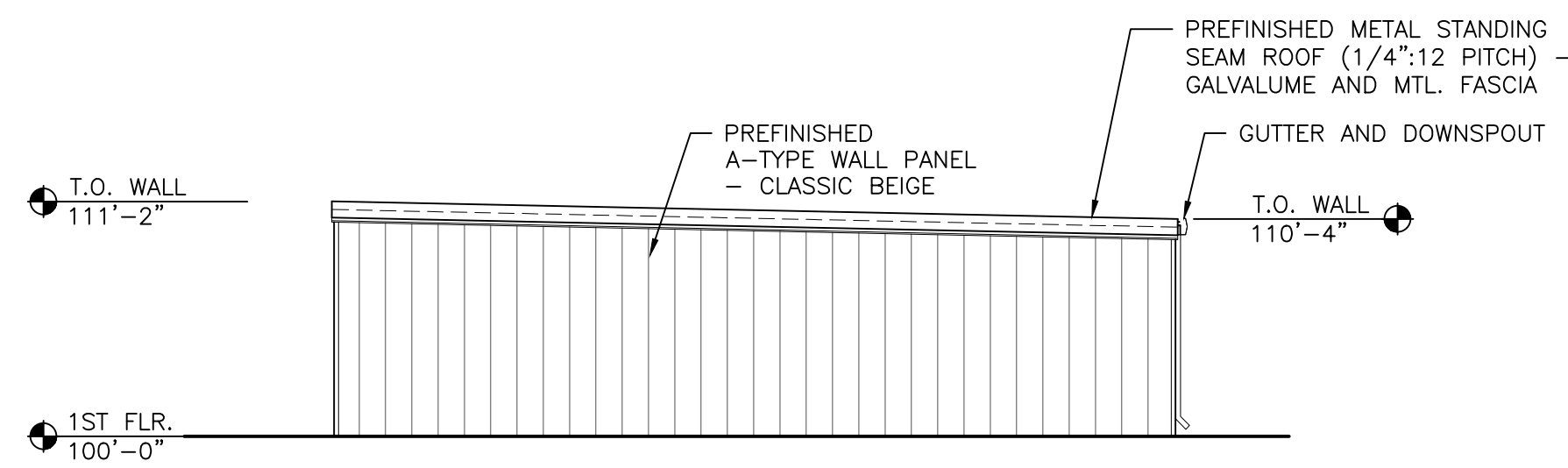
No.	Date	Description
	12.21.21	PC Resubmittal

Sheet No.
A1.0

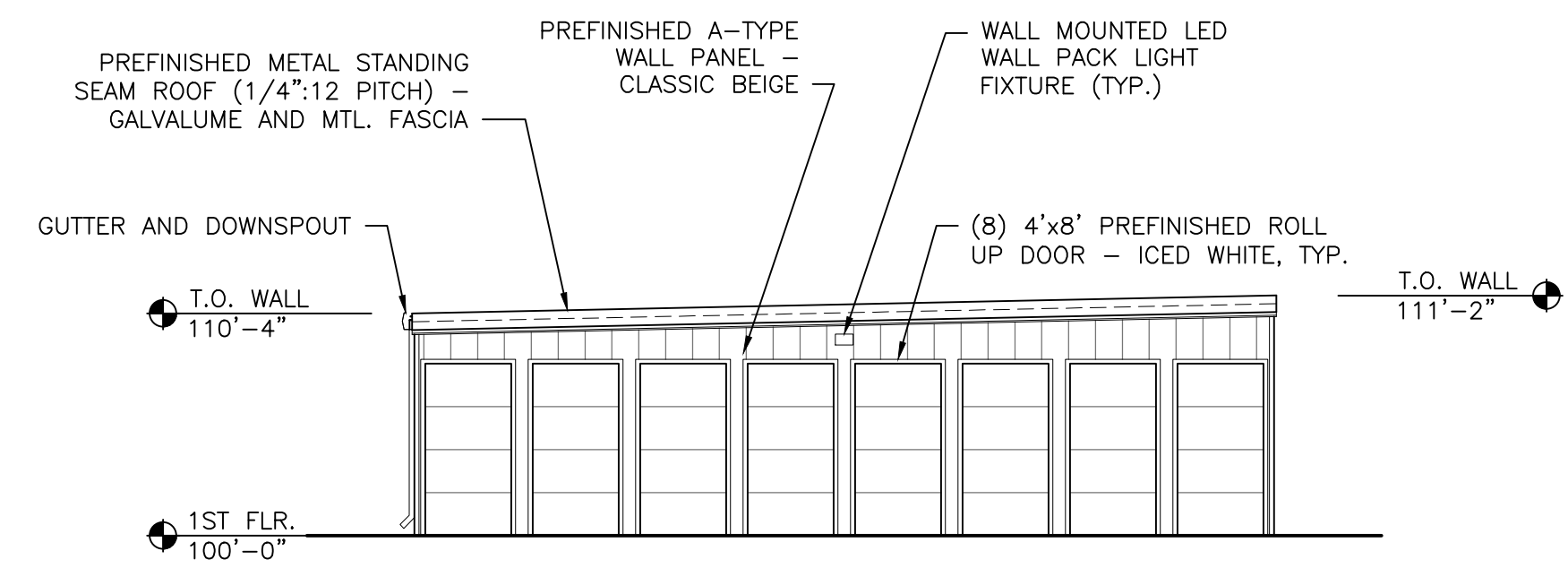
NOT FOR CONSTRUCTION



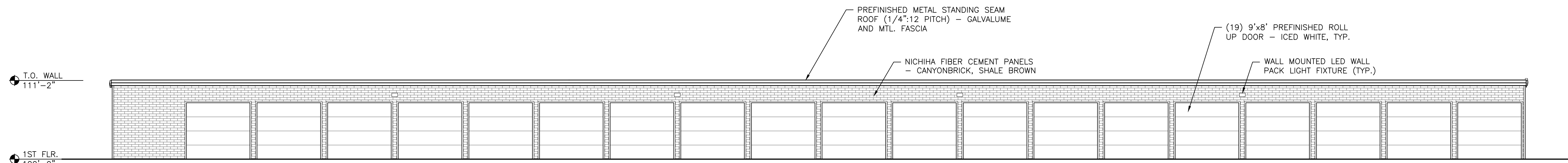
BUILDING 2 - PLAN AND ELEVATIONS



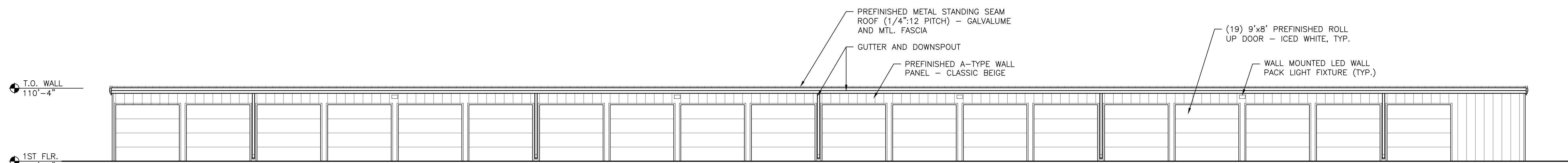
BUILDING 2 - NORTH ELEVATION
 SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17) 5



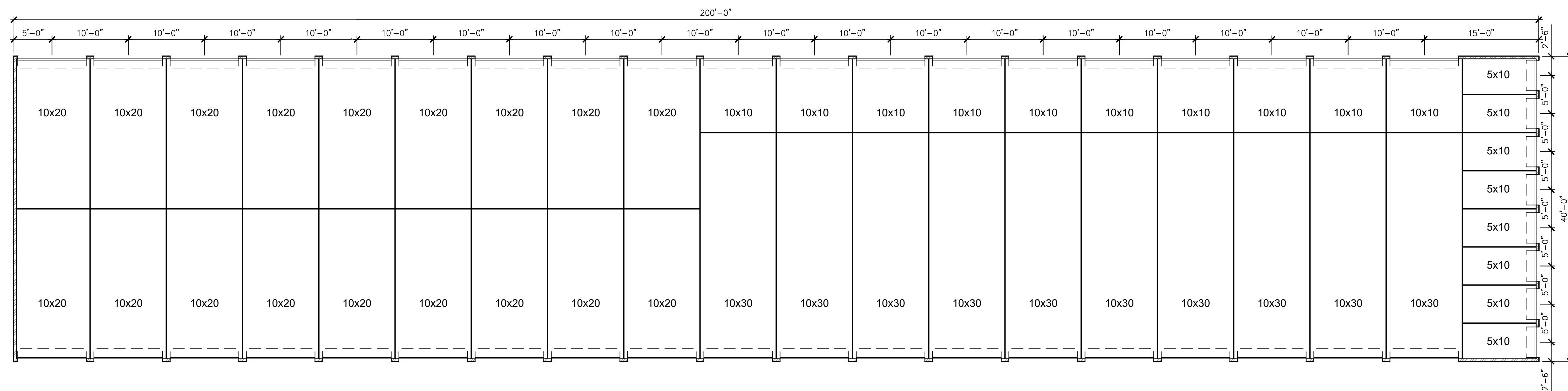
BUILDING 2 - SOUTH ELEVATION
 SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17) 4



BUILDING 2 - EAST ELEVATION
 SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17) 3



BUILDING 2 - WEST ELEVATION
 SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17) 2



BUILDING 2 - PLAN
 SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17) 1

NOT FOR CONSTRUCTION

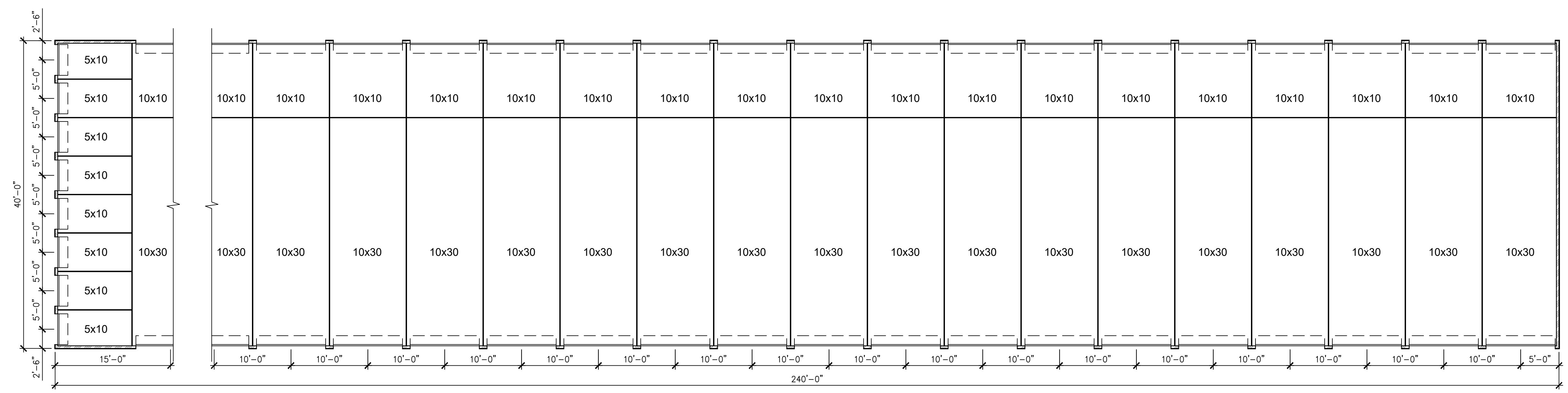
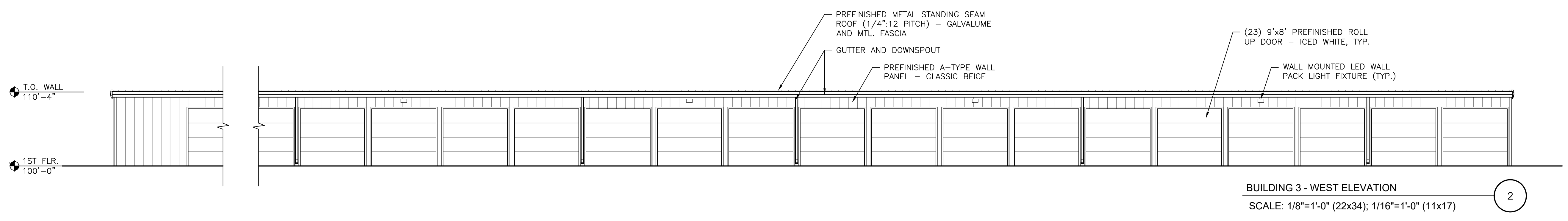
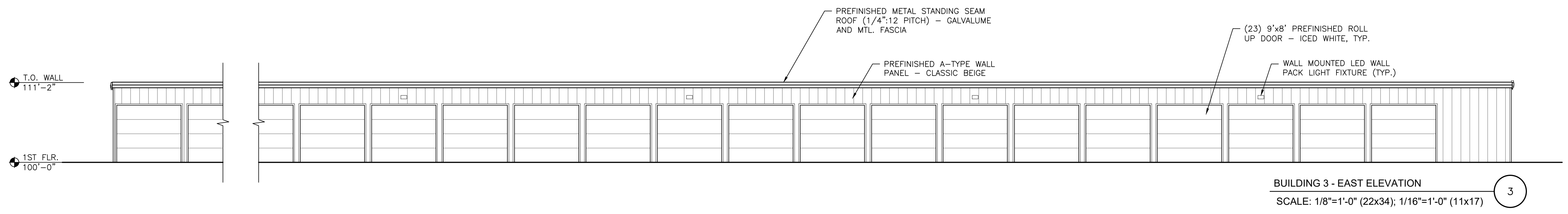
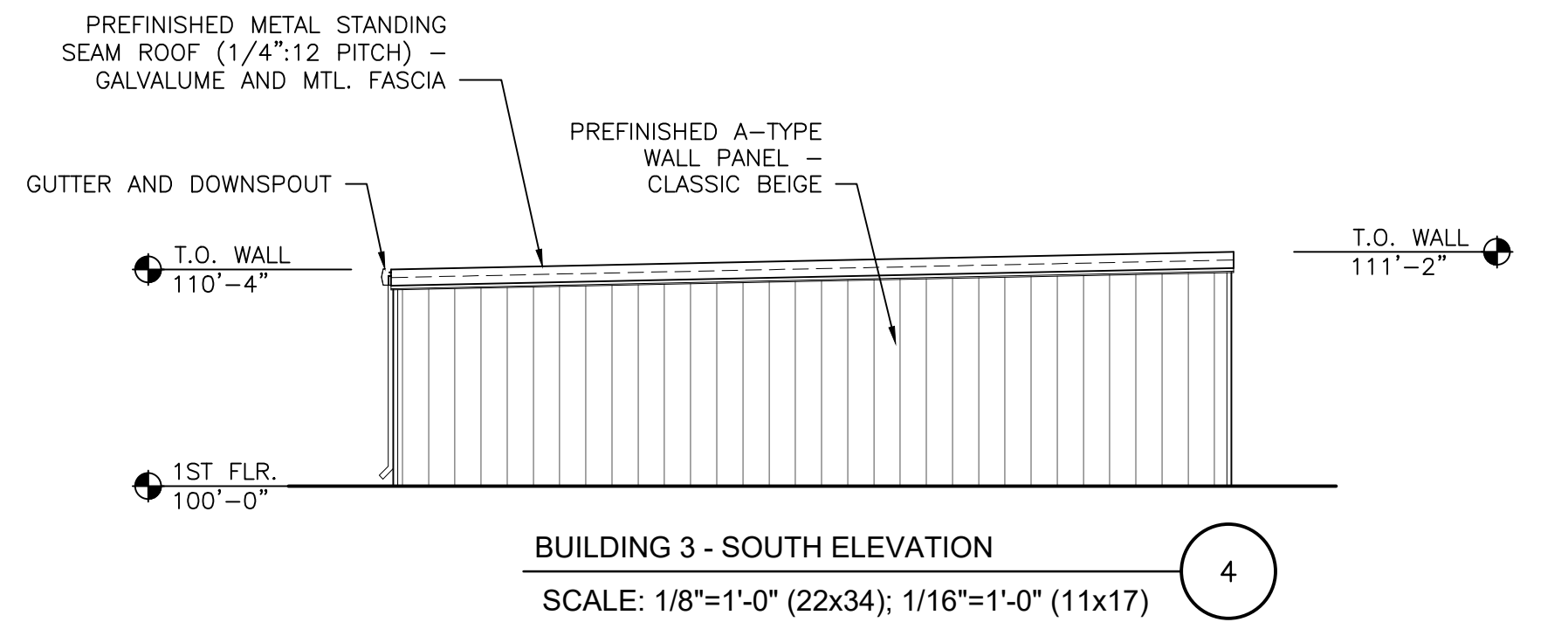
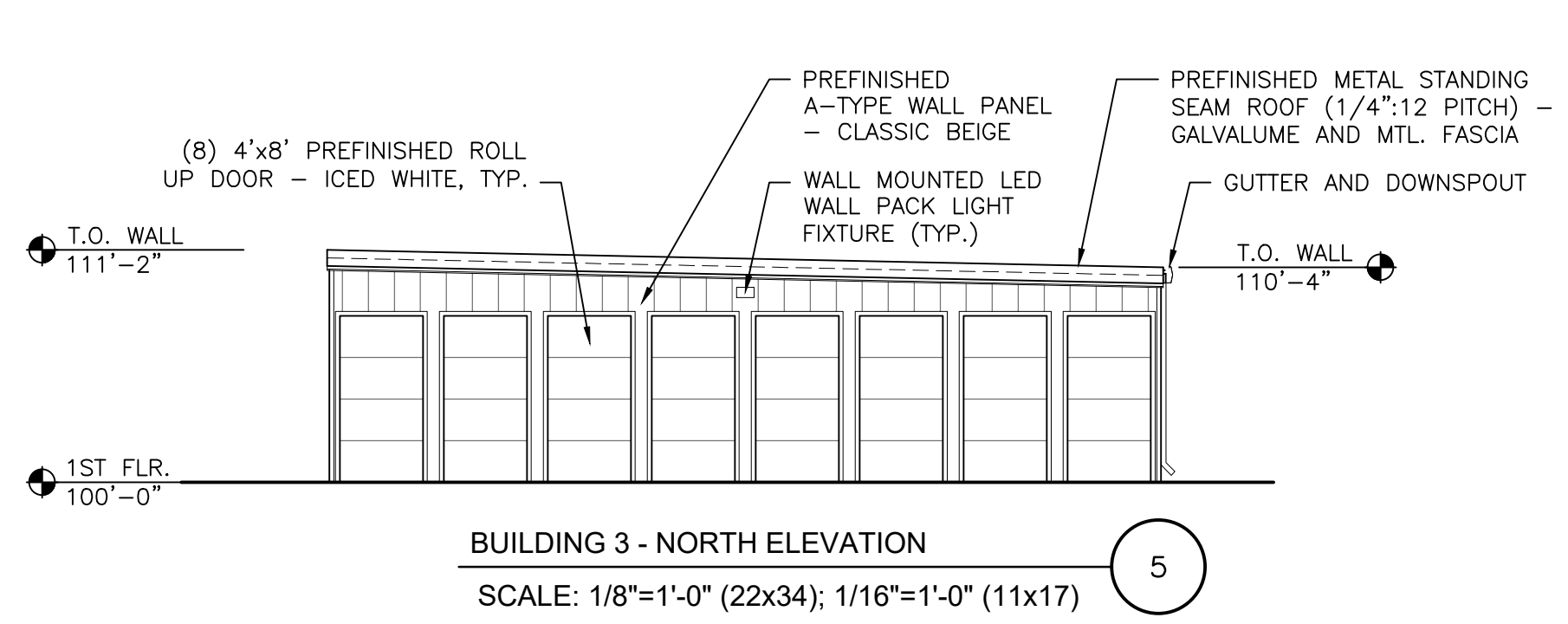
Drawn by	Checked by
AMP	---

Revisions		
No.	Date	Description
	12.21.21	PC Resubmittal

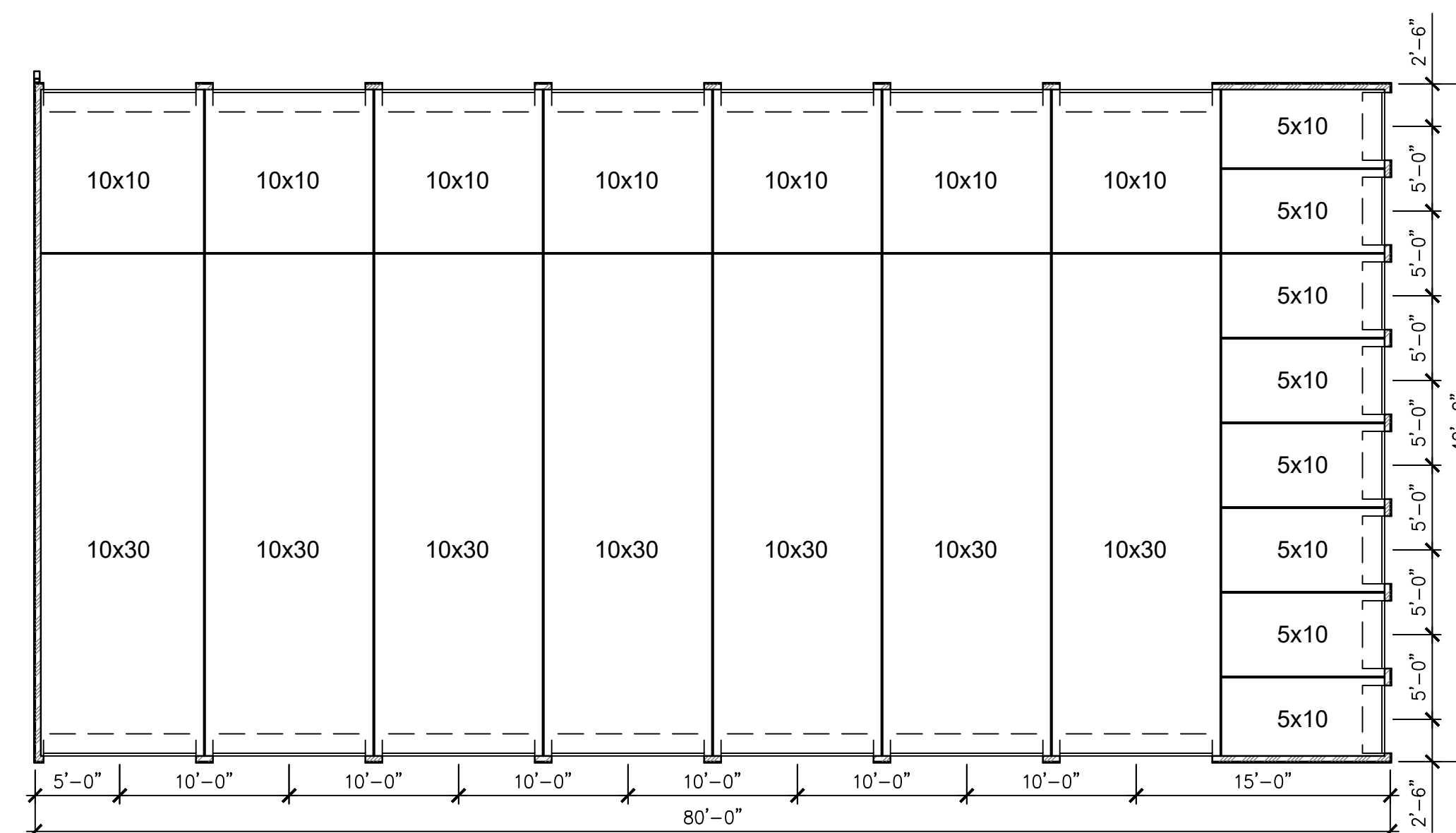
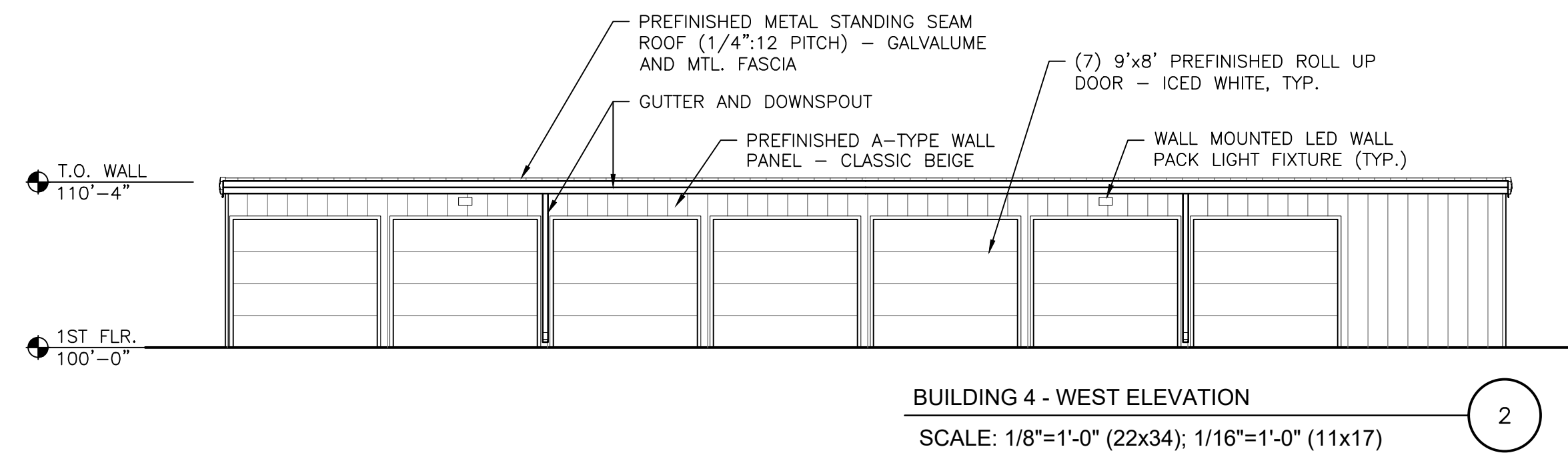
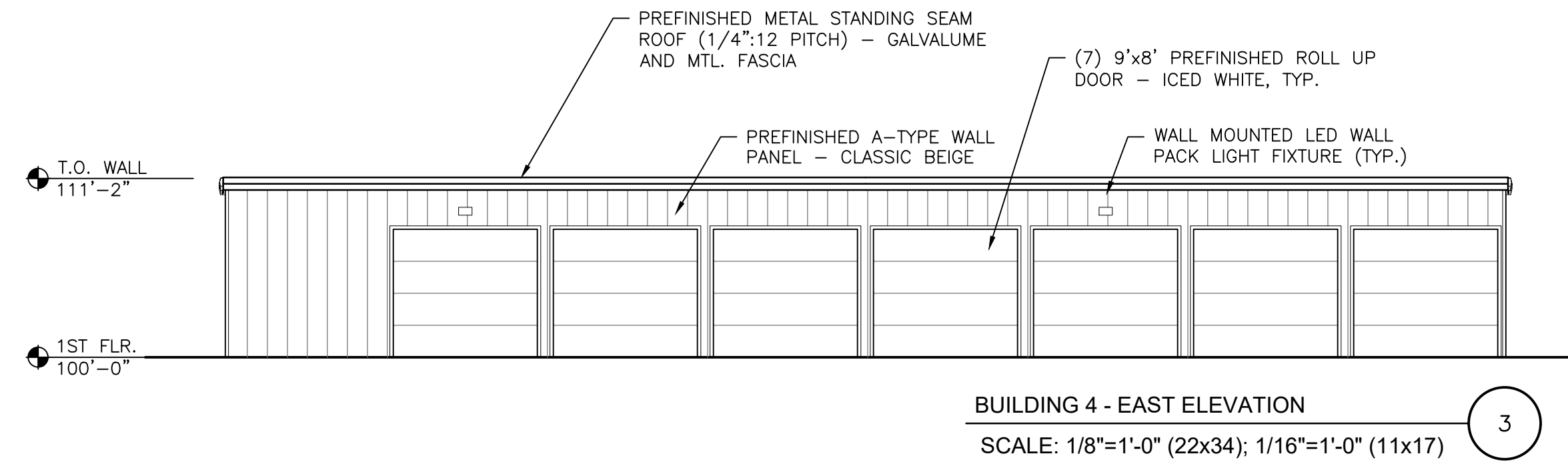
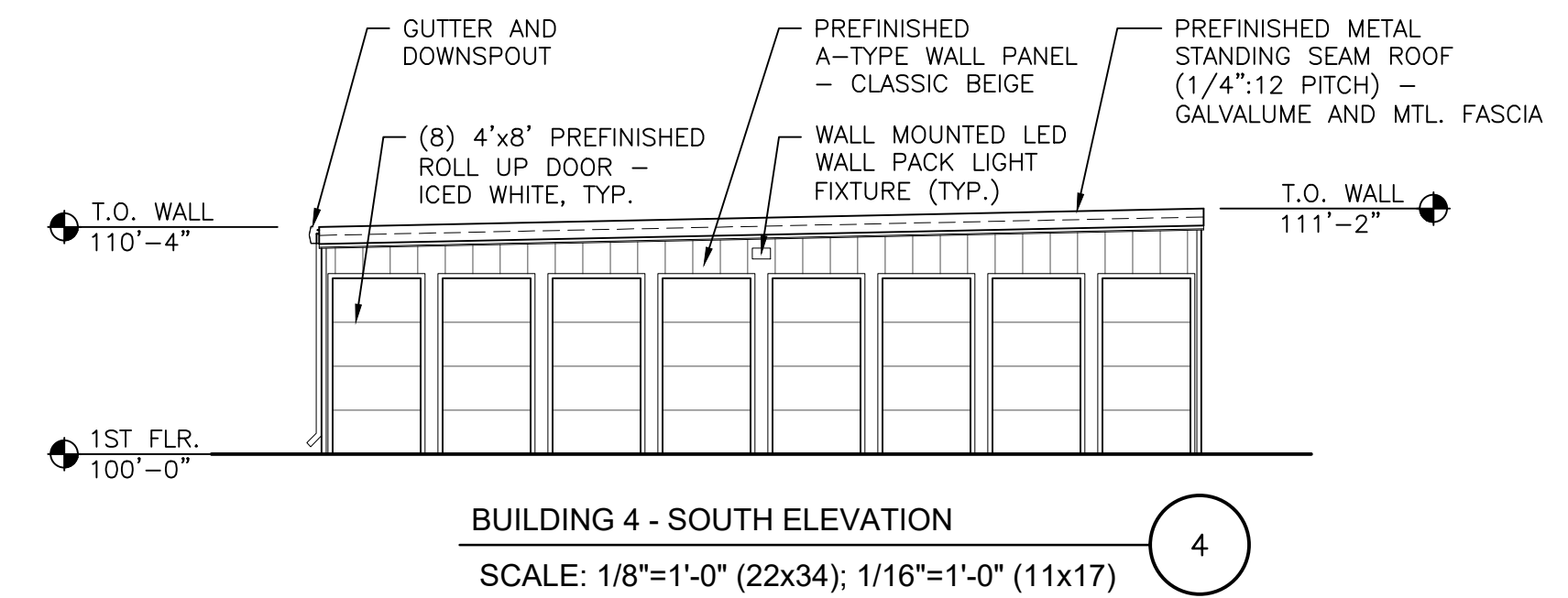
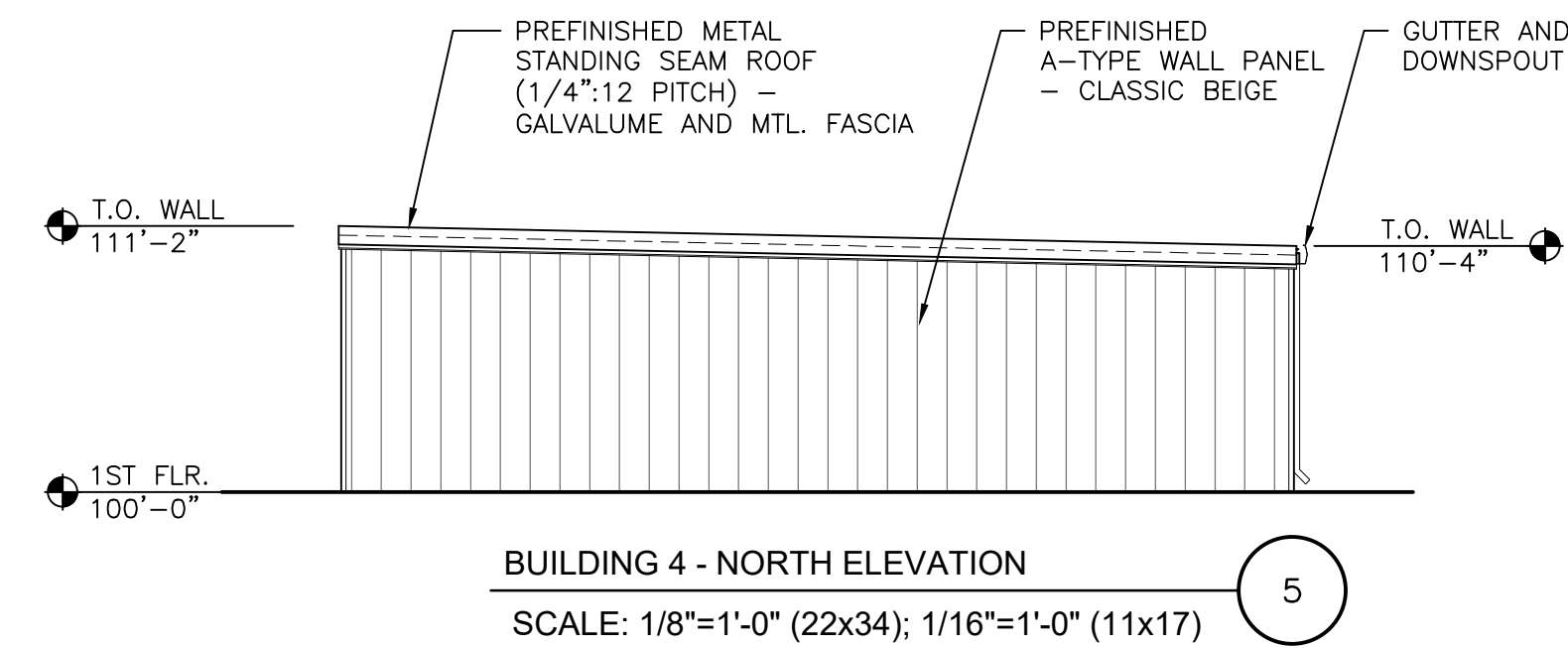
Drawn by	Checked by
AMP	---

Revisions

No.	Date	Description
	12.21.21	PC Resubmittal



NOT FOR CONSTRUCTION



THRIVE ARCHITECTS
Architect
259 South Street, Suite A
Waukesha, WI 53186
p: 833-380-6180
e: jdb@thrive-architects.com

wellspring CONSTRUCTION GROUP
Contractor
227 Sussex Street
Pewaukee, WI 53072
p: 262-696-4492
e: tim@wellspringcg.com

Project Info. — 21112
PEWAUKEE SELF STORAGE
NEW CONSTRUCTION
227 Sussex Street
Pewaukee, WI 53072

Sheet Title
BUILDING 4 - PLAN AND ELEVATIONS

Drawn by	Checked by
AMP	---

Revisions

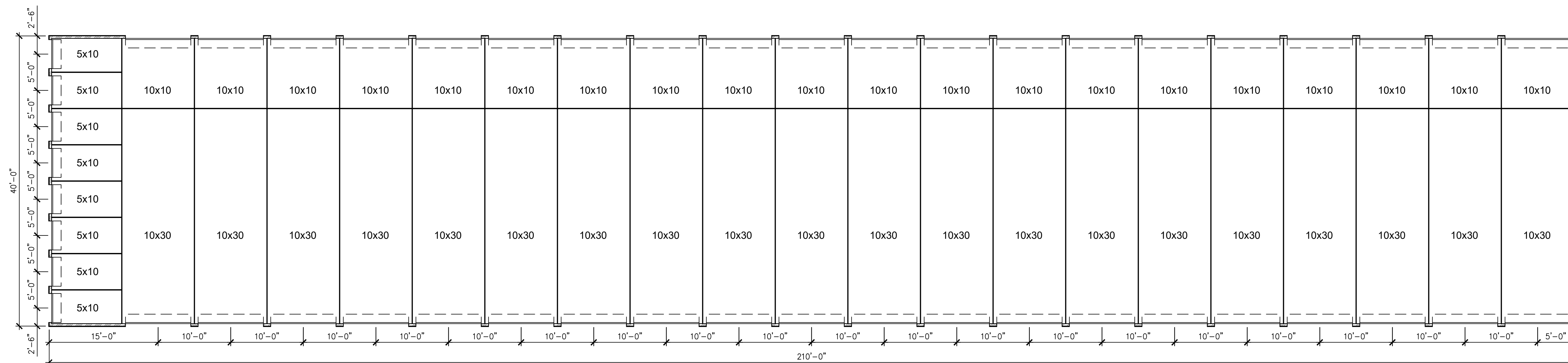
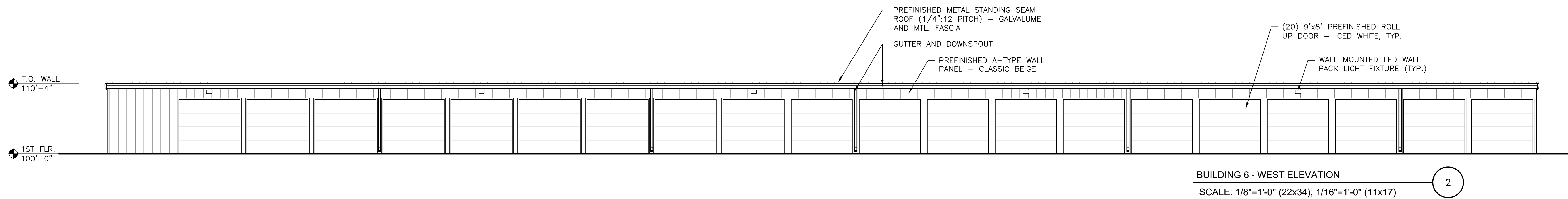
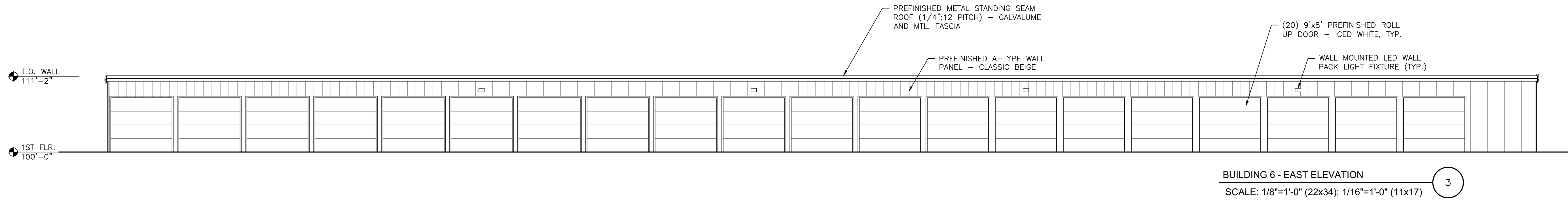
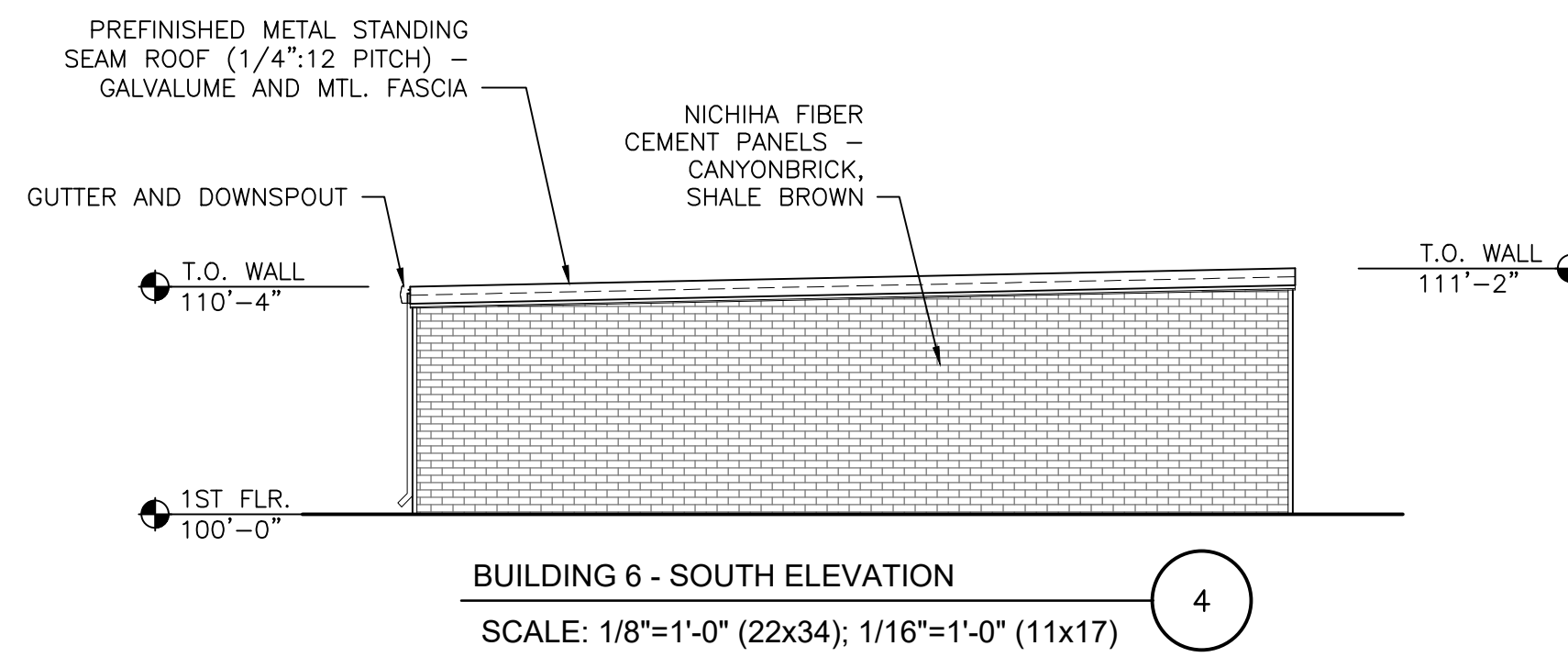
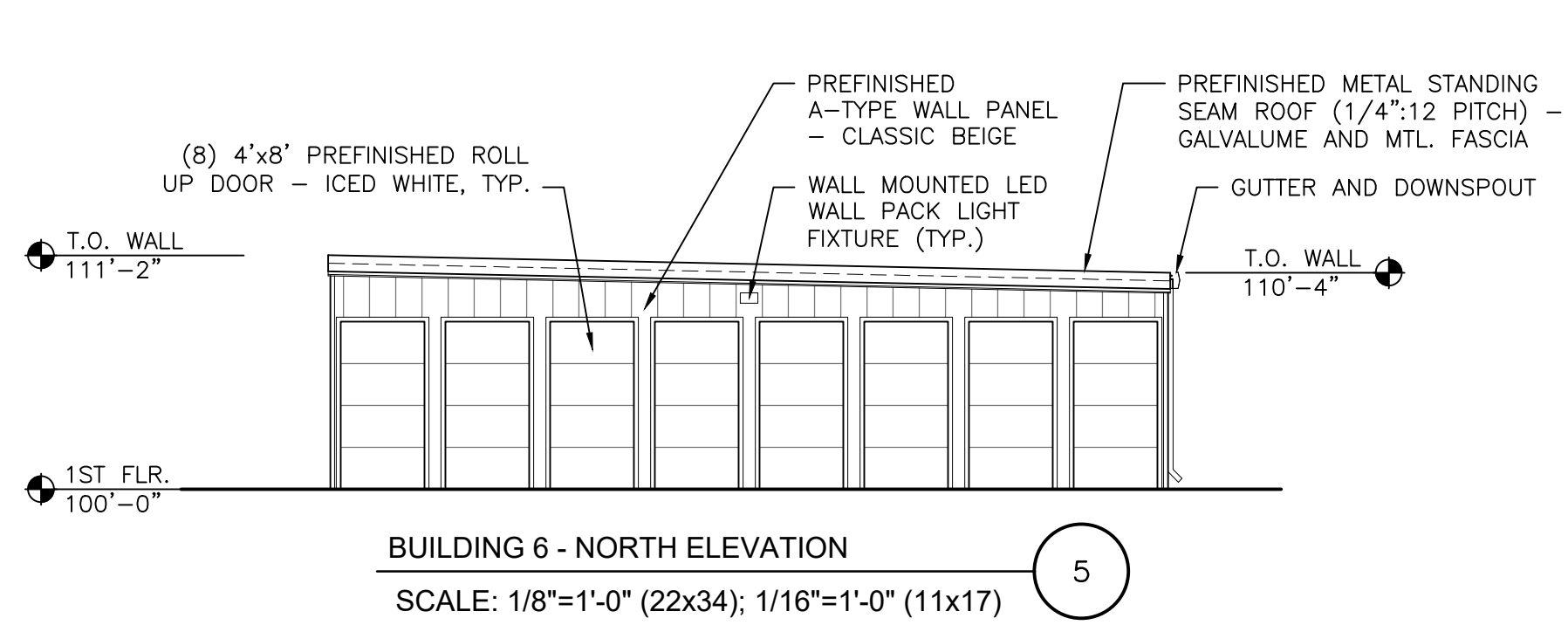
No.	Date	Description
	12.21.21	PC Resubmittal

Sheet No.
A1.3

NOT FOR CONSTRUCTION

Drawn by	Checked by
AMP	---

Revisions		
No.	Date	Description
	12.21.21	PC Resubmittal



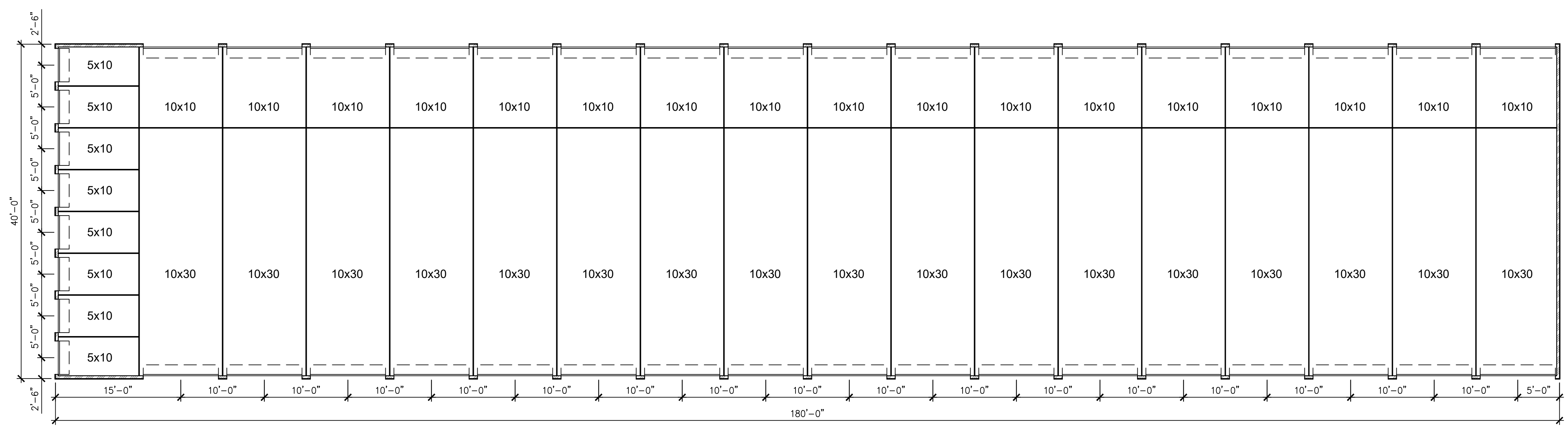
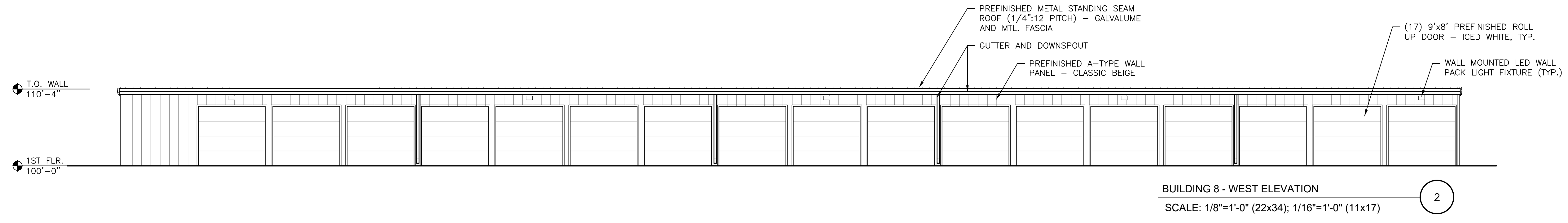
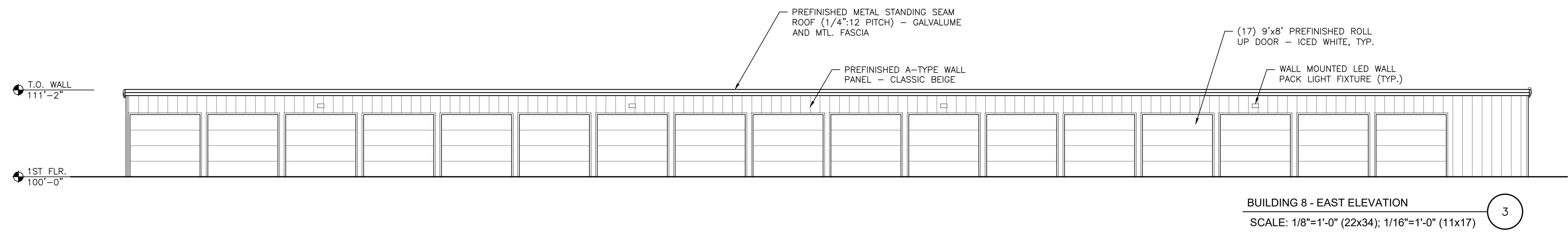
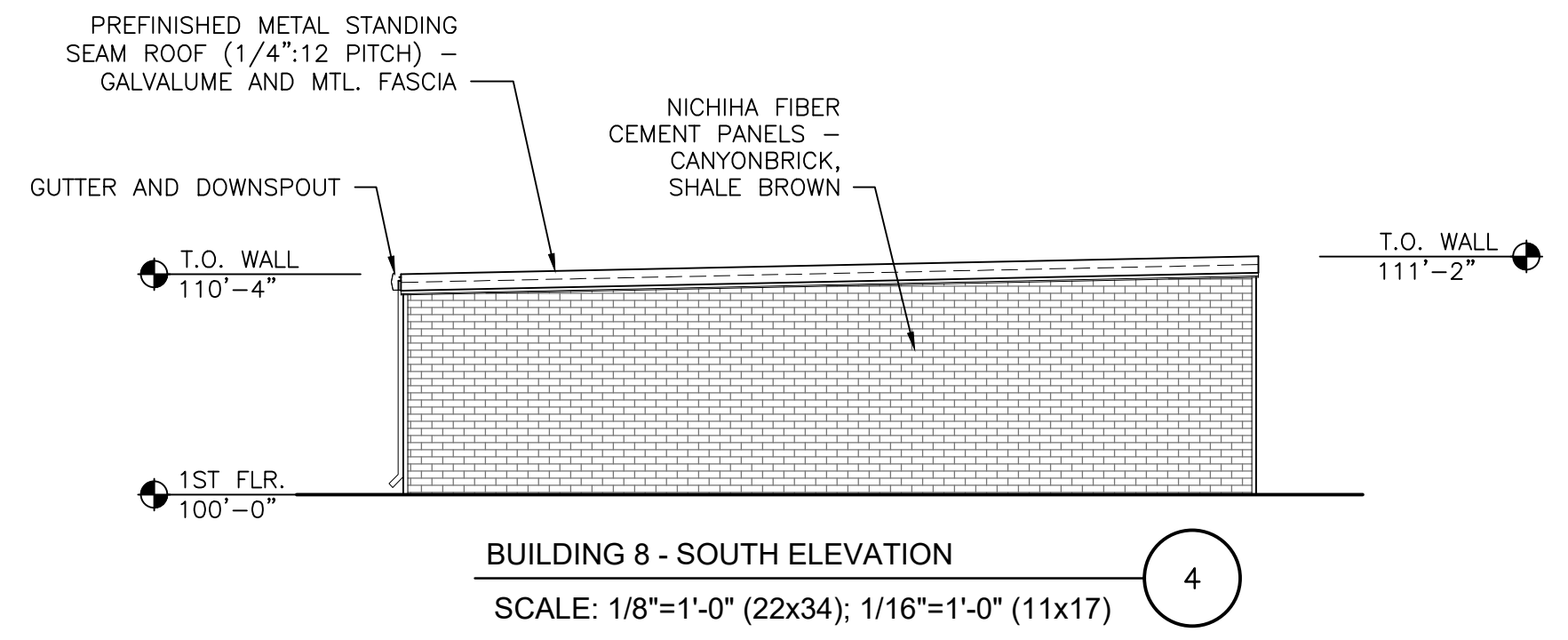
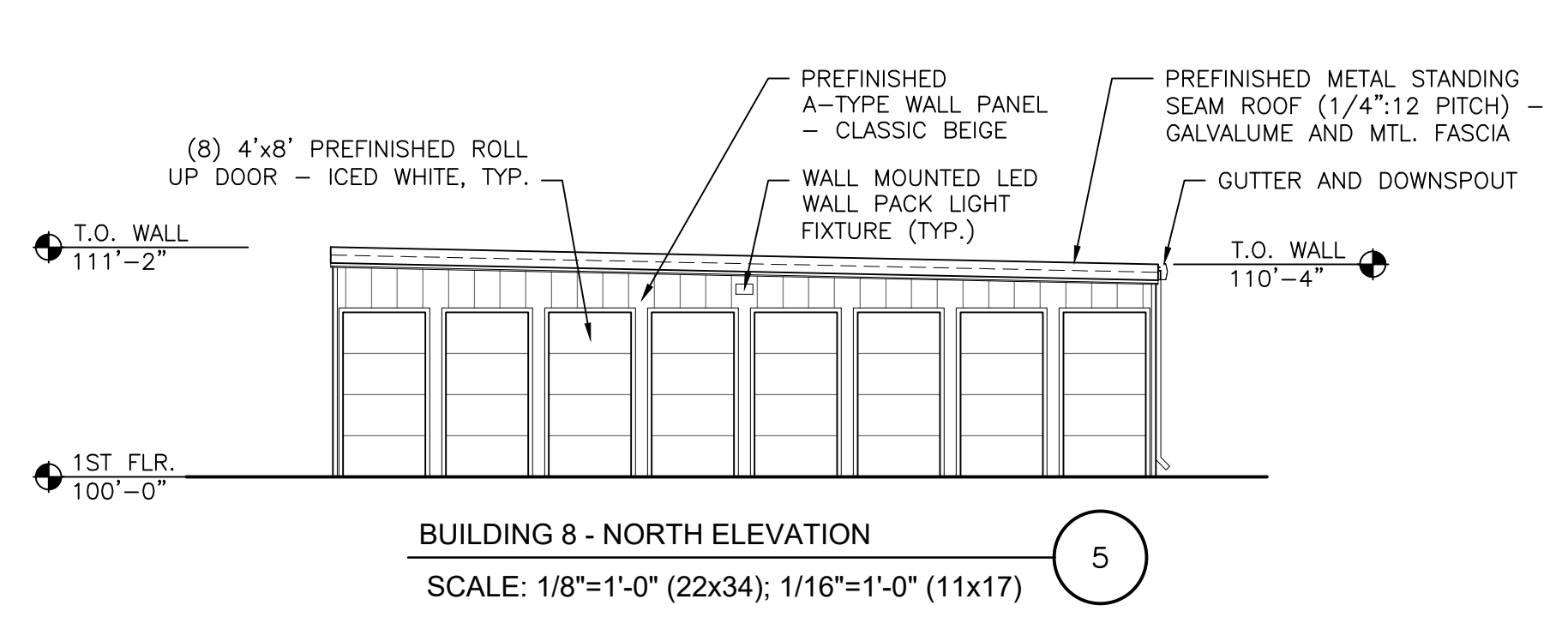
NOT FOR CONSTRUCTION

Sheet Title
BUILDING 8 - PLAN AND ELEVATIONS

Drawn by	Checked by
AMP	---

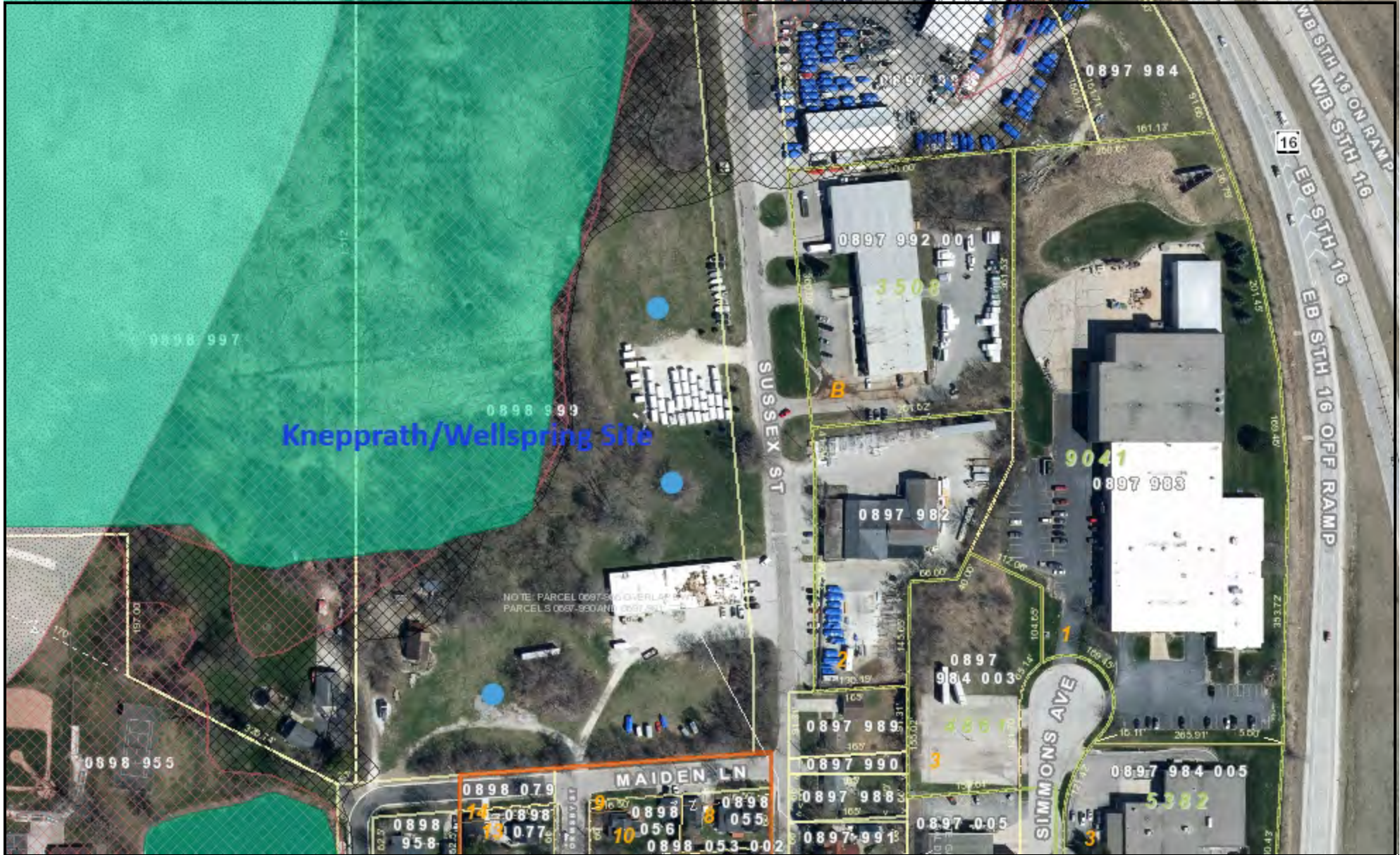
Revisions

No.	Date	Description
	12.21.21	PC Resubmittal



NOT FOR CONSTRUCTION

Kneprath/Wellspring Site



NOTE: PARCEL 0897 990 OVERLAPS PARCELS 0897 990 AND 0897 991

0 188.45 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Notes: 227 Sussex Street

Printed: 12/2/2021



STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: January 13, 2022

General Information:

Agenda Item: **6.d.**

Applicant:

N/A

Status of Applicant:

Village initiated item

Requested Action:

Review and discussion regarding the side and rear yard offset requirements for attached building features such as decks/porches/seasonal rooms in the Residential Infill-Redevelopment Overlay (RIRO) zoning district.

Background/Discussion:

The Village Staff is aware that the side and rear yard offset requirements in the newly created Residential Infill-Redevelopment Overlay (RIRO) zoning district may be creating very tight constraints on typical “backyard” type attached building features such as decks, porches and/or seasonal rooms.

The Village staff will guide some discussion with the Planning Commission on the highlighted sections of this District (see below):

Sec. 40.367.1. - Purpose; authority; control.

(1)The residential infill-redevelopment overlay district is intended to permit single-family residential infill and/or redevelopment projects at a slightly higher density (smaller minimum lot size) than the village's standard single-family residential zoning districts and which also permits limited shared/common building walls among residences. Target locations for this overlay district to be applied may include sites where current or previously existing, often times non-single-family-residential type land uses may be/been situated on properties that are closely comingled within existing single-family residential use neighborhoods and where a resumption, modification or intensification of the prior or current non-single-family-use(s) is no longer necessarily desired based upon potential land use incompatibility issues, concerns about impact on available public services and facilities, ...and similar. These prospective infill-redevelopment sites/uses might now be phasing out of their former uses and into development/redevelopment opportunities where the village believes it would be beneficial to incentivize use conversion to single-family residential type use by offering this slightly higher density residential development opportunity in order to promote this option in pursuit of better synergy among land uses.

To that end, this residential infill-redevelopment overlay district purposefully offers greater flexibility of overall development design with the benefits from such design flexibility intended to be derived by both the developer and the community by encouraging greater consistency/compatibility among land uses within the immediately surrounding area.

Concurrent with any request for rezoning to include this overlay district shall be a request for rezoning of the base zoning district to the R-5 single family residential district if this is not already the case.

Sec. 40.367.2. - Permitted uses.

(1) Any permitted use listed in the underlying base zoning district and subject to all of the zoning requirements set forth in that underlying district.

(2) Single-family residential dwellings (i.e. one dwelling unit per building) subject to all of the zoning regulations set forth in this residential infill-redevelopment overlay district.

Sec. 40.367.3. - Minimum project size/area.

Not less than five contiguous, developable, project acres shall be required before the residential infill-redevelopment overlay district may be applied to any project/property.

Sec. 40.367.4. - Permitted accessory uses/structures.

(1) Private garages and paved parking areas as accessory uses/structures shall be allowed provided that no garage may be erected prior to the erection of the principal building to which it is accessory.

Garages shall conform to the following:

a. Each new single-family residential dwelling unit shall have at least one enclosed garage structure not less than 240 square feet in area (i.e. a one-stall garage) and not greater than 740 square feet (i.e. a three-stall garage). No detached garage structure may exceed 500 square feet in area. There shall be no more than one garage structure on any property.

All garages shall have direct and paved driveway access (not less than 8 feet in width) extending to each overhead vehicle access door(s) of the garage from a designated adjacent public or private road or alleyway. All paved parking and/or drive surfaces shall be offset from the side and rear lot lines by not less than three feet. Garages are not to be used for any dwelling, home office, home occupation, or business use of any sort. Driveway paving shall be completed within 12 months of the garage construction being completed.

Detached garages may not be situated closer to the street than the principal residence.

Every lot shall have/have access to not less than two paved, off-street vehicle parking spaces, at least one of which must be enclosed (ref. section 40.367.4.(1)(a) above). The other(s) may be located either onsite or within 100 feet of the lot.

(2) Accessory fences may be permitted in this district subject to the following conditions:

Fencing on all lots within a proposed residential infill-redevelopment overlay district development should be uniform or coordinated as to design type, materials, permitted locations, heights and colors. To this end, all project development plans submitted for review/consideration

under this overlay district shall include a detailed written and plan(s) based explanation as to fencing intended to be allowed within the development, if any. Without an approved development-wide fencing plan, no fencing is permitted in this overlay district. Section 40.422(c) of the land development code shall not apply to this overlay district.

(3)Swimming pools are not permitted in this overlay district without prior planning commission approval of a development-wide swimming pool permissions and restrictions plan. Section 40.422(e) of the land development code shall not apply in this overlay district.

(4)Home occupations and professional offices which are clearly incidental to the principal residential use and subject to the following conditions:

a.The home occupation shall be carried on wholly within the principal residential building and only by residents occupying the premises.

b.No article or service shall be sold or offered for sale on the premises.

c.The home occupation shall not generate customer or client traffic to the residential premises.

d.Any off-street parking area shall be paved and adequately screened from adjoining residential properties.

e.The home occupation shall not include the conducting of any retail or wholesale business on the premises, nor the removal of sand, gravel, stone, topsoil or peat moss for commercial purposes.

f.The home occupation shall not include outside parking/placement/storage of materials, equipment, vehicles or supplies or any other operational activity resulting in offensive noise, vibration, smoke, dust, odors, heat, glare, visual obstruction/unsightliness or similar adverse impacts which may create a nuisance or be otherwise incompatible with the surrounding residential area.

(5)Non-storage related passive use type accessory structures normally accessory to a residential use (i.e., gazebo, garden arbor, trellis', and similar...), shall be permitted in any yard and shall be setback not less than 20 feet from the front lot line and offset from the side and rear lot lines no less than five feet. Non-storage related active type accessory structures normally accessory to a residential use (i.e. swing-set, jungle gym, game court, and similar...) shall be permitted in the rear yard only and shall be offset from the side and rear lot lines no less than five feet.

(6)Accessory storage structures are not permitted in this residential infill-redevelopment overlay district, except in lieu of a detached garage on the property in which case one accessory storage structure may be permitted in the rear yard, up to 192 square feet in area and offset from the side and rear lot lines not less than five feet. Accessory storage structures are not required to have driveways.

Sec. 40.367.4. - Permitted conditional uses.

Projects which include a mixing of multiple principal uses provided the proposed uses are among those listed, either as permitted or as conditional uses, in the underlying base zoning district and this residential infill-redevelopment overlay district.

Sec. 40.367.5. - Single-family residential density limits.

The minimum required average lot area 1 per single-family residence shall be 8,500 square feet.

*The Village may permit an average lot area *1 as low as 7,500 square feet per single-family residence for redevelopment projects. In this instance, redevelopment projects are defined as development projects where all or at least a substantial percentage (as determined by the Village) of the existing improvements value of a property is razed and removed and replaced with new construction. Village approval of the 7,500 square foot average lot size as described above shall not be viewed as a vested right and shall be determined based on a case-by-case assessment of each development proposal and the public interest served by the proposal.*

In no case shall any lot be permitted that is less than 7,000 square feet in area.

**1(i.e. Average lot area means the total square footage of the underlying buildable project area, net of all public or private roads/ the total number of lots proposed)*

Sec. 40.367.6. - Lot width.

Individual lot widths in this district shall be flexible and subject to the village's review/approval within the context of the overall project plan.

Sec. 40.367.7. - Setbacks and yards.

Setbacks and yards in the residential infill-redevelopment overlay district shall be as follows:

Setback: All principal structures shall be setback not less than 25 feet from any public right-of-way.

Sidyard: The principal residence structure, including any attached garage elements, and detached garages, shall be offset from the side lot lines by not less than ten feet on one side and not less than zero feet on the other side. Principal residence structures including any attached garage elements and permitted detached garages may adjoin (share a common wall) along one side in accordance with this sidyard offset schedule provided such buildings are properly designed and approved by the building inspector as to all applicable building and/or fire safety code standards.

Any detached principal residence structure and any detached garage structure that does not share a common wall with an adjoining principal building shall maintain not less than five-foot side yard offsets.

Rearyard: All buildings shall be offset from the rear lot line by not less than 20 feet.

Sec. 40.367.8. - Minimum open space ratio.

The minimum required open space area shall be 25 percent for all lots.

Sec. 40.367.9. - Maximum building coverage ratio.

The combined total first floor area coverage of all buildings on a lot shall not exceed 35 percent.

Sec. 40.367.10. - Building height.

(1)The height of any dwelling unit in the residential infill-redevelopment overlay district shall

not exceed 42 feet

(2)The height of accessory structures shall not exceed 15 feet or the width of the structure, whichever is less.

Sec. 40.367.11. - Dwelling standards.

Single-family dwellings within the residential infill-redevelopment overlay district shall have a 1,100 square foot minimum living area measured from the outside of exterior walls (and excluding basements, open porches, breezeways, garages and other spaces that are not used frequently or during extended periods for living, eating or sleeping purposes). Minimum area required on the first floor is 900 square feet.

Sec. 40.367.12. - Procedure.

(1)Procedure for residential infill-redevelopment overlay district processing/approval shall in accordance with chapter 40, article X. and XI of the Village of Pewaukee Code and also:

a.Pre-application conference. Prior to official submittal of an application for approval of residential infill-redevelopment overlay district project plan, the owner or his agent making such application shall meet with the Village of Pewaukee staff to review/discuss the general concepts of the contemplated development plan.

b.The application. Following the pre-application conference, the owner or his agent may file an application with the planning commission for review and approval of a residential infill-redevelopment overlay district project plan including, among other things as may be required:

1.A legal description of the boundaries of lands included in the proposed residential infill-redevelopment overlay district project plan.

2.The location of public and private roads, driveways and parking facilities.

3.The size, arrangement and location of all individual building sites and an approximate planned building footprint, paving and parking plan for each individual lot.

4.The location of any areas proposed to be reserved or dedicated for public uses such as parks and stormwater management areas.

5.The type, size and location of all proposed structures.

6.General landscaping treatment.

7.Architectural plans, elevations and perspective drawings and sketches illustrating the exterior design and character of proposed structures.

8.The existing and proposed location of public sanitary sewer, storm sewer, and water supply facilities as well as other utilities such as gas, electric, fiber optic, ... and similar.

9.The existing and proposed location of all easements.

10.Characteristics of soils related to contemplated specific uses.

11.A topography topographic map of the site with contours at no greater than two foot intervals based upon National Geodetic Vertical Elevation.

12.Anticipated and existing uses of adjoining lands.

13.If the development is to be staged, a staging plan.

14.Environmental areas (i.e., wetlands, floodplains, environmentally sensitive/conservancy area and similar).

15.The village planning commission and village board may permit waiver or modification of the ordinarily required public and private improvements such as, but not necessarily limited to, street cross-section standards including sidewalk and terrace requirements, street lighting and street tree requirements, and similar... as part of a proposed redevelopment project plan

provided the village shall find that in doing so, the public health, safety and welfare is not diminished as a result and further provided that the village shall have determined that, as a practical matter, the redevelopment project may not be viable without such waiver or modification.

(2)Procedures for conditional uses under this residential infill-redevelopment overlay district and/or uses permitted in the underlying zoning district shall be in accordance with the requirements set forth in chapter 40, article V of the Village Code and/or the underlying base zoning district requirements respectively.

Sec. 40.367.13. - Land divisions.

Any proposed land division which is part of the proposed residential infill-redevelopment overlay district project plan shall be subject to the requirements of article X of this chapter.